



10/16/2024 | 6:00 PM

**Municipal Services Center, Council Chamber
3600 Tremont Road**

If you are joining through Zoom, please click the link below to join the meeting:
<https://us06web.zoom.us/j/87960308160>

1. Call to Order/Roll Call

2. Consent Agenda

- a. Approve the September 18, 2024 and October 2, 2024 meeting minutes.

3. Variance/Conditional Uses

- a. 1911 Suffolk Road (VAR-56-24) - To allow a partially constructed fireplace to encroach eight inches into the 10-foot setback and be 4'-1" from the house, where a 15-foot setback from a building is required.
- b. POSTPONED - 4000 Horizons Drive (DEV-03-24) - Review of a secondary conditional use and variance to allow for the renovation of existing business offices and digital media production, and to also include a small, high-end restaurant and private bar. [Postponed from October 2, 2024 meeting.]

4. Development/Site Plans

- a. Fifth Third, 1669 Fishinger Road (DEV-04-24) - Review of a graphics plan to add a new free-standing sign, a canopy-mounted sign facing Tremont Road and replace existing building-mounted signage.

5. Updates & Reports

- a. Update from the Community Development Department.

6. Adjournment

9/18/2024 | 6:00 PM

**Municipal Services Center, Council Chamber
3600 Tremont Road**

Members Present: Daniel Barringer, Todd Boyer, Kevin Carpenter, Matt McGrath, Marianne Mitchell, Shannon Tolliver, Bill Westbrook

Members Absent:

Staff Present: Senior Planner Justin Milam, Planning Officer Alyssa Kelly, Assistant City Attorney Darlene Pettit, Deputy City Clerk Abbie Emison

1. Call to Order/Roll Call

Chair Tolliver called the meeting to order at 6:00 pm.

2. Consent Agenda

- a. Approve the August 21, 2024 and September 4, 2024 meeting minutes.**
- b. 2745 Camden Road (VAR-55-24) - To allow an expanded patio that results in 35.2 percent front yard development coverage along Northam Road when 25 percent is the limit.**

Findings #3 and #6 noted in the Staff Report.

Mr. Carpenter moved, seconded by Ms. Mitchell, to approve the Consent Agenda.

VOTING AYE: Daniel Barringer, Todd Boyer, Kevin Carpenter, Matt McGrath, Marianne Mitchell, Shannon Tolliver, Bill Westbrook

VOTING NAY: None

ABSENT: None

ABSTAIN: None

The motion carried (7-0).

Ms. Emison administered an oath to those persons wishing to present testimony this evening, including applicants, representatives of applicants, and anyone speaking as a proponent or opponent of an application.

3. Variance/Conditional Uses

- a. 2459 Tremont Road (VAR-50-24) - To allow two HVAC units that are one-foot from the side property line, when a three-foot minimum is required.**

Ms. Kelly provided an overview of the property, which is located in the Historic District, but is a newer home. When constructed, the property required a number of variances. The homeowners are currently undertaking interior renovations and as part of the renovations they plan to update the HVAC units. Staff is neutral on this request; they do not typically see these types of requests.

Chair Tolliver asked for clarification on the fence. Ms. Kelly said it was a trash enclosure.

Dan Morgan, architect for the applicant, discussed the proposed HVAC units, noting that they are extremely quiet. He also said that the homeowners have had discussions with their neighbors, who are in support of the application.

Ms. Mitchell asked for the typical decibel level of older HVAC units. Mr. Morgan said he believes they are around 70 decibels. Ms. Kelly said that for mechanical units there is a 60-decibel limit.

Mr. Barringer asked if they could put a condition that the HVAC operates at a certain decibel level. Ms. Kelly said this is an option. Mr. Morgan said that the units he is proposing are 51 decibels, but can get up to 56 decibels under high load. Ms. Kelly noted the overall decibel level may be higher with six units. Mr. Barringer asked if there was information on how much acoustic panels could reduce noise levels. Ms. Kelly said this is very location dependent.

Mr. Barringer said he is supportive of the application, but it would be useful if there were acoustic panels on the fence. Mr. Morgan asked if this could be decided after installation. If decibel levels are too high, additional mitigation could be taken.



Mr. Barringer and Ms. Mitchell discussed what level would be considered “too high”.

Mr. Westbrook noted that his new HVAC unit does not cause any noise issues. He also said that the units are screened and will be installed in an unobtrusive location, and the neighbors are supportive; therefore, he is supportive of the application.

Mr. Barringer and Ms. Mitchell asked if the Board should include a condition on adding acoustic panels.

Mr. Carpenter asked who owns the fence. Mr. Morgan said it is the neighbor’s and the applicant has had discussions with them regarding fence replacement; it will most likely be replaced like-for-like. Mr. Carpenter noted that if acoustic panels were added as a condition, they would have to be free-standing as the fence is not owned by the applicant.

Mr. Carpenter asked if the City tests decibel levels. Mr. Milam said this could be checked by the code enforcement officer. He said acoustic panels usually reduce sound by 25-40%. Mr. Carpenter said he would be hesitant to put in a condition without a complaint.

Ms. Pettit said that the Board should consider setting a decibel limit if relying on code compliance. Mr. Milam said the limit is 60 total decibels for mechanical units.

Chair Tolliver said she is comfortable with adding a condition for noise mitigation if the noise exceeds 60 decibels.

Mr. Carpenter moved, seconded by Ms. Mitchell, to approve the 2459 Tremont Road (VAR-50-24) application with the condition that sound levels shall not exceed 60 decibels as measured at the property line.

VOTING AYE:	Daniel Barringer, Todd Boyer, Kevin Carpenter, Matt McGrath, Marianne Mitchell, Shannon Tolliver, Bill Westbrook
VOTING NAY:	None
ABSENT:	None
ABSTAIN:	None

The motion carried (7-0).

- b. 1662 Doone Road (VAR-51-24) - To allow a detached garage that is 19 feet in height, when 17 feet is the limit and has a top wall plate height of 10 feet, when 9'-6" is the limit.**



Mr. Milam provided an overview of the application, which is similar to a previous application submitted in 2018. However, there have been a few changes, including the garage height, the wall plate height, and an addition of a dormer window. He noted that Staff had some concern over the materials used because they differ from the house materials. Mr. Milam said the applicant has agreed to reduce the wall plate height to nine feet six inches and remove the dormer window, leaving only one variance for the garage height.

Mike Plessinger, the applicant, provided an overview of his application and the reasoning behind his request.

Mr. Barringer said with the removal of the two variances, he is supportive. Ms. Mitchell agreed.

Mr. Barringer moved, seconded by Mr. Carpenter, to approve the 1662 Doone Road (VAR-51-24) application.

VOTING AYE: Daniel Barringer, Todd Boyer, Kevin Carpenter, Matt McGrath, Marianne Mitchell, Shannon Tolliver, Bill Westbrook
VOTING NAY: None
ABSENT: None
ABSTAIN: None

The motion carried (7-0).

c. 2549 Tremont Road (VAR-52-24) - To allow a circular driveway that results in 32.3 percent development coverage, when 25 percent is the limit.

Ms. Kelly provided an overview of the application for a new circular driveway, replacing a non-conforming driveway and large parking apron. The new driveway would require removal of some mature landscaping, but the applicant plans to add additional landscaping. Ms. Kelly noted a number of other circular driveways in the neighborhood, some permitted and others not. She also noted that permeable pavers could be added to help offset the higher development coverage percentage.

Wayne Harer, the homeowner, noted that the circular driveway is to help with safety issues. He said that with the removal of the parking area he needs a larger width for the driveway in order to have two cars pass. He agreed with providing landscaping plans and will ensure any drainage goes towards the landscaped area.

Chair Tolliver asked if the homeowner had looked at reducing the development coverage.



Archie Foor, the contractor, said he is restricted by the location of the mature trees.

Mr. Carpenter asked if it would be possible to reduce some of the pavement towards the left of the landscaped area.

Mr. Foor said he could remove a few feet of coverage close to the home. Ms. Kelly said that the reduction of this portion does not fall in the platted front yard setback. She also noted that this is one of the wider circular driveways Staff have seen.

Mr. Milam said that another option is to use grass pavers to reduce the development coverage and maintain the width.

Mr. Foor explained how he plans to address the issue of runoff.

Mr. McGrath asked about the planned materials and whether there were any plans to put a new sidewalk in on the west side of the street. Mr. Milam said he is not aware of any plans.

Mr. Barringer said it would be useful to have a landscape plan as part of the Board's next review.

Mr. Carpenter moved, seconded by Mr. Barringer, to postpone the 2549 Tremont Road (VAR-52-24) application to the October 2, 2024 meeting.

- VOTING AYE:** Daniel Barringer, Todd Boyer, Kevin Carpenter, Matt McGrath, Marianne Mitchell, Shannon Tolliver, Bill Westbrook
- VOTING NAY:** None
- ABSENT:** None
- ABSTAIN:** None

The motion carried (7-0).

- d. 2463 Coventry Road (VAR-53-24) - To allow an addition that results in a side yard setback of 4'-7", when eight feet is the minimum, results in a side yard sum of 14'-8", when 16 feet is the minimum, and encroaches up to 4'-1" into the 8'-8" side yard longwall setback. The improvements also result in a building coverage of 30 percent, when 29 percent is the maximum and a third floor area that is 43 percent of the second floor, when 33.3 percent is permitted.**

Mr. Milam summarized the application, which is located on an irregularly shaped parcel. Of the five variances, three are a result of the proposed addition to the side of the house. Staff generally is supportive of the design and materials.

Mr. Westbrook noted that the addition is not visible from the street.

Brenda Parker, the architect, provided an overview of the proposed addition, noting it is a relatively modest in size for Upper Arlington. She said the lot size and arrangement are driving the need for multiple variances. Ms. Parker noted that she is trying to meet the intent of the longwall setback requirements.

Mr. Barringer said he does not feel like the application is outrageous, although it includes numerous variances.

Mr. Carpenter asked if the project was reviewed by the third-party architect. Mr. Milam said it was not; Staff felt the design was appropriate.

Mr. Barringer asked for clarification on potential changes to reduce the longwall. Ms. Parker provided more information on the options she evaluated.

Mr. Barringer said he does not believe it harms the character of the neighborhood, even though he does not like having five variances.

Mr. Milam noted that the applicant has made a number of concessions regarding development coverage and the rear roof.

Mr. Westbrook said he is generally supportive of the application, but would recommend talking to the neighbors. Chair Tolliver and Mr. Carpenter noted that the adjacent neighbors are all notified of the application. Mr. Milam said Staff has not heard from any neighbors regarding the application.

Mr. Boyer asked if they looked at pushing the butler pantry back. Ms. Parker said they explored this option, but the homeowner wanted to have the windows face the backyard.

Chair Tolliver said that five variances are a lot and she does not want to set a precedent. Mr. McGrath agreed.

Ms. Mitchell said that the five variances are caused by the unique lot and the applicant is trying to preserve the historic nature of the home (which is a contributing structure to the Historic District).

Ms. Parker said that one component of the design is causing three of the variances.

Chair Tolliver said that while the design meets the historic nature of the home, it does not meet the code.

Ms. Mitchell is hesitant about the number of variances, but is supportive.



Mr. Westbrook said the applicant has tried their best to make it consistent with the design of the original house and the addition will not be visible. Mr. Carpenter agreed, noting that it had existing nonconforming issues.

Ms. Mitchell moved, seconded by Mr. Carpenter, to approve the 2463 Coventry Road (VAR-53-24) application.

VOTING AYE: Daniel Barringer, Todd Boyer, Kevin Carpenter, Matt McGrath, Marianne Mitchell, Bill Westbrook
VOTING NAY: Shannon Tolliver
ABSENT: None
ABSTAIN: None

The motion carried (6-1).

e. 1984 Ridgeview Road (VAR-54-24) - To allow a five-foot tall wooden fence to project up to 22 feet into the 40-foot platted front yard setback, which is not permitted.

Ms. Kelly provided an overview of the application, which was the subject of a previously withdrawn application. As a corner lot, there are two front yards, one on Tremont Road and one on Ridgeview Road. She noted that the property to the north received a variance in 2003 for a fence to encroach 17 feet into the front yard setback. Staff recommends exploring more open style fences, submitting a landscape plan and reducing the front yard setback to 17.5 feet. Staff also recommends working with the northern neighbor to potentially replace their fence.

Chair Tolliver asked for clarification on where the fence would sit in relation to the neighbor's fence.

Rob Bruno, the contractor, walked through the fence plans, noting they will actually be in line with the northern neighbor's fence.

Chair Tolliver asked why the fence was necessary near the garage. Mr. Bruno said it is to protect privacy.

Gregg Janes, the applicant's northern neighbor, explained the reasoning behind the fence configuration.

Chair Tolliver said that maintaining the tree line is the most important aspect to her.



Mr. Barringer asked for clarification on the specific variances and the location of the proposed fence. Mr. Janes said the fence between the two houses is to be replaced. Mr. Barringer suggested a metal fence in this location; he has hesitation regarding a wood fence. Mr. Carpenter agreed.

In response to Mr. Barringer's question, Ms. Kelly provided details on the code requirements for fences in front yards.

Mr. Carpenter asked for specifics on where exactly the proposed fences will meet the neighbor's fence. Mr. Bruno said he is proposing to replace the existing fence. Mr. Milam said that the gap between the existing fence along Tremont Road and the proposed new fence would be approximately 15 square feet.

Mr. Janes said he would move his existing fence to remove the gap once the new fence is constructed.

Mr. Carpenter said he does not like the five-foot fence outside the building line along Tremont Road. He recommends reducing the height to 42 inches in this area, and then he would be supportive. He is not supportive of a five-foot fence that is a boundary line.

Mr. Bruno stated that the northern property owner has a hardship because he would not have a five-foot fence. Mr. Carpenter explained that Mr. Janes has a variance for his fence, but this application is separate from his property and fence.

Ms. Mitchell clarified that Mr. Janes's variance stays with his property and this application has no impact on it. She said that she is trying to understand the purpose behind the fence in this application.

Chair Tolliver said she would prefer for the fence to extend only to the garage line of the house, not all the way to the corner, eliminating the need for the reduction in height to 42 inches. Ms. Mitchell agreed.

Ms. Pettit suggested postponing to get additional testimony regarding the Board's unanswered questions.

Mr. McGrath said he would like to see an exhibit with more detail about the proposed fence and the surrounding fence conditions. Chair Tolliver agreed



and emphasized that the exhibit should focus on only the applicant's property.

Mr. Carpenter clarified what height of fence would require a variance and what would not.

Mr. Barringer noted that the Board rarely grant variances for fence height in front yards.

In response to Chair Tolliver's question, Mr. Milam said that the northern neighbor, who has a variance for his fence, would not need to come back to the Board to replace his existing fence.

Mr. Carpenter said that the property to the south requires a variance to have a five-foot fence extend to the corner of the property line and Tremont Road, while the northern property already has a variance for this.

Mr. Bruno asked to postpone the application to the next meeting.

Mr. Carpenter moved, seconded by Ms. Mitchell, to postpone the 1984 Ridgeview Road (VAR-54-24) application to the October 2, 2024 meeting.

VOTING AYE: Daniel Barringer, Todd Boyer, Kevin Carpenter, Matt McGrath, Marianne Mitchell, Shannon Tolliver, Bill Westbrook
VOTING NAY: None
ABSENT: None
ABSTAIN: None

The motion carried (7-0).

4. Board Chair Nomination

Chair Tolliver named Mr. Carpenter as interim Chair for the October 2, 2024 meeting.

5. Updates & Reports

a. Updates from the Community Development department.

Mr. Milam provided the following update:

- The 2025 BZAP calendar should be ready for review at the next meeting.
- Four new builds have been submitted in the Riverhill Road area recently.
- Alyssa Kelly is leaving the City to work for a private firm.



City of Upper Arlington

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6. Adjournment

Mr. Westbrook moved, seconded by Mr. Barringer, to adjourn.

VOTING AYE: Daniel Barringer, Todd Boyer, Kevin Carpenter, Matt McGrath,
Marianne Mitchell, Shannon Tolliver, Bill Westbrook

VOTING NAY: None

ABSENT: None

ABSTAIN: None

The motion carried (7-0) and the meeting was adjourned at 7:54 pm.

ATTEST:

CHAIR:



10/2/2024 | 6:00 PM

**MUNICIPAL SERVICES CENTER, 3600 TREMONT ROAD
CITY COUNCIL CHAMBERS**

Members Present: Todd Boyer, Kevin Carpenter, Matt McGrath, Donald Osterhout, Shannon Tolliver

Members Absent: Daniel Barringer, Marianne Mitchell

Staff Present: Senior Planner Justin Milam, Assistant City Attorney Darlene Pettit, Deputy City Clerk Abbie Emison

1. Call to Order/Roll Call

Chair Tolliver called the meeting to order at 6:06 pm. She noted that at the September 18, 2024 meeting Mr. Carpenter was named interim chair for this meeting, but this is unnecessary as Chair Tolliver is able to attend this meeting.

Mr. Westbrook moved, seconded by Mr. Carpenter, to excuse Marianne Mitchell and Daniel Barringer.

VOTING AYE: Todd Boyer, Kevin Carpenter, Matt McGrath, Donald Osterhout, Shannon Tolliver

VOTING NAY: None

ABSENT: Daniel Barringer, Marianne Mitchell

ABSTAIN: None

The motion carried (5-0).

Ms. Emison administered an oath to those persons wishing to present testimony this evening, including applicants, representatives of applicants, and anyone speaking as a proponent or opponent of an application.

2. Unfinished Business



- a. **2549 Tremont Road (VAR-52-24) - To allow a circular driveway that results in ~~32.3~~ 27.7 percent front yard development coverage, when 25 percent is the limit. [Postponed at the September 18, 2024 BZAP hearing.]**

Mr. Milam provided a brief update on the changes made to the project. The applicant has submitted revised plans, which include reducing the driveway width by approximately one foot and reducing approximately 300 square feet of coverage near the home. A landscape plan was also submitted. Staff is supportive of the application with the changes.

Wayne Harer, the homeowner, described the changes he and his contractor have made to the plans, including providing landscaping plans and reducing the width of the driveway.

Chair Tolliver said that the Board appreciates the changes and asked if Mr. Harer agreed to the condition that the landscaping plan be reviewed by the City Forester. Mr. Harer confirmed.

Mr. McGrath asked about existing trees in the right-of-way. Mr. Harer said that those trees were replaced by the City and will stay.

Archie Foor, the contractor, explained which trees they plan to remove.

Mr. Carpenter moved, seconded by Mr. Westbrook, to approve the 2549 Tremont Road (VAR-52-24) application with the condition that any proposed landscape plans be subject to review and approval by the City Forester.

VOTING AYE: Todd Boyer, Kevin Carpenter, Matt McGrath, Donald Osterhout, Shannon Tolliver

VOTING NAY: None

ABSENT: Daniel Barringer, Marianne Mitchell

ABSTAIN: None

The motion carried (5-0).

- b. **WITHDRAWN 1984 Ridgeview Road (VAR-54-24) - To allow a five-foot tall wooden fence to project up to 22 feet into the 40-foot platted front yard setback, which is not permitted. [Postponed at the September 18, 2024 BZAP hearing.]**

This item was withdrawn.



3. New Business

- a. **4000 Horizons Drive (DEV-03-24) - Review of a secondary conditional use and variance to allow for the renovation of existing business offices and digital media production, and to also include a small, high-end restaurant and private bar.**

Mr. Milam explained the current situation regarding the purchase of the property and the applicant's desire to postpone the application.

Mr. Carpenter moved, seconded by Mr. Westbrook, to postpone the 4000 Horizons Drive (DEV-03-24) application to the October 18, 2024 meeting.

VOTING AYE: Todd Boyer, Kevin Carpenter, Matt McGrath, Donald Osterhout, Shannon Tolliver
VOTING NAY: None
ABSENT: Daniel Barringer, Marianne Mitchell
ABSTAIN: None

The motion carried (5-0).

4. Informal Review

- a. **Draft 2025 BZAP Calendar**

Mr. Milam gave an overview of the potential 2025 meeting calendar, noting exceptions to the standard practice of holding meetings on the first and third Wednesday of the month.

5. Updates & Reports

- a. **Update from the Community Development Department**

Mr. Milam provided the following update:

- The planning officer vacancy has been posted.
- There have been a few newspaper articles in the Columbus Dispatch regarding Upper Arlington projects.
- The Scioto Villas project has submitted demolition permits.
- Envision Henderson meetings have been progressing well.
- The City has plans to annex property along Henderson Road from Columbus.

6. Adjournment



Mr. Carpenter moved, seconded by Mr. McGrath, to adjourn.

VOTING AYE: Todd Boyer, Kevin Carpenter, Matt McGrath, Donald Osterhout,
Shannon Tolliver

VOTING NAY: None

ABSENT: Daniel Barringer, Marianne Mitchell

ABSTAIN: None

The motion carried (5-0) and the meeting was adjourned at 6:25 pm.

ATTEST:

CHAIR:



Authors: Justin Milam, AICP, Senior Planner

BZAP Meeting Date: October 16, 2024

Subject: 1911 Suffolk Road (VAR-56-24) - To allow a partially constructed fireplace to encroach eight inches into the 10-foot setback and be 4'-1" from the house, where a 15-foot setback from a building is required.

Site Description/History

The subject property, 1911 Suffolk Road, is located on the south side of the street, between Andover and Coventry Roads, and is zoned R-1c, One-Family Residence District. The property measures 60' x 132', similar to others in the neighborhood, and was platted as Lot #4 in the [Upper Arlington](#) subdivision from 1925. A two-story home sits largely along the 40-foot building setback line and was built in 1947. A two-car detached garage, also built in 1947, is accessed via driveway along the west side of the home. The property is enclosed with six-foot tall wood and black aluminum fencing. The applicant purchased the property in March 2021.

The City received an anonymous complaint about the proposed fireplace being constructed without a permit in June 2024. A "Stop Work" order was issued later that month and the project has sat idle. Building Permit #24-4203 for the proposed fireplace and a covered patio was submitted in early September. Previously, a Building Permit was issued for a large-scale addition and renovation (#23-5627).

Proposal

The application includes the retention and continuing finish of an outdoor Rumford fireplace. It would 9'-4" from the side property line and 4'-1" from the house, and be integrated with a free-standing pergola and patio in the buildable area. The fireplace is 12'-11" tall with a brick exterior. It includes features like a shallow firebox and curved throat, that reduce sparks, produce very little smoke, and utilize fewer wood logs. Building and development coverage ratios are compliant with City standards.

Zoning Code Requirements

- To allow a fireplace to encroach eight inches into the 10-foot side yard setback (Article 6.09); and
- To allow a fireplace to be 4'-1" from a structure, where a 15-foot setback is required (Article 6.09).



The proposed fireplace meets the Residential Code of Ohio and can be within or adjacent to a structure. [This is in conflict with the Unified Development Ordinance (UDO).] The plan would meet the Ohio Fire Code.

Alternatives

The proposed fireplace is largely complete and has sat idle since a "Stop Work" order was issued in June 2024. Should the variance be denied, the applicant could deconstruct and build a the fireplace in a compliant location, or utilize a portable one. The applicant believes that moving it further away from the home would impact the design of the backyard and not take advantage of the proposed fireplace's features. Switching to a natural gas fuel is not an alternate the applicant would consider because of the benefits and safety of a Rumsford fireplace.

Requested Action and Findings

As the Board is well aware, and now too is the applicant, beginning construction without the benefit of a Building Permit is never recommended or a good idea. Luckily in this case, the fireplace was built fairly close to the required side yard setback for a fireplace and with a product that mitigates many of the concerns associated with a fireplace. Smoke generation will be limited due to the design of the fireplace, which is a concern of the City and BZAP. The applicant has also provided letters of support from nearby neighbors. Should the Board support this application, Staff would recommend Finding #6 (actions of a current owner).

Attachments

1.	BZAP Staff Report Pics - 1911 Suffolk Road
2.	Variance Application - 1911 Suffolk Rd



1911 Suffolk Road

BZAP Staff Report Pictures | Variance



Google Maps ® Aerial – Looking North



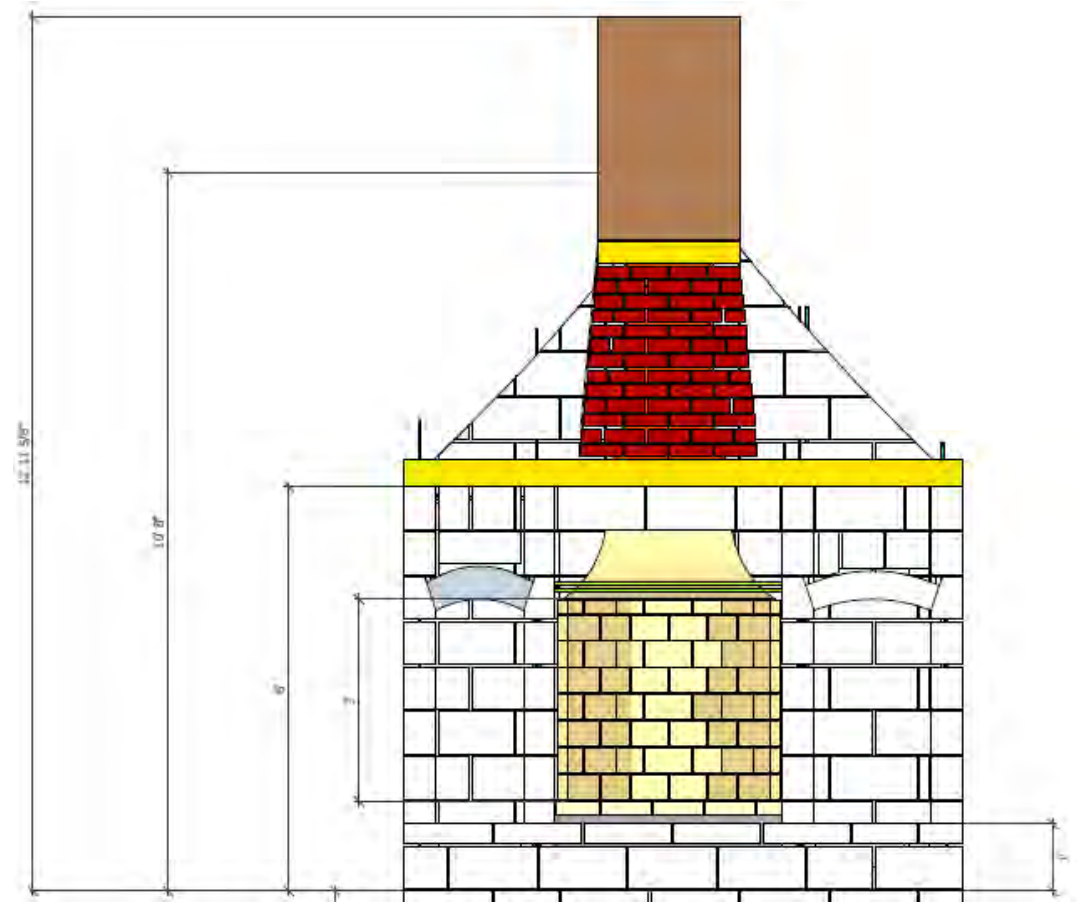
Existing Suffolk Road Elevation



Existing Fireplace Views



Proposed Fireplace Plan





24-4202

Variance Application

Status: Active

Submitted On: 9/13/2024

Primary Location

1911 SUFFOLK RD
UPPER ARLINGTON, OH 43221

Owner

Christiane K Hunt
SUFFOLK 1911 COLUMBUS, OH
43221

Applicant

 Christiane Hunt
 937-829-5172
 dr.chunt@gmail.com
 1911 Suffolk Rd
Columbus, OH 43221

BZAP Information

BZAP Case

VAR-56-24

Status

Pending

BZAP Determination Date

10/16/2024

Vote Tally

Primary Variance

Accessory structure

Findings of Fact for Approval/Denial

Variance Request

To allow an outdoor fireplace that has been partially constructed to remain 9'-4" from the side property line, when a 10-foot setback is required, and 4'-1" from the house, when a 15-foot setback from a building is required.

BZAP conditions

Variance Information

Describe Variance Request ?

I would like to finish building an outdoor Rumford fireplace on the edge of a future backyard patio. Currently outdoor fireplaces and open burning firepits are regulated in the same way. They must be 10 feet from the property line and 15 feet from the house. They are permitted to have up to a 3'-00" wide 2'-00" tall pile of wood burning in them. They do not function the same. This fireplace in particular is 3'-00" but is only 1'-02" deep. Rumford fireplaces are designed to need much less wood than is allowed (also not feasible to place the allowable amount of wood in it given the geometry of the firebox) to produce a comfortable amount of heat. Fireplaces are also equipped with gates to mitigate sparks that may be expelled from the fire box and spark arrestors to restrict sparks from escaping the flue to adjacent properties. Rumford fireplaces also burn very clean and project heat efficiently. Open burning fire pits have little of these safety or design features. While they may come with a grate to place over top of them that will not prevent sparks from escaping given the close proximity of the grate to the fire. Our fireplace would project heat parallel to the rear face of the house and not towards it. This fireplace will be surrounded by solid surface pavers or stone and will not be at risk for catching fire. This fireplace is built to an equal or in my experience a much higher standard of construction than is built in the majority of the houses built in the generation of the neighborhood. Currently the fireplace sits approximately 9'-04" from the property line and the edge of structure is about 4'-01" from the foundation of the house.

What practical difficulty, special conditions and/or circumstances exist that are peculiar to the land or structure involved and which are not generally applicable to other lands or structures in the same zoning districts?

Placing the fireplace in any other location that is 15'-00" from the house would either cut off the view of the backyard, cut the backyard in half or force the direction of the heat towards the house. Placing it where it is, is where it fits naturally on the property.

Will granting the variance confer a special privilege that is denied by this regulation to other lands, structures, or buildings in the same district?

No

Will the essential character of the neighborhood area be substantially altered or will adjoining properties suffer substantial detriment as a result of the variance?

No

Have all reasonable alternatives been investigated or exhausted to find that this variance request is the minimum necessary to make reasonable use of land and structures?

Yes

Can this property yield a reasonable return or can there be any beneficial use of the property without the variance?

Yes

History

Date	Activity
9/26/2024, 9:23:35 AM	approval step Board of Zoning & Planning Review was assigned to Justin Milam on Record 24-4202
9/26/2024, 9:23:35 AM	Alyssa Kelly approved approval step Application Complete & Scheduled for BZAP Review on Record 24-4202
9/26/2024, 9:23:30 AM	Alyssa Kelly changed Variance Request from "<div style='box-sizing: border-box; font-family: undefined;'">To allow an outdoor fireplace that h..." to "<div style='box-sizing: border-box; font-family: undefined;'">To allow an outdoor fireplace that h..." on Record 24-4202
9/26/2024, 9:22:29 AM	Alyssa Kelly changed Variance Request from "<div style='box-sizing: border-box; font-family: undefined;'">To allow an outdoor fireplace to be&..." to "<div style='box-sizing: border-box; font-family: undefined;'">To allow an outdoor fireplace that h..." on Record 24-4202
9/26/2024, 9:21:54 AM	Alyssa Kelly changed Variance Request from "" to "<div style='box-sizing: border-box; font-family: undefined;'">To allow an outdoor fireplace to be&..." on Record 24-4202
9/26/2024, 9:21:54 AM	Alyssa Kelly changed Primary Variance from "" to "Accessory structure" on Record 24-4202

Date	Activity
9/26/2024, 9:21:54 AM	Alyssa Kelly changed Status from "" to "Pending" on Record 24-4202
9/26/2024, 9:21:54 AM	Alyssa Kelly changed BZAP Case # from "" to "VAR-56-24" on Record 24-4202
9/26/2024, 9:21:54 AM	Alyssa Kelly changed BZAP Determination Date from "" to "10/16/2024" on Record 24-4202
9/25/2024, 9:10:41 AM	Alyssa Kelly assigned approval step Application Complete & Scheduled for BZAP Review to Alyssa Kelly on Record 24-4202
9/25/2024, 9:10:40 AM	Alyssa Kelly unassigned approval step Application Complete & Scheduled for BZAP Review from Justin Milam on Record 24-4202
9/13/2024, 5:33:15 PM	approval step Application Complete & Scheduled for BZAP Review was assigned to Justin Milam on Record 24-4202
9/13/2024, 5:33:15 PM	completed payment step Application Fees on Record 24-4202
9/13/2024, 5:30:55 PM	Christiane Hunt submitted Record 24-4202
9/13/2024, 3:51:43 PM	Christiane Hunt altered Record 24-4202, changed ownerName from "CRIGGER MARC B" to "Christiane K Hunt"
9/13/2024, 3:51:43 PM	Christiane Hunt altered Record 24-4202, changed ownerPhoneNo from "" to "937-829-5172"
9/13/2024, 3:51:43 PM	Christiane Hunt altered Record 24-4202, changed ownerEmail from "" to "dr.chunt@gmail.com"
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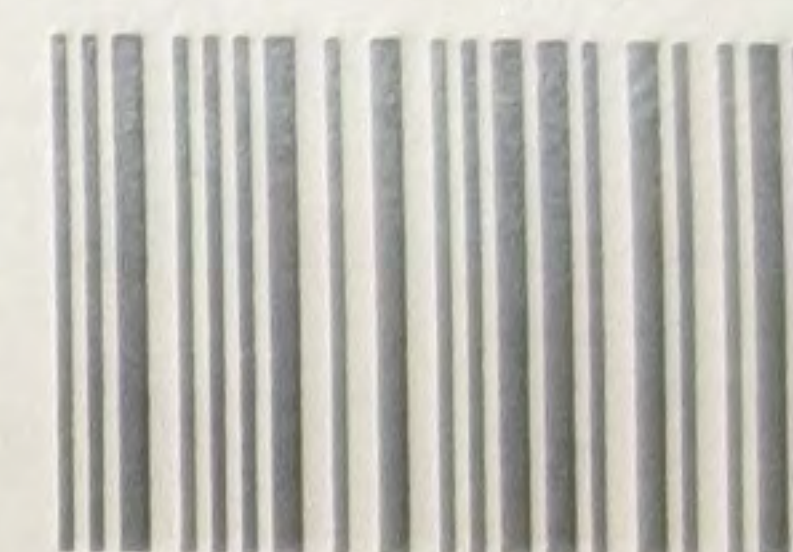
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North

4'-01" from corner of house

Fire Place

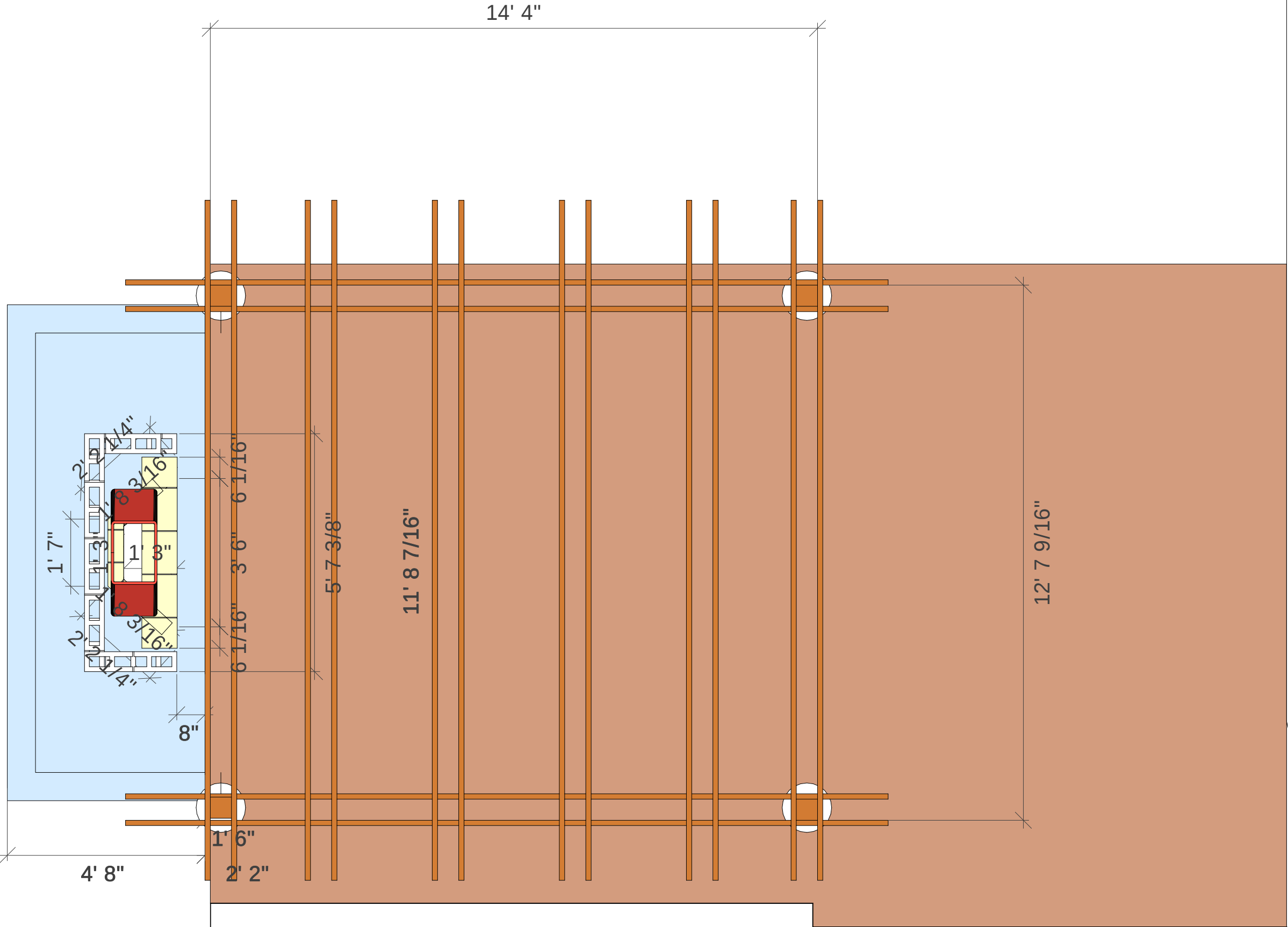
9'-04" from back of fireplace to property line

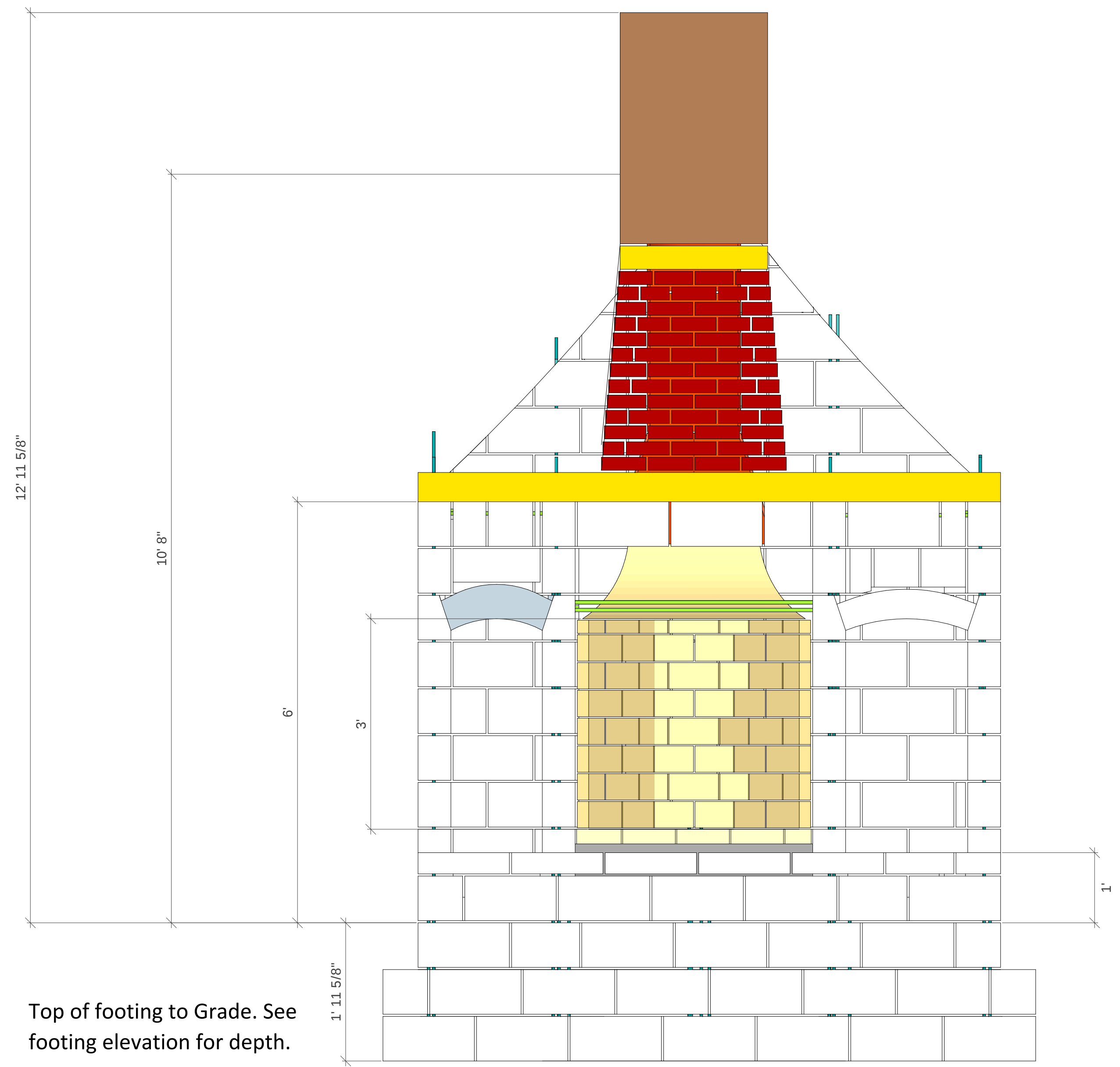
Garage

Driveway

Driveway

House





9' 4"

Dimension from structure to back of adjacent fence.



4' 1"

8' 3 5/8"

Dimension from edge of structure to house.

3' 3 5/8"

Buckley Rumford Fireplaces

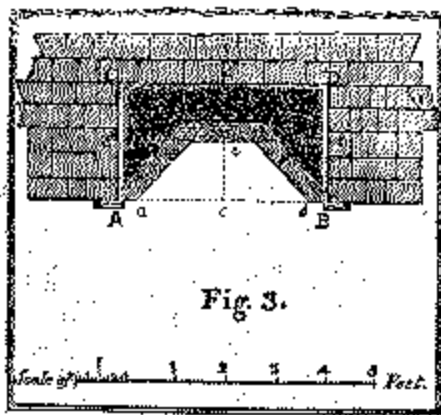
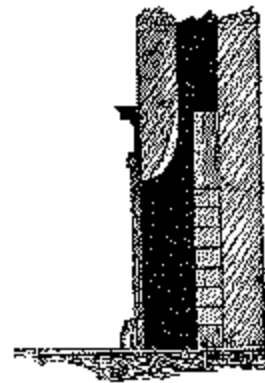
What is a Rumford Fireplace, Anyway?

by Jim Buckley

Rumford fireplaces are tall and shallow to reflect more heat, and they have streamlined throats to eliminate turbulence and carry away the smoke with little loss of heated room air.

Rumford fireplaces were common from 1796, when Count Rumford first wrote about them, until about 1850. Jefferson had them built at Monticello, and Thoreau listed them among the modern conveniences that everyone took for granted. There are still many original Rumford fireplaces - often buried behind newer renovations-throughout the country.

Count Rumford, for whom the fireplace is named, was born Benjamin Thompson in Woburn, Massachusetts in 1753 and, because he was a loyalist, he left (abruptly) with the British in 1776. He spent much of his life as an employee of the Bavarian government where he received his title, "Count of the Holy Roman Empire." Rumford is known primarily for the work he did on the nature of heat.



Back in England, Rumford applied his knowledge of heat to the improvement of fireplaces. He made them smaller and shallower with widely angled covings so they would radiate better. And he streamlined the throat, or in his words "rounded off the breast" so as to "remove those local hindrances which forcibly prevent the smoke from following its natural tendency to go up the chimney..."

Rumford wrote two papers detailing his improvements on fireplaces in 1796 and in 1798.* He was well known and widely read in his lifetime and almost immediately in the 1790s his "Rumford fireplace" became state-of-the-art worldwide.

Today, with the extensive restoration of old and historic houses and the renewed popularity of early American and classical architecture in new construction, Rumford fireplaces are enjoying a

comeback. Rumford fireplaces are generally appreciated for their tall classic elegance and their heating efficiency.

*Most recently Rumford's two essays on fireplaces have been published in *The Collected Works of Count Rumford; Vol. 2*; Sanborn Brown, ed.; Harvard Univ. Press; 1969; available in most libraries or through Inter-Library Loan or [On Line Version](#)

[\[More Detailed Article\]](#) [\[Other Articles\]](#) [\[More About Count Rumford\]](#)

Buckley Rumford Fireplaces

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Buckley Rumford Fireplaces

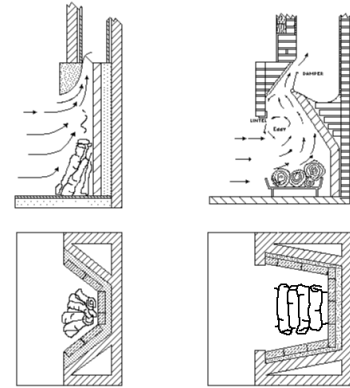
Green Fireplaces

What Features Would a Green Fireplace Have?

01/31/10



- 1) Clean-burning
- 2) Energy Efficient
- 3) Integrated Ventilation
- 4) Durability
- 5) Thermal Mass
- 6) Radiant Heat
- 7) Renewable Fuel



RUMFORD FIREPLACE **MODERN FIREPLACE**
(Adapted from Rumford's 1795 Plate Nos. 3 & 14) (From 1979 ASHRAE Equipment Handbook)

Current Green Fireplace Rules

There is very little in the Green literature on fireplaces - most of it negative. There seems to be some underlying assumption that fireplaces are dirty and inefficient and, if we must indulge the irrationality of those who love fireplaces, at least we can try to isolate the fireplaces and keep them from interfering with the rest of the modern features in a green house. Some would say the concept of a "green fireplace" is oxymoronic.

The emerging [National Green Building Standard](#) mostly views fireplaces negatively, requiring new masonry fireplaces to "have gasketed doors, outside combustion air, and a chimney top damper" and awarding up to 7 points for removing fireplaces altogether in renovations.*

[LEED](#) has some comments about fireplaces under "combustion venting" in the LEED for Homes program. They seem to be mostly concerned about smoking fireplaces and indoor air quality. LEED also recently added a preferred "install no fireplace" option.

Googling "green fireplaces" gets a lot of ads about gas and electric fireplaces and some dire predictions about outlawing all wood-burning.

Future of Green Fireplace Rules

On a positive note, fireplaces are still permitted according to LEED and National Green Building Standard guidelines, but it may be a struggle to get any "points" for including a fireplace. "Green fireplaces" will have to be clean-burning and efficient. They also may have to be provided with combustion/ventilation air and sealed off with tight-fitting doors and dampers.

The [fireplace doors](#), of course, would block most of the radiant heat but the tight-fitting dampers and [combustion/ventilation air](#) sound good if accomplished in conjunction with the LEED recommended whole house perspective on ventilation.

With a passing familiarity with the [LEED](#) program and our masonry industry efforts to emphasize our strengths, I would add durability and thermal mass.

Locating the chimney mass inside the exterior walls of the house and exposing the masonry chimney walls to take advantage of all that thermal mass could be worth points.

By knowing how fireplaces heat I would add the advantages of radiant heat and the use of wood as a renewable fuel.

In an [article about "green stoves"](#) in Hearth Marketing James E. Houck and David R. Broderick interview EPA regulators. Every one seemed to say it was "too early to tell" but went on to advocate the cleanest and most efficient stoves and urged the manufacturers of other wood-burning appliances (but didn't mention fireplaces) to contact EPA about the EPA's "Green Label program".

Green Fireplace Features:

- 1) Clean-burning
- 2) Energy Efficient
- 3) Integrated Ventilation
- 4) Durability
- 5) Thermal Mass
- 6) Radiant Heat
- 7) Renewable Fuel

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Buckley Rumford Company

RUMFORD...

The Fireplace That's More
Like It Used To Be Than
Ever Before

by Jim Buckley



Rumford fireplaces are more popular now than at any time since 1850. The traditionally tall Rumfords look appropriate in today's popular, classically designed homes with tall ceilings. The legendary heating efficiency of the Rumford is attractive to those who are building energy efficient homes and are concerned about air quality.

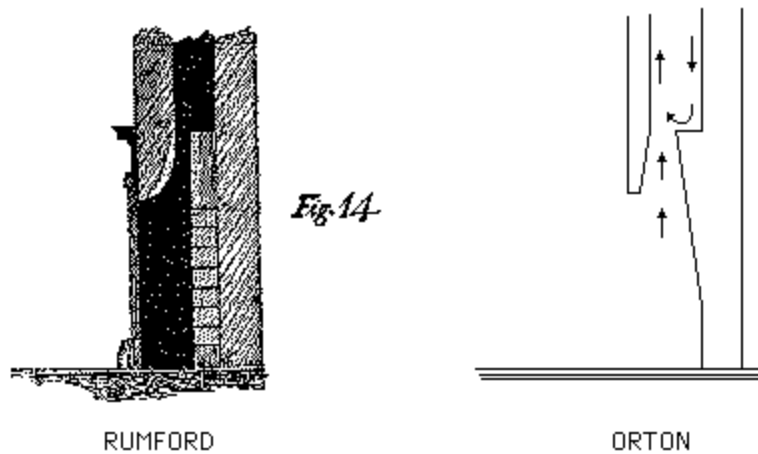
Building codes across the country have been changed, where necessary, to permit the tall and shallow Rumford fireplaces. The biggest clay flue liner company in the country, Superior Clay Corporation, in Uhrichsville, Ohio, is manufacturing Rumford fireplace components and marketing them through masonry building materials dealers nationally. A California brick manufacturer, McNear Brick, is testing Rumford fireplaces for heating efficiency and emissions in a test lab set up by Dr. Dennis Jaasma of the Virginia Polytechnical Institute.

Rumfords used to be very popular in this country when people heated their homes with fireplaces. Thomas Jefferson built Rumfords at Monticello, and George Renick (who introduced shorthorn cattle to Ohio in the 1790s, creating Route 22 in the process) built them in Chillicothe, Ohio. By 1854 Henry David Thoreau, in *Walden*, listed Rumford fireplaces along with plaster walls and Venetian blinds among the comforts taken for granted by civilized man. By mid-century everyone had Rumfords and the word "Rumford" was synonymous with "fireplace."

Trouble was not all Rumfords were equal. There were variations and interpretations of what constituted a Rumford fireplace right from the beginning. Jefferson wrote a couple of letters and made some drawings in an effort to improve the Rumford design, but he didn't seem to understand streamlining (or "pneumatics" as Rumford would have put it) and neglected to round the breast.

Commanding all the logic of the blind men in the Indian folk tale describing an elephant, Thomas Danforth introduced the erroneous idea that the "smoke shelf" blocked down drafts in the back of the chimney, in his essay "fully explaining" Rumford published in 1796. James Meese, editor of the influential 1804 *Domestic Encyclopedia*, took it upon himself to interpret Rumford, weaving in much incorrect information of his own about radiation. Others, like

Gillespie in 1904, sought to improve upon Rumford or take the best of Rumford for their own profit and in so doing intentionally misrepresented Rumford. The most popular book on Rumford fireplaces this century, Vrest Orton's *The Forgotten Art of Building a Good Fireplace*, now in its 23rd edition, was where many of us first heard about Rumford. Orton, however, picks up and repeats many of these 18th and 19th century myths and misinterpretations.



Fortunately, Rumford's essays on fireplaces, although out of print, are still readily available in libraries. The easiest to get is in *The Collected Works of Count Rumford*; Sanborn Brown, ed.; Harvard Press; 1969; vol. 2. This century more ordinary people are familiar with radiation and fluid dynamics than even very well educated people like Thomas Jefferson and James Meese were two hundred years ago.

The result is that Rumford fireplaces are being built with straight backs and rounded breasts. Rumford fireplaces are more like they used to be than ever before.

Count Rumford, for whom the fireplace is named, was born Benjamin Thompson in Woburn, Massachusetts in 1753 and, because he was a loyalist, he left (abruptly) with the British in 1776. He spent much of his life as an employee of the Bavarian government where he received his title, "Count of the Holy Roman Empire." Rumford is known primarily for the work he did on the nature of heat.

Back in England, Rumford applied his knowledge of heat to the improvement of fireplaces. He made them smaller and shallower with widely angled covings so they would radiate better. And he streamlined the throat, or in his words "rounded off the breast" so as to "remove those local hindrances which forcibly prevent the smoke from following its natural tendency to go up the chimney..."

Rumford wrote two essays detailing his improvements on fireplaces in 1796 and in 1798. He was well known and widely read in his lifetime, and almost immediately in the 1790s his "Rumford fireplace" became state of the art worldwide.

Why Rumford Fireplaces Work

Rumford understood that the only useful heat generated by a fireplace was radiant heat. The air that the fire heated was mixed with smoke and went up the chimney. So he made a fireplace that

had a big, tall and wide opening and was very shallow with widely splayed covings or jambs to reflect as much radiant heat out into the room as possible.

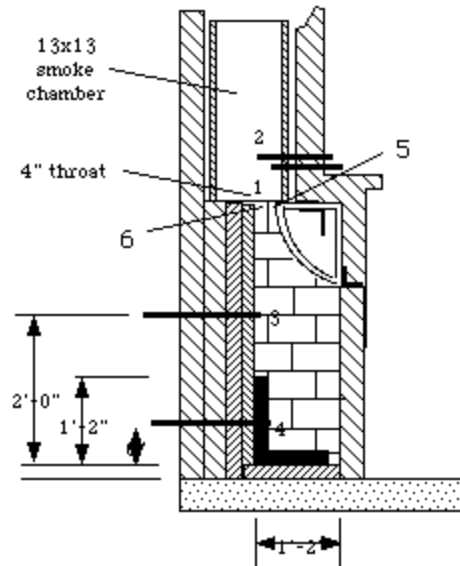
Rumford wanted to "reflect" the heat directly out into the room. He saw no advantage of absorbing the heat and re-reflecting it. Heating up the firebox only served to heat the air that came into contact with it which just was lost up the chimney. He advocated plastering and whitewashing the firebox to keep it clean and reflective. He was vehemently opposed to cast iron firebacks because they only absorbed the radiant heat and got hot which in turn heated the air which was mixed with the smoke and was lost up the chimney.

Modern physicists, familiar with Planck's Law, argue that what really happens is that the firebox, whether it's whitewashed or not, does absorb heat and re-radiates it out into the room. There isn't a significant difference between whitewashed plaster and soot-covered brick, they say, in the infrared range. Both are pretty good "black body radiators."

Whatever. The objective remains to reflect or re-radiate as much heat out of the face of the fireplace as possible. It doesn't hurt to whitewash the firebox or to insulate behind the firebrick. It does hurt to cover the opening with glass doors, which cut about 80% of the infrared radiation.

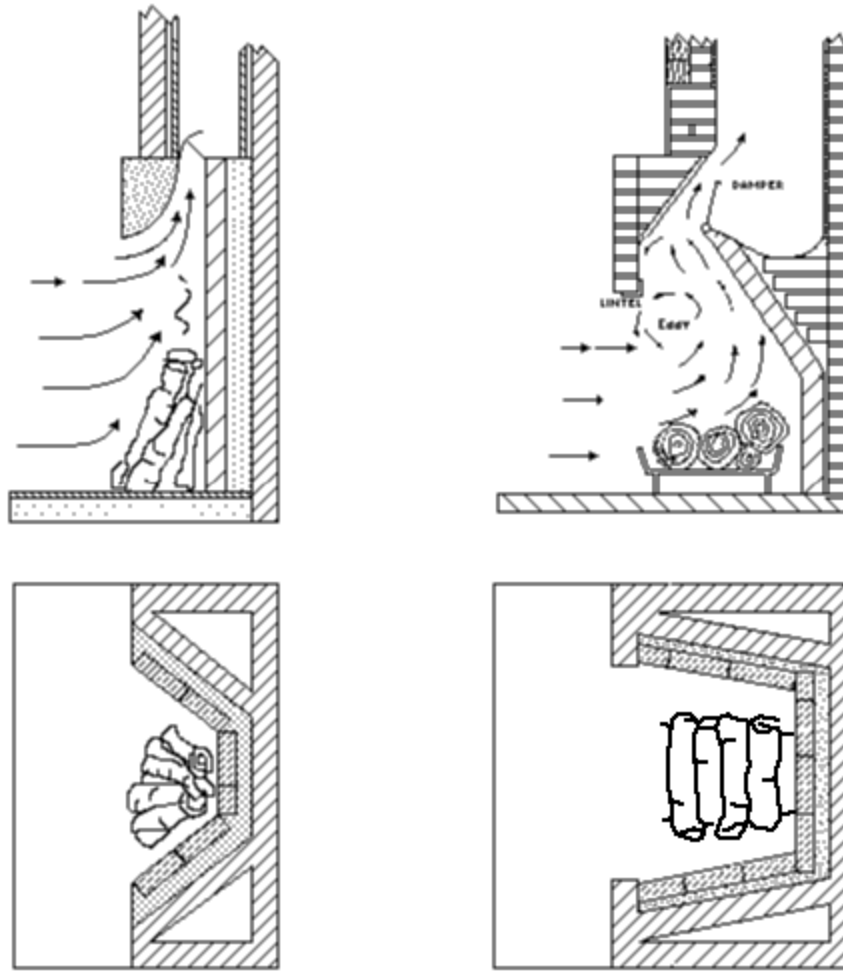
Tall, wide shallow fireplaces tend to smoke. The other half of Rumford's genius is his intuitive understanding of fluid dynamics - way ahead of his time. By rounding the breast to "remove those local hindrances which forcibly prevent the smoke from following its natural tendency to go up the chimney..." he essentially created a venturi, a nozzle, like an inverted carburetor, that shot the smoke and air up through the throat into the receiving smoke chamber.

Rumford may not have known how ingenious his "rounded breast" really was. In our testing at McNear Brick we built a Rumford fireplace studded with thermocouples just to see what the temperatures were at various places. We wanted to see if the flow through the throat was laminar, so we placed two thermocouples at the narrowest part of the throat, one near the curved breast (5) and one a couple of inches farther back near the fireback (6). To our amazement, with an established 1700 degree F fire, we recorded only 75 degrees F near the rounded throat at 5, and, only two inches away near the back at 6, we recorded 730 degrees! The flow through the throat certainly is laminar. The room air coming in over the fire doesn't mix with the hot products of combustion, but goes up with them through the throat. It's like a sheet of clean room air that acts like an invisible glass door to keep the smoke behind it as they both go up through the throat together.



This revelation has even more interesting implications. Most engineers who are trying to come up with clean-burning designs to meet EPA emission standards assume it can't be done with an open fireplace because the excess (or dilution) air mixes with, and cools the gasses too much to achieve secondary combustion. What we've found is that the excess air doesn't mix turbulently with the products of combustion in a Rumford fireplace with a streamlined throat. The products of combustion stay isolated and hot behind the sheet of clean room air. Because the Rumford firebox is tall, the gasses driven off the fire in a Rumford fireplace stay hot for a long time - long enough to attain secondary combustion. We've found that the Rumford burns cleaner yet if we place the firewood on end, leaning against the fireback, tipi style. Smoke typically pours out of the ends of the logs as they get hot and, in a log cabin style fire, some of this smoke finds its way around and over the fire into the flue. In a tipi style fire, however, the smoke coming out of the ends of the logs stays in the fire and gets burned up. Tipi fires raise the height of the fire taking advantage of the tall Rumford firebox. The "residency time" (the time the smoke and volatile gasses are in the fire) is increased and so the smoke is burned up, the fire gives off more heat and burns cleaner.

Most masons, used to building modern fireplaces, have trouble believing a Rumford will draw until they see it happen. The rules are different. In a modern fireplace the fireback is usually sloped or rolled forward casting the products of combustion forward. The incoming room air spills over the sharp edge of a steel lintel and mixes turbulently with the smoke. Most masons will tell you that you need to "cross over" or drop the lintel about eight or nine inches below the damper to create a pocket for this smoke and in-coming room air to "roll" or the fireplace will smoke.

**RUMFORD FIREPLACE****MODERN FIREPLACE**

(Adapted from Rumford's 1795 Plate Nos. 3 & 14) (From 1979 ASHRAE Equipment Handbook)

Of course all this inefficiently turbulent rolling smoke and air needs a huge throat to get through. By keeping the fireback straight and rounding the breast to get streamlined air flow instead of turbulence, we can build Rumford fireplaces with openings almost a foot taller than regular fireplaces and with throats less than half the size of a modern fireplace. No wonder Rumfords are more efficient. They radiate more heat and waste less heated room air to carry away the smoke. If you think that's amazing try to imagine how much horsepower it would take to ram a small airplane through the air with a square wing. Believe me, it helps to round off the corners of the wings.

Rumford devoted Chapter II of his 1796 essay on fireplaces to "Practical Directions designed for the Use of Workmen, showing how they are to proceed in making the Alterations necessary to improve Chimney Fire-places, and effectually to cure smoking Chimneys." Essentially, it's laborious and anyone can read it for themselves. Rumford apologizes to his readers "for having been so very particular in these descriptions and explanations, but it must be remembered that this chapter is written principally for the information of those who had few opportunities of employing their attention in abstruse philosophical researches..." Suffice it to say Rumford's method is to get the basic shape right, with a plumb bob and a special device he suggests for marking out the 135 degree angle for the covings. His masons built with brick or stone and plastered the surfaces to make a clean reflective surface and used plaster to round off the breast.

Because Superior Clay Corp. has been so successful in manufacturing vitrified clay Rumford throats and smoke chambers I think one of the footnotes in Rumford's 1796 essay is especially interesting:

"I have of late been much engaged in these investigations, and am now actually employed daily in making a variety of experiments with grates and fireplaces, upon different constructions, in the room I inhabit in the Royal Hotel in Pall Mall; and Mr. Hopkins, of Greek Street, Soho, Ironmonger to his Majesty, and Mrs. Hempel, at her Pottery at Chelsea, are both at work in their different lines of business, under my direction, in the construction of fireplaces upon a principle entirely new, and which, I flatter myself, will be found to be not only elegant and convenient, but very economical. But as I mean soon to publish a particular account of these fireplaces, with drawings and ample directions for constructing them, I shall not enlarge further on the subject in this place."

Rumford never did publish the results of these experiments. Even though he wrote another essay on fireplaces two years later, in 1798, and had the opportunity to discuss these experiments in his essay on Kitchen Fireplaces, he never did. From the difficulty Superior Clay had in manufacturing a big Rumford throat that wouldn't warp or crack in the drying and firing process, I suspect Rumford's potter was unsuccessful. Our "potter," the Superior Clay Corp., may have only just accomplished what Rumford envisioned two hundred years ago.

An edited version of this article was originally published in the March, 1994 issue of the [Journal of Light Construction](#).

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[Rumford's Essays: Chimney Fireplaces, 1796 & Supplemental Observations, 1798](#)

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Outdoor Fire Pit vs. Fireplace: Which is Right for Your Home?

There's something undeniably captivating about the flickering flames and the cozy ambiance that an outdoor **fire pit or fireplace** can create. Both options offer unique benefits and charm, making the choice between them for your outdoor project a challenging one. We will delve into the pros and cons of outdoor fire pits and fireplaces, and equip you with the knowledge you need to make an informed decision on your next project.

Outdoor Fire Pits: The Versatile Gathering Place

A **fire pit** is an outdoor feature that typically consists of a circular or square-shaped pit that can be dug into the ground, or constructed above ground. Fire pits serve as a gathering place where a controlled fire can be built and enjoyed. They can be made of various materials, such as metal, stone, or brick, and they often include a space for seating, such as a low seat wall, Adirondack chairs, or loveseats.



Aesthetic Beauty: Fire pits serve as a focal point for social gatherings, bringing forth a warm and inviting atmosphere that encourages conversation and relaxation.

Flexible cooking options: Fire pits give you the opportunity to indulge in delicious treats and expand your culinary adventures, such as toasting marshmallows, hot dogs, and more!

Cons

Limited flame control: With an outdoor fire pit, specifically wood-burning fire pits, you are limited in how much control you have over the flames and smoke direction. Wind conditions or improper positioning can cause smoke to blow toward guests, potentially causing discomfort.

Safety hazards: Fire pits can pose potential safety concerns, especially if you have children or pets. The open nature of fire pits increases the risk of accidents, such as burns, or trips and falls. It's crucial to establish proper safety guidelines and supervise the fire at all times.

Outdoor Fireplaces: The Elegant Centerpiece

An **outdoor fireplace** typically consists of a permanent structure, often made of stone or brick, designed to house a fire. Unlike a fire pit, an outdoor fireplace provides a more contained and controlled environment for a fire. It features a chimney or vent system that allows smoke to be efficiently directed away from the seating area. Outdoor fireplaces come in various sizes and styles, ranging from grand structures that resemble indoor fireplaces, to more modest designs that blend seamlessly with the surrounding landscape.



Pros

Striking Centerpiece: The architectural design and natural beauty of outdoor fireplaces make for a stunning focal point, elevating the overall aesthetic appeal of your outdoor living space. Outdoor fireplaces can also be used as a centerpiece for entertaining, such as mounting a TV onto a fireplace constructing using the U-Cara Modular system.





seating area, reducing discomfort and ensuring more visibility when socializing.

Wind and Weather Protection: The enclosed structure of an outdoor fireplace shields the fire against strong winds, ensuring it remains lit and consistent. Additionally, it offers some level of protection from rain, allowing you to enjoy the warmth and ambiance even during light showers.

Flexibility for additional features: Outdoor fireplaces offer the possibility of incorporating additional features, such as built-in pizza ovens or grills. This expands their functionality beyond providing warmth and ambiance, turning them into versatile cooking stations.

Cons

Higher upfront cost and complexity of installation: One important consideration when opting for an outdoor fireplace is the higher cost compared to fire pits. Outdoor fireplaces typically require professional construction and may involve permits and inspections. The **material choices**, chimney design, and overall structure add to the expense, making it a more significant investment.

Limited seating and gathering space: The enclosed structure and design of outdoor fireplaces may limit seating options and the number of people who can comfortably gather around the fire. If you frequently host large gatherings, you may need to consider additional seating arrangements or complement the fireplace with other seating areas.

Choosing the Right Option for Your Home

Before deciding between an outdoor fire pit or fireplace, there are several **things to consider**. First, carefully assess the available space and layout of your outdoor area to ensure that the selected fire feature fits and complements your overall space. Second, consider your budget and cost considerations, as fire pits generally offer a more affordable option compared to the higher costs associated with installing and maintaining outdoor fireplaces. Additionally, take into account your personal preferences and desired atmosphere; fire pits create a relaxed and casual ambiance, while outdoor fireplaces add a touch of elegance and sophistication.

Consider working with a reputable **hardscape contractor**, such as a Unilock Authorized Contractor. Our UACs are highly trained, possess the expertise and knowledge of Unilock products, and can provide valuable guidance on choosing the most suitable fire feature for your space.

RELATED ARTICLES





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Working with a Unilock Authorized Contractor is working with the best of the best. Our UACs possess the knowledge and expertise to bring your dream project to life, and deliver stunning results that will exceed your expectations.





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- ACCESSIBILITY (AODA)

UNILOCK

- ABOUT US
- SUSTAINABILITY
- TESTIMONIALS
- CAREERS

SOCIAL

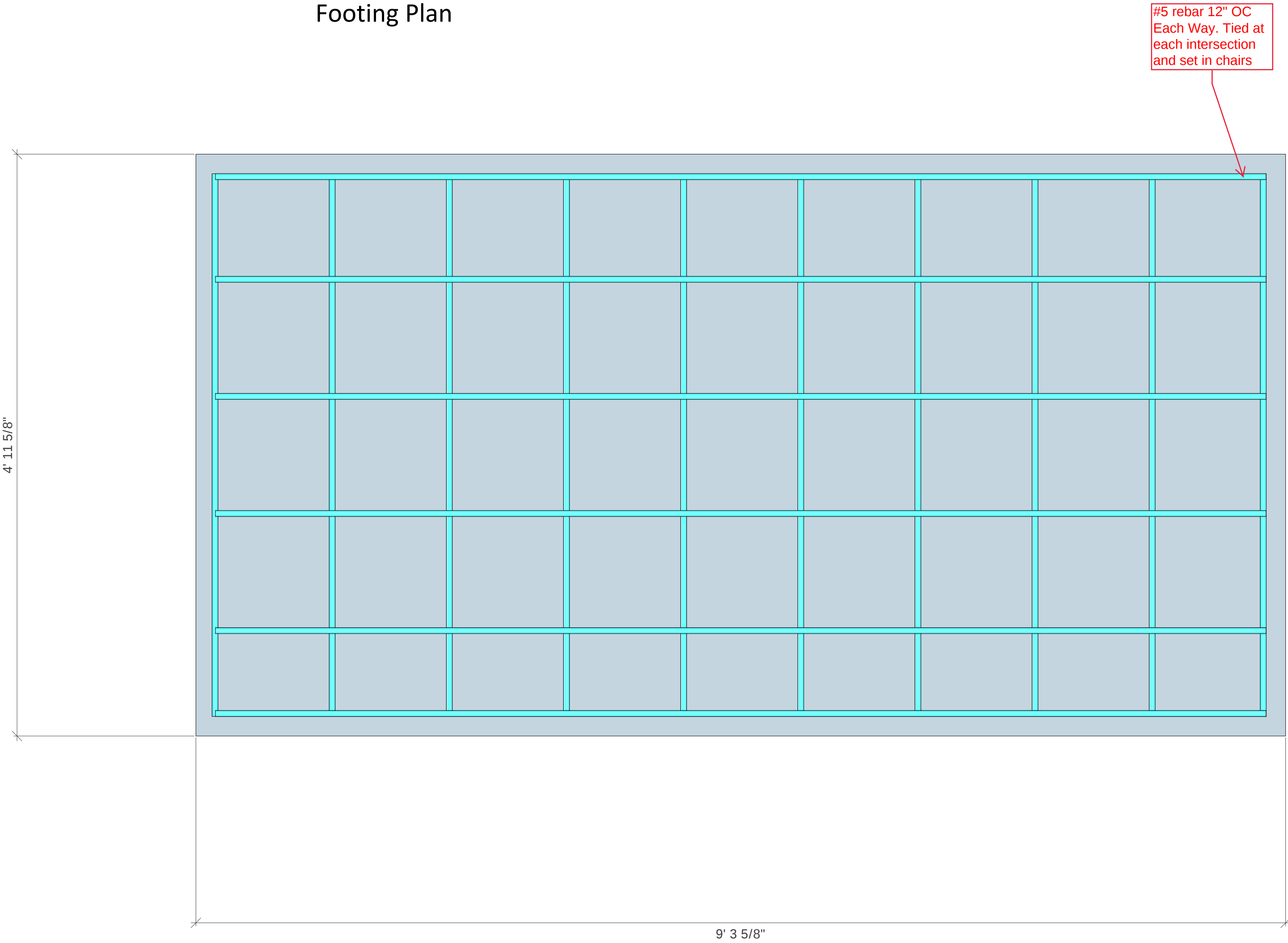
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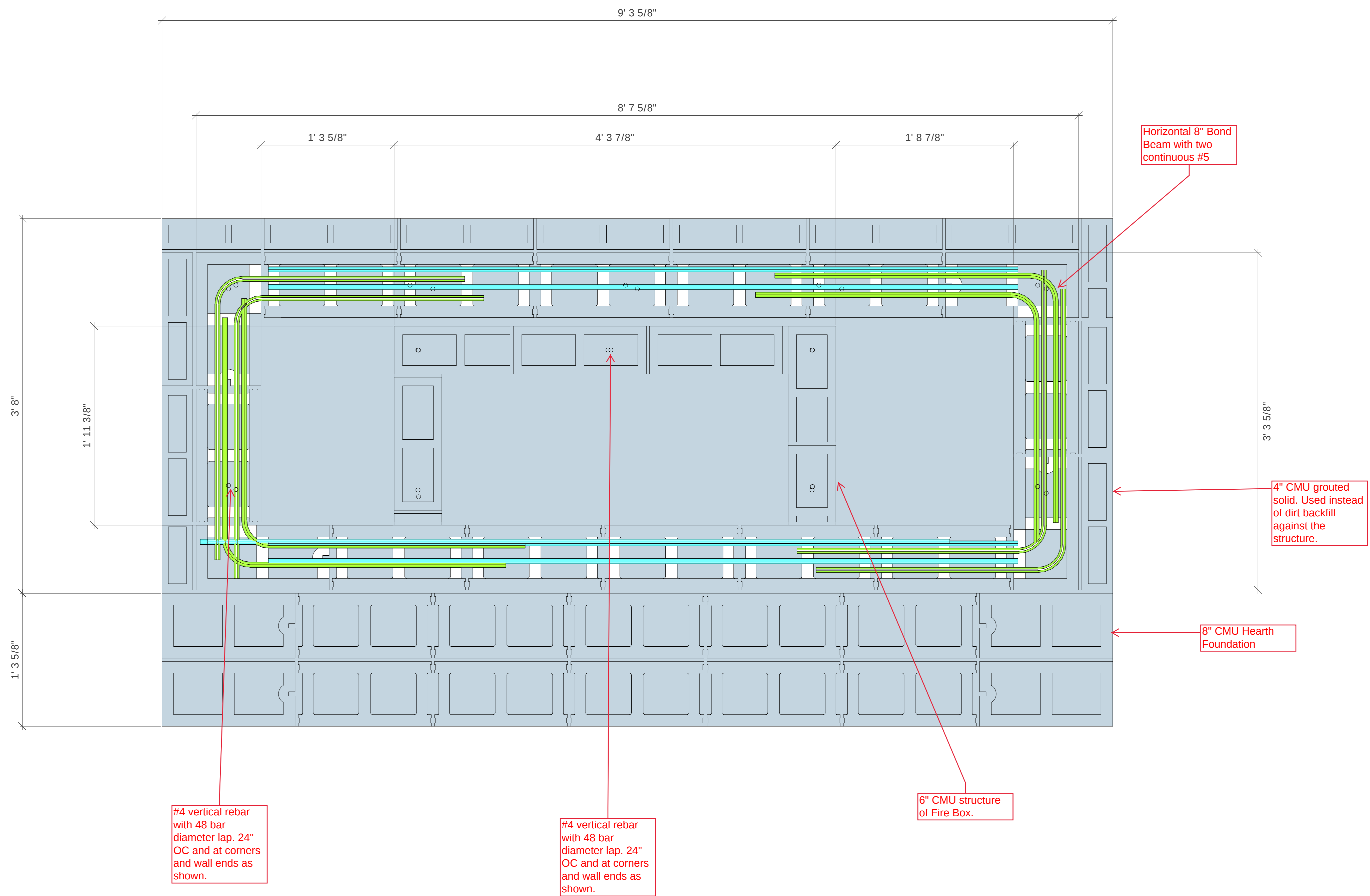
- 01 Concrete Footing Plan
- 02 Fireplace Footing Depth
- 03 Fireplace Foundation 1st Course
- 04 Fireplace Foundation 2nd Course
- 05 Fireplace Structural Layout
- 06 Fireplace Front Elevation
- 07 Fireplace Section
- 08 Firebox Plan View
- 09 Fireplace Layout – Site Plan
- 10 36" Rumford Fireplace Design
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- 12 Rumford 36" One-Piece Throat System

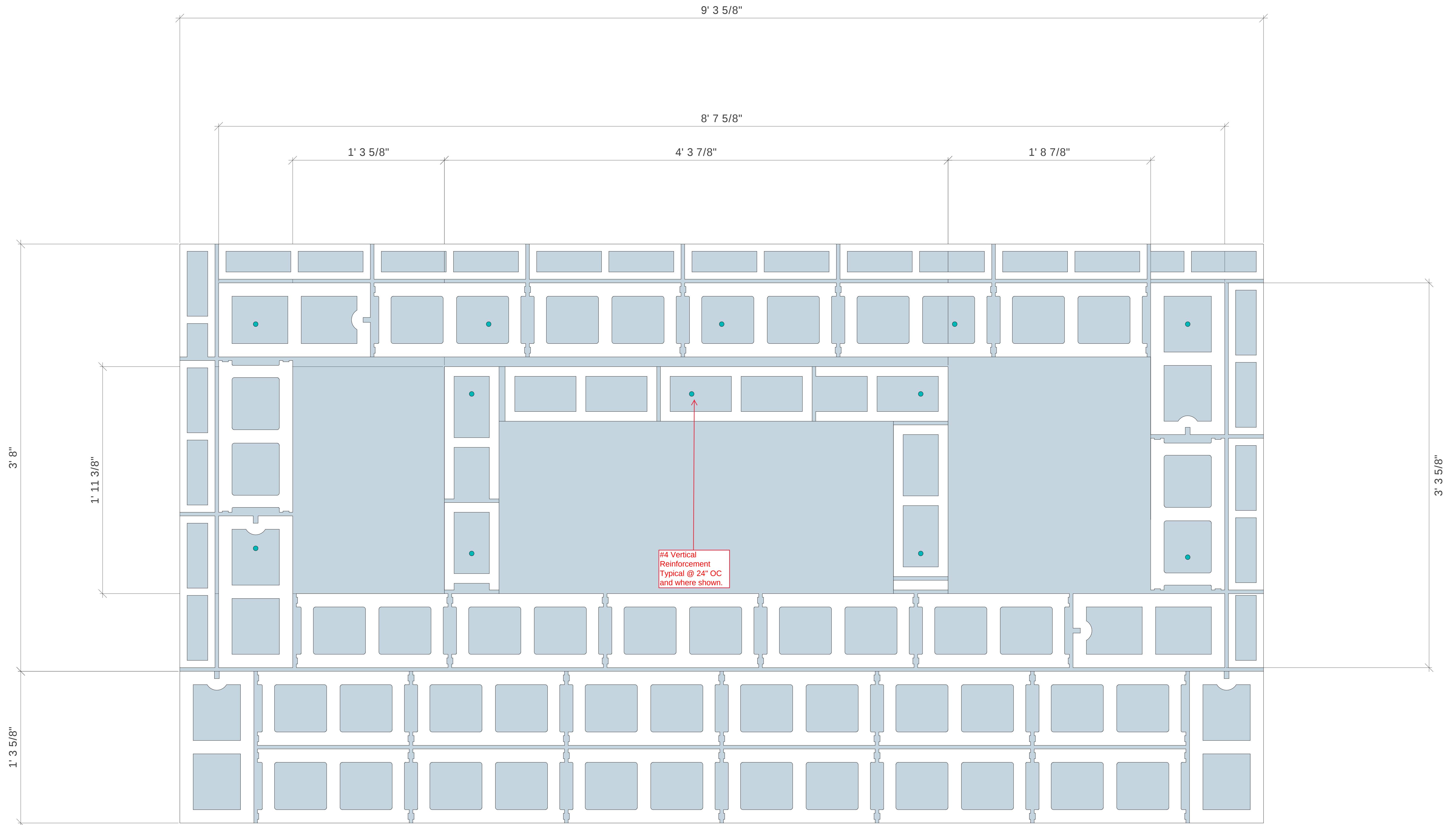
Footing Plan

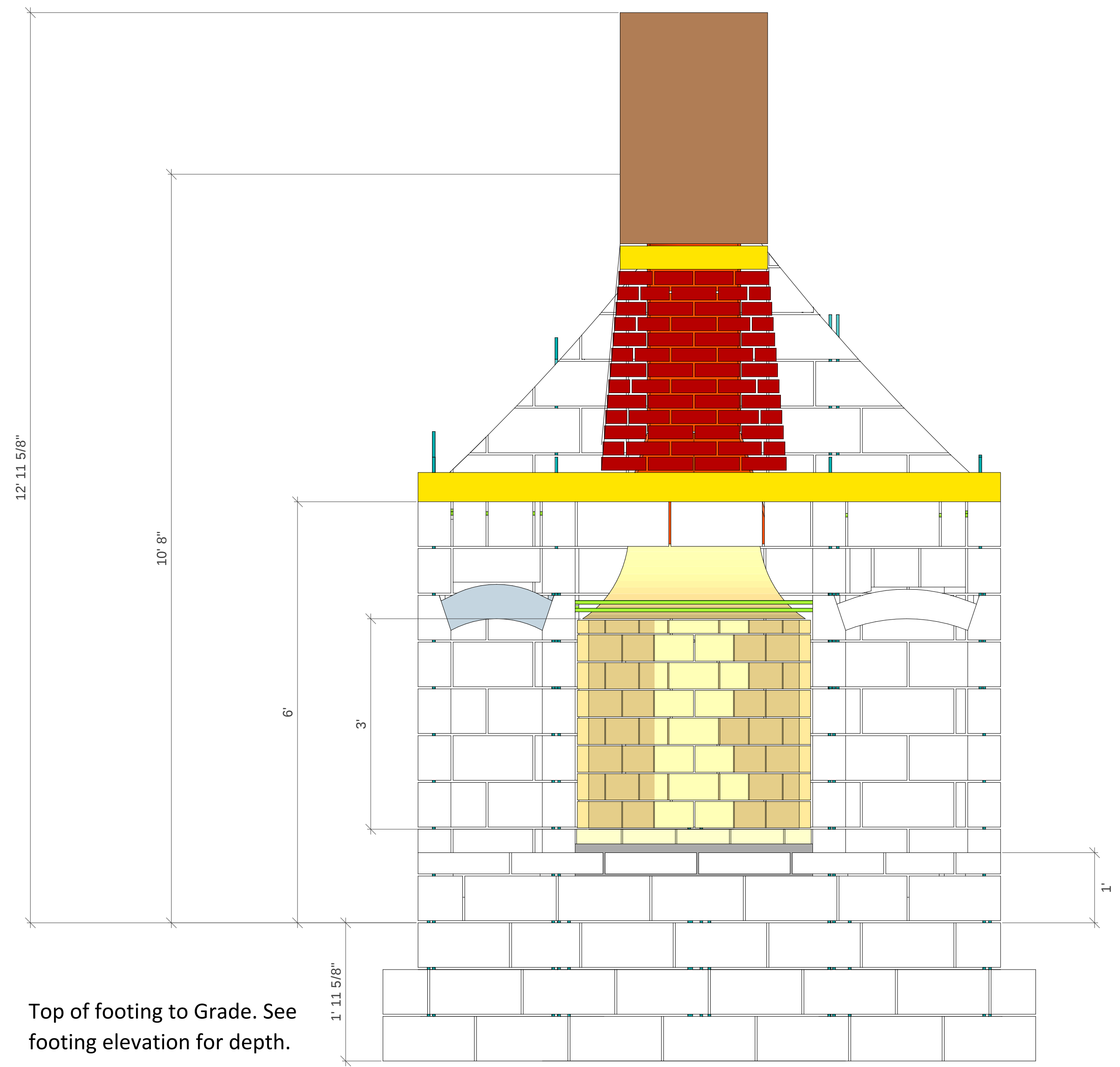




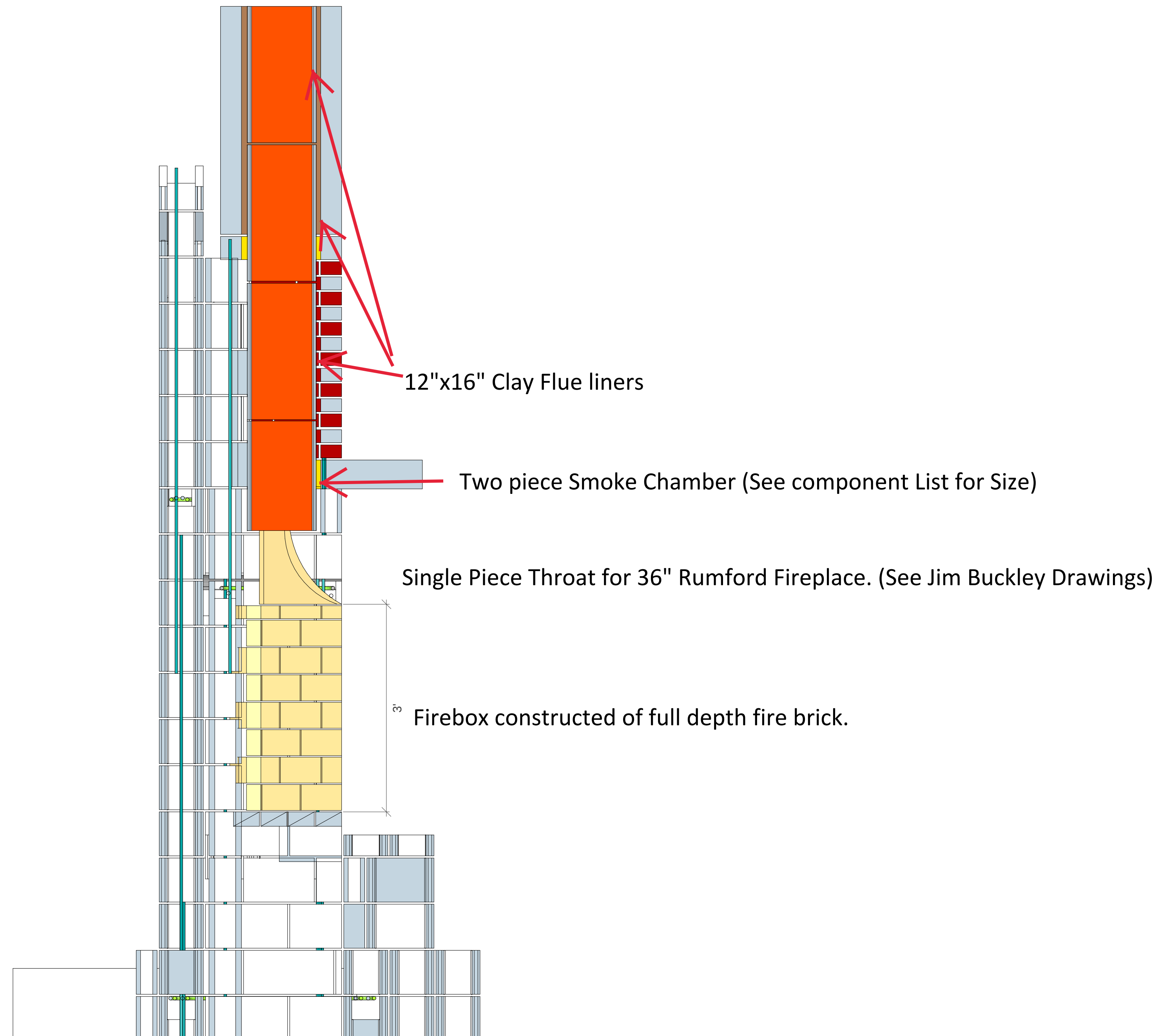
Footing Depth

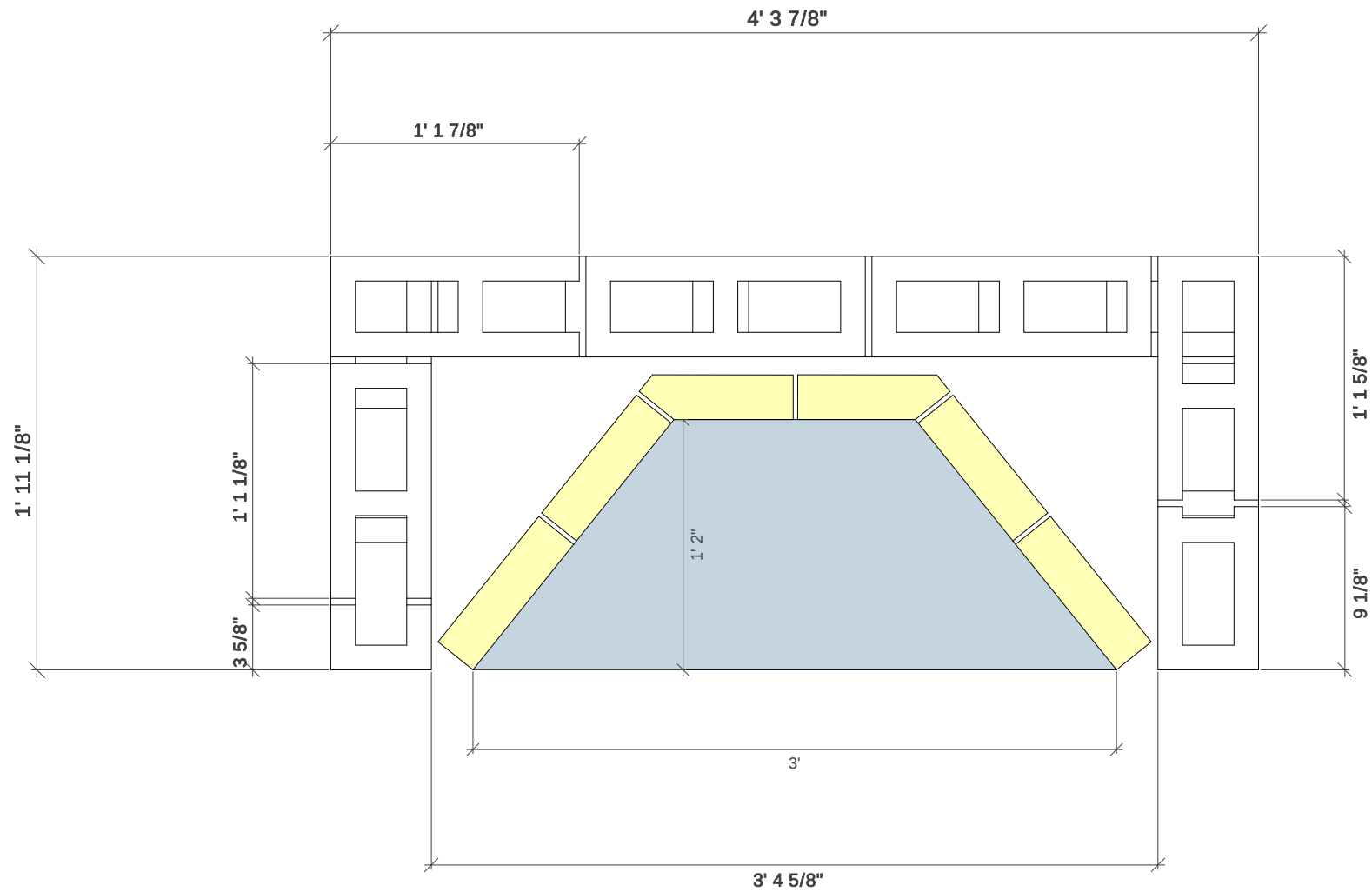






Top of footing to Grade. See footing elevation for depth.





9' 4"

Dimension from structure to back of adjacent fence.

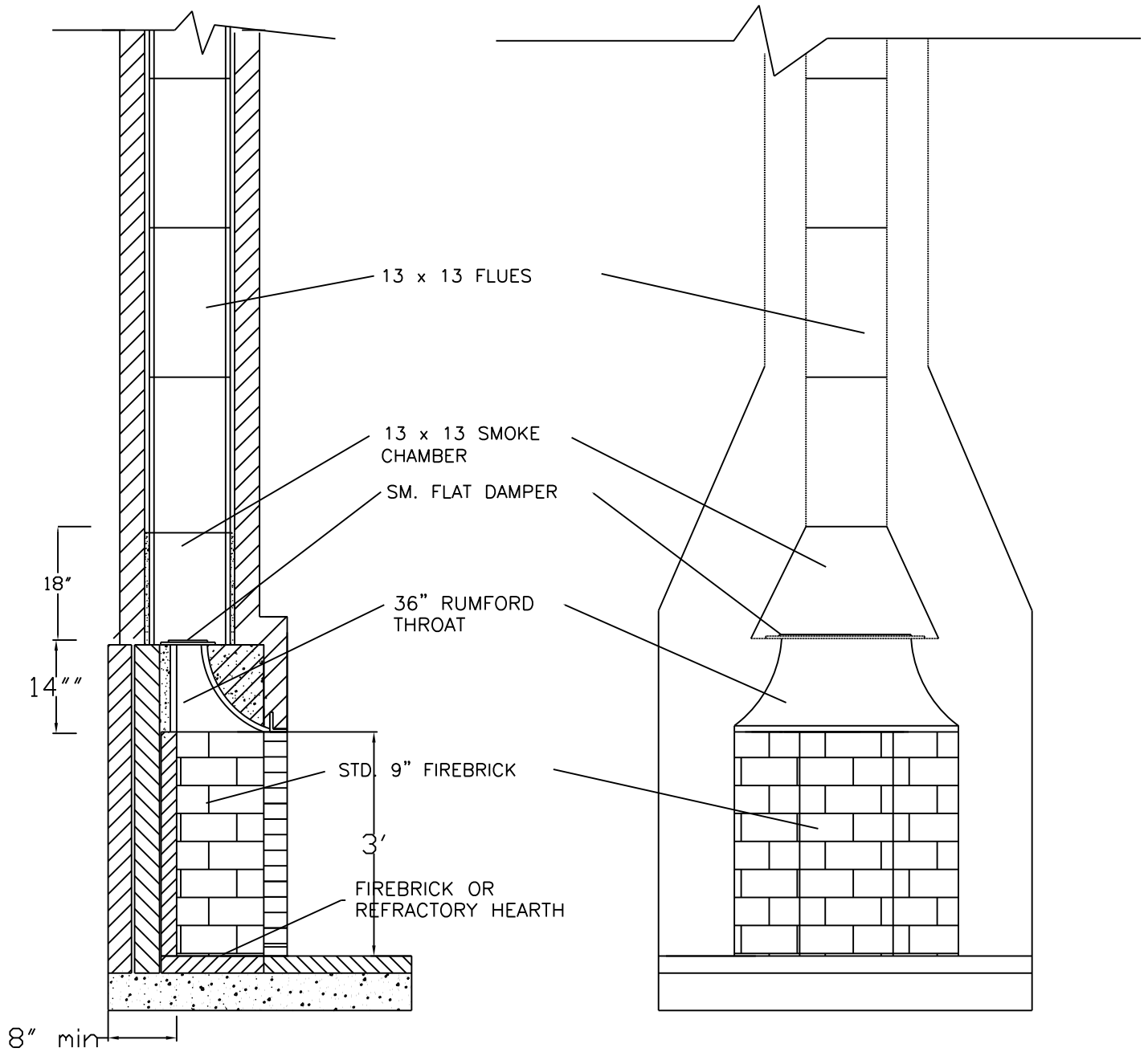


4' 1"

8' 3 5/8"

Dimension from edge of structure to house.

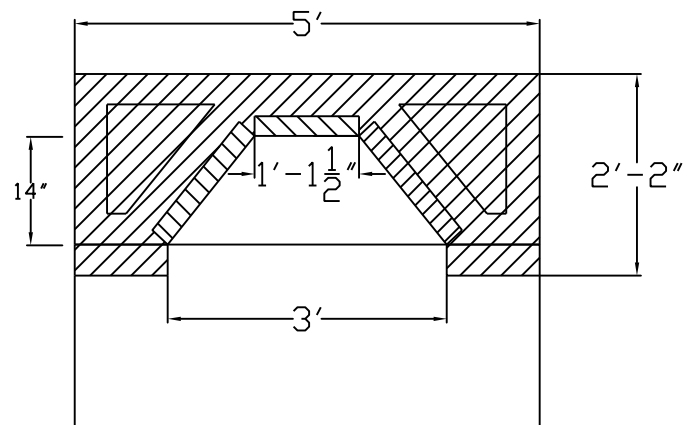
3' 3 5/8"



SUPERIOR CLAY CORPORATION

Bill of Materials

- 1-36" Rumford Throat
- 1- small flat damper
- 1- 13x13 smoke chamber
- as needed- 13x13 flues



Note: Provide adequate make up air

Buckley Rumford Fireplaces

36" RUMFORD FIREPLACE

(core materials for Rumford fireplace 36" wide by 36" tall)

5/16/18

COMPONENT	WEIGHT	PRICE
70 standard 9" x 4.5"x2.5" firebrick (125 firebrick are needed if laid flat)	511#	\$
One 50# bag HeatStop 50 hydraulic (dry) refractory mortar (Heatstop premixed refractory mortar okay in dry climates for an indoor firebox)	50#	\$
Rumford Throat : One-piece 36"x12.5"x13" or Segmented (3 throat tiles, lintel, 2 coving ext.)	100# 150#	\$
Small Cast Iron Rumford damper , K&W #1736 heavy steel Rumford damper 24" Vestal damper or chimney top damper	8#	\$
13"x13" or 12"x16" Smoke Chamber	125#	\$
13"x13"x 2' or 12"x16"x2' clay flue liners (or 12" diameter round flue - use 13"x13" Smoke Chamber)	70# ea.	\$
Instructions	-	-
"Building a Fire in Your New Fireplace"	-	-
pallet	40#	\$

Additional materials, such as brick, block, concrete and mortar will be needed.

The 36" wide Rumford is the most traditional and efficient size for living or family rooms up to 400 square feet in area. The height and widely flared covings of the Rumford make it look much bigger than other 36" wide fireplaces.

Superior Clay Corporation manufactures many different throats, smoke chambers and clay flue liners for Rumford fireplaces as well as Standard masonry fireplaces. Custom sizes and design help available.

Check for more information about [herringbone fireboxes](#), terra cotta mantels and decorative [clay chimney pots](#).

[[R2427](#)] [[R3030](#)] [[R3636](#)] [[R4242](#)] [[R4848](#)] [[R6054](#)] [[R7254](#)]
[\[Back to Components & Accessories\]](#)

Buckley Rumford FireplacesCopyright 1995 - 2018 [Jim Buckley](#)

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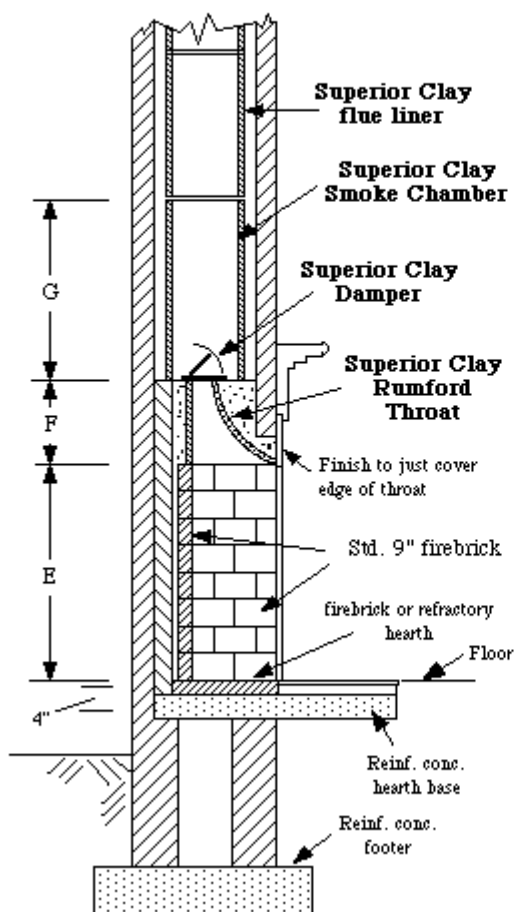
Buckley Rumford Fireplaces

One-Piece Throat System

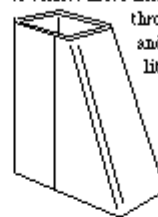
10/24/12

Rumford Fireplace

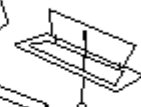
.....Components by Superior Clay Corp.



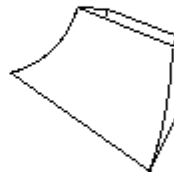
Tall and elegant....the fireplace that keeps you warm. Rumford fireplaces are shallow to reflect more heat and have streamlined throats to eliminate turbulence and carry away the smoke with little loss of heated room air.



Smoke Chamber
offset or centered
(see table below)

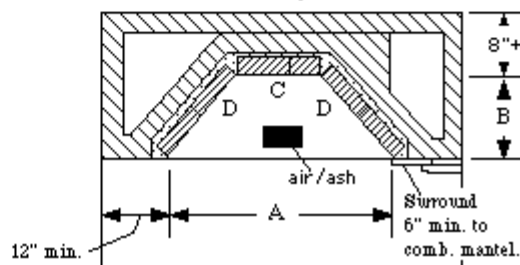


Damper
Flat cast iron
or stainless steel



Throat
For Rumford fireplaces
24", 30", 36", 42" and
48" wide

By using Superior Clay Rumford fireplace components you can be sure that all the critical ratios are engineered for you so the fireplace will be efficient and draw well. The builder or mason need only follow the instructions that come with the components to guarantee quality, save time and ensure the correct Rumford design.



FIREPLACE	THROAT	DAMPER	SMOKE CHAMBER	FLUE	OTHER DIMENSIONS							THROAT D x Wmax
					A	B	C	D	E	F	G	
R2428	TR24	KW24	812 or 1212	812 or 1212	24"	12.5"	13.5"	13.5"	28"	12"	19"	3"x16.25"
R3030	TR30	smCI or KW30	913 or 1212	913 or 1212	30"	12.5"	13.5"	15"	30"	13"	19"	3.5"x18.5"
R3636	TR36	smCI or KW36	1216 or 1313	1216 or 1313	36"	14"	13.5"	18"	36"	14"	19"	4"x20"
R4242	TR42	lgCI or KW42	1616 or 1318	1616 or 1318	42"	15"	15"	21"	42"	15"	19"	4.5"x23.5"
R4848	TR48	lgCI or KW48	1620	1620	48"	16"	18"	22.5"	48"	16"	19"	5"x27.5"

Superior Clay Corporation, Uhrichsville, OH (800 848 6166)
(Design & Technical Service, Buckley Rumford Co. 360 385 9974 or buckley@rumford.com)

For large or modified Rumfords use [Segmented Throat System](#)
For damper and flue size options see [Components & Accessories](#)

[Plans & Instructions](#)

Buckley Rumford Fireplaces
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Subject: Letter of Support for Variance Request at 1911 Suffolk Road, Upper Arlington, Ohio 43221

Dear Neighbors

I am writing in behalf of my fiancé, Christiane Hunt and myself, Jason Allman to seek your support in building an outdoor fireplace which currently needs a variance. Positioning it in any other place around a future patio would either cut off the view of the backyard or create an unacceptable barrier in the middle of the patio or yard. The structure would contain a Rumford style fireplace of concrete block construction built to a commercial standard with a firebox of clay firebrick. The chimney would be outfitted with a spark arrestor or a chimney pot which will facilitate restricting any sparks which may make it up the chimney and keep them from exiting, as well as gates at the face of the fire box to prevent sparks from exiting into the patio space. The nature of a Rumford fireplace is directional heat which pushes heat more forward than out. The exterior will be veneered with a combination of stucco (upper), brick (middle) and stone (base).

As it is currently outdoor fireplaces and fire pits are regulated in the same way but the reality is they do not function in the same way. Both are permitted to have a stack of wood 3 feet wide and 2 feet high but must be 15 feet from the house and 10 feet from the property line. This allows for some distance should sparks be sent into the air allowing them to cool before making contact with a flammable surface. An outdoor firepit can take many shapes and sizes so it could feasibly accommodate a stack of wood that is 3 feet wide and 2 feet tall. A Rumford style fireplace has a shallow firebox and is designed for efficient projection of heat and burn. As such it has no need for nearly that much wood and is not possible for a Rumford style fireplace to hold that much wood.

I am a commercial masonry contractor and have designed this to the standards I see every day. It is capable of standing on its own due to its large base and weight of construction materials. It will be attractive and functional, permitted that we can make it a reality. We would very much appreciate your support in our pursuit of a variance.

Sincerely

Christiane Hunt and Jason Allman

The block contains two handwritten signatures in dark ink. The signature on the left is for Christiane Hunt, featuring a large, stylized 'C' and 'H'. The signature on the right is for Jason Allman, featuring a more fluid, cursive style with a prominent 'J' and 'A'.

EDIT

The Board of Zoning & Planning Meeting is being held on October 16, 2024 at 6pm at the Municipal Services Center located at 3600 Tremont Road, Columbus, Ohio 43221.

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Christiane Hunt and Jason Allman

The block contains two handwritten signatures. The signature on the left is for Christiane Hunt, written in a cursive style. The signature on the right is for Jason Allman, also in cursive, with a long horizontal flourish extending to the right.

Signatures

Page 73 of 95

Authors: Justin Milam, AICP, Senior Planner

BZAP Meeting Date: October 16, 2024

Subject: Fifth Third, 1669 Fishinger Road (DEV-04-24) - Review of a graphics plan to add a new free-standing sign, a canopy-mounted sign facing Tremont Road and replace existing building-mounted signage.

Site Description/History

The subject property, 1669 Fishinger Road, is located at the southwest corner of the Five Points intersection (Fishinger Road, Northwest Boulevard and Tremont Road) and is home to Fifth Third Bank. The Bank has occupied the land since 1959 and built the existing building in 1969. The bank has two access points along each Fishinger and Tremont Roads. The property is zoned Planned Mixed Use District (PMUD- Kingsdale West), where financial services are a permitted use.

Proposal

The proposal includes the replacement of two signs that are visible from Fishinger Road (one facing the GetGo gas station above the main entrance and another facing a single-family residence and easily viewed from road), a new sign on the side of the drive-thru canopy that would face Tremont Road, and a new free-standing sign near the Five Points intersection. The two signs visible from Fishinger Road are largely the same size and in the same location. The sign above the main entrance is internally-illuminated, while the sign facing west would be halo-lit, in order to provide a softer illumination for an adjacent neighbor. [Illuminated signage on the west elevation has existing since at least early 2005.] A free-standing sign is proposed 25 feet from Fishinger and Tremont Road right-of-way and matches the dimensional standards found in the Sign Code. It would have a stucco base with quoins to match the building. A small sign would be added in the drive-thru canopy as well, and is internally-illuminated. [A sign previously existed in this location, as well as on the east elevation, but were removed in late 2011.] No changes are proposed to existing ATM or directional signage.

Zoning Code Requirements

Article 6.06 of the City's Unified Development Ordinance (UDO) outlines signage requirements in the community. The code largely allows for the replacement of existing signage provided they are in a similar location, have a similar size and there are no changes to illumination. [This means the two signs facing Fishinger Road can be replaced without BZAP review.] In PMUD areas, a graphics plan is required for any new signage, which would include



the proposed free-standing sign at the intersection and the proposed building-mounted sign on the drive-thru canopy.

Comprehensive Graphics Plan Required: To avoid visual clutter and visual blight, to improve wayfinding, to decrease distraction for motorists and pedestrians, and to encourage economic development and placemaking as contemplated by the Master Plan in the City's Planned Mixed Use Districts (PMUDs), a comprehensive graphics plan shall be required for all projects located in a PMUD. This shall be reviewed by BZAP for signage types, locations, color scheme, sizes, illumination, compatibility with architecture, and establishment of unity of design for the development. In evaluating a Comprehensive Graphics Plan, this Section shall serve as a reference but the Comprehensive Graphics Plan may supersede this Section's requirements; provided, however, that any deviation from this Section's requirements in a Comprehensive Graphics Plan shall not impair the City's aesthetic objectives, traffic and pedestrian safety, or the City's other interests as noted in this Section. After adoption of a comprehensive graphics plan, all new individual signs shall be reviewed by the Community Development Department for conformance with such graphics plans. The Community Development Director shall determine whether minor amendments to graphics plans, other than those related to the specific types of signage permitted, shall require BZAP review.

Alternatives

Since the initial application was submitted, Staff has requested several revisions:

- Despite its history, that the west elevation sign that is visible on Fishinger Road be non-illuminated due to the proximity (125 feet) to a single-family residence. The applicant has offered to provide halo-lit illumination so that the intensity of light is drastically reduced. The bank does not want to lose an illuminated sign that faces the roadway and has existed for decades. The remaining signs would be internally-illuminated; Staff requested that these other signs be halo-lit for consistency.
- That the free-standing sign include a setback of 25 feet from Fishinger and Tremont Road rights-of-way. [The code minimum is 15 feet.] This request comes from the City Engineer because of the likelihood of a future roundabout at Five Points, which would impact the sign in its proposed location. The applicant has made this revision.
- That a rendering of the free-standing sign at night in order to ensure an opaque background per code. The applicant has satisfied the request.

Requested Action and Findings

Staff has reviewed the application and plans, visited the site and discussed the plan with the applicant. Any rebranding concept, especially for a bank, presents an opportunity to examine the types and locations of signage that can identify, attract and retain customers. It can enhance the aesthetic of the building and property, while working to better fit into the character of the area. With the Fishinger Road enhancement project nearing completion, nearby redevelopment at Kingsdale, and a potential roundabout at Five Points, there is indeed an opportunity to look at how the bank positions itself, and the graphics plan allows for that. This plan allows for new and modest signage at the street intersection and along Tremont Road, which it previously had, but currently does not. Staff is supportive of the proposed graphics plan, provided:



- The west elevation signage becomes non-illuminated; and
- That all other building-mounted signs include halo-lit illumination.

Should the Board agree to halo-lit signage for the west elevation, Staff would strongly recommend that the other signs be halo-lit for consistency.

Attachments

1.	BZAP Staff Report Pics - Fifth Third Fishinger
2.	41254_Fifth Third Bank 1669 Fishinger Rd Columbus OH_10-10-24_FINAL UPDATE
3.	24-4492



Fifth Third 1669 Fishinger Road

BZAP Staff Report Pictures | Graphics Plan



Google Maps ® Aerial – Looking South



Existing Fishinger Road Elevation



Existing Tremont Road Elevation



Existing West Elevation



Proposed Sign Plan



Proposed Building-Mounted Signs



Current



Current



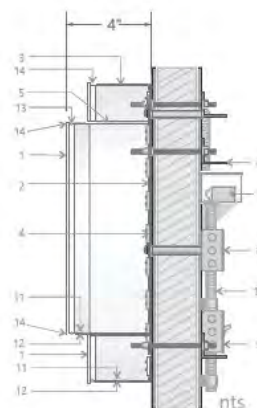
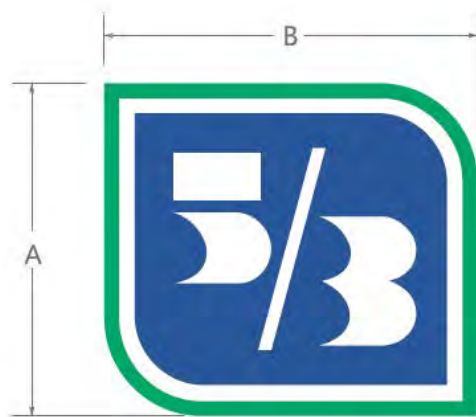
Proposed



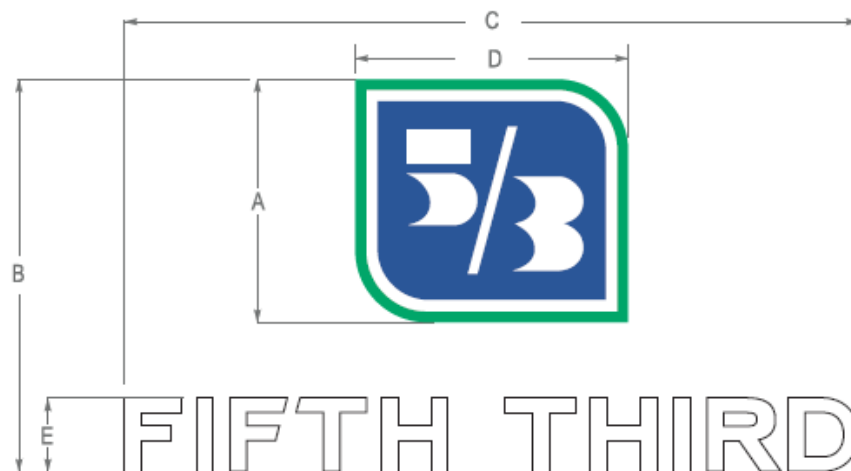
Proposed



Proposed Building-Mounted Signs



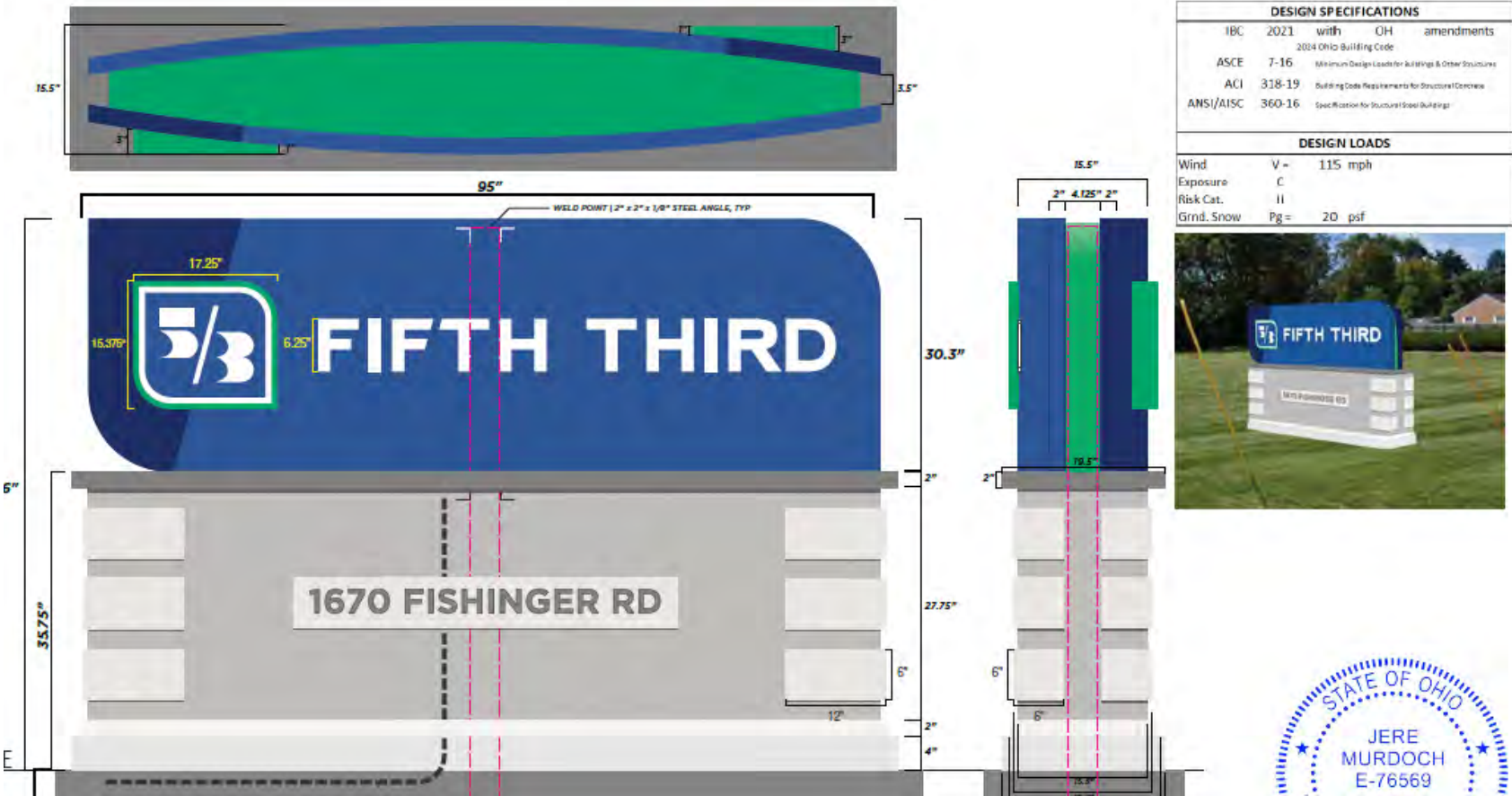
Current



Proposed



Proposed Free-Standing Sign



- Verify all wording, spelling, art and sizes are correct before approving. (Drawing may not be to scale.)
- Once approved, you are responsible for 50% the remake cost should any errors be found after production begins.
- Colors portrayed on proof may not match final product due to difference between digital and pigmented colors
- Up to 3 proofs provided at no charge. Changes beyond the 3rd proof will be subject to the rate of \$95/hour.

PRODUCTION WILL NOT BEGIN UNTIL APPROVAL IS RECEIVED

Project Completion - All completed orders are stored for 30 days after notification. If arrangements aren't made and product remains after 30 days, the item will be promptly discarded.

ORDER INFORMATION

ORDER #: 41254
DATE: 8/23/24
DESIGNER: RF

CLIENT INFORMATION

Emily Joehlin
330-317-0344
emily.joehlin@53.com

COMPANY INFORMATION

Fifth Third - Upper Arlington
1669 Fishinger Rd
Columbus, OH 43221

PROJECT SPECIFICATION

PARID: 070-007125-00
Ownder: Fifth Third Bank
Address: 2727 Lyndon B Johnson FWY STE 806
Dallas, TX 75234

STANDARD COLORS

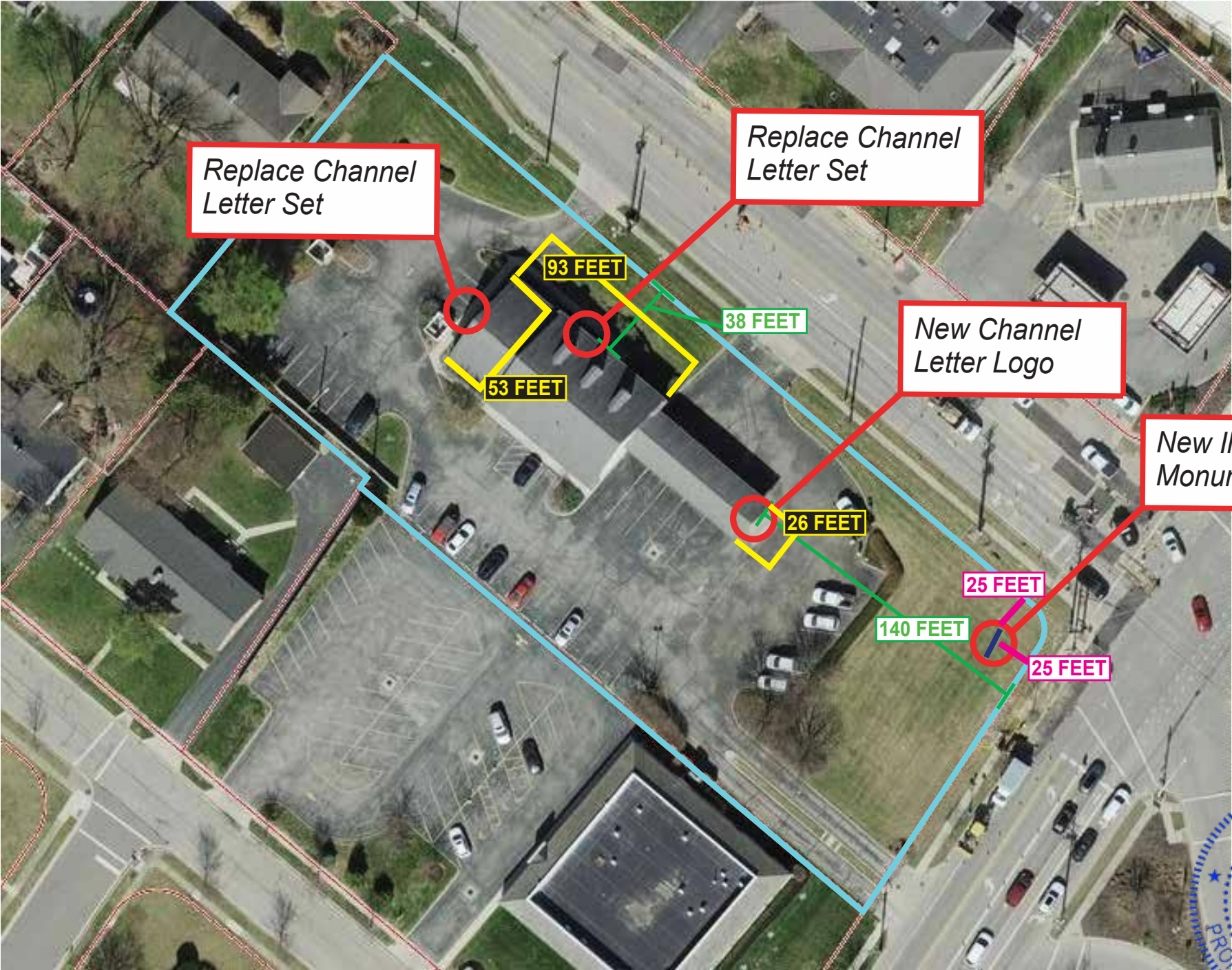
All 3M Vinyl to be Scotchcal vinyl

COLOR NAME	STANDARD MATCH	PAINT	TRANSLUCENT VINYL	OPAQUE VINYL	PERFORATED VINYL
Azurite	PMS 7685	MP 73828	3M 3630-047 Patriot Blue		3M 3635-157 Sultan Blue Day / Night
Lapis	PMS 281	MP TBD	3M 3630-137 European Blue		
Green	PMS 3405	MP 448	3M 3630-146 Kelly Green		
White		MP White		3M 363077-010 White	
Silver		MP 413425P Brushed Aluminum			
Moonstone	PMS Cool Gray 10				
Platinum	PMS Cool Gray 11				

Standard Plastics

Situational Plastic

Awning Material & Colors



DESIGN SPECIFICATIONS			
IBC	2021	with OH amendments	
2024 Ohio Building Code			
ASCE	7-16	Minimum Design Loads for Buildings & Other Structures	
ACI	318-19	Building Code Requirements for Structural Concrete	
ANSI/AISC	360-16	Specification for Structural Steel Buildings	
DESIGN LOADS			
Wind	V =	115 mph	
Exposure	C		
Risk Cat.	II		
Grnd. Snow	Pg =	20 psf	

STATE OF OHIO

JERE MURDOCH

E-76569

REGISTERED PROFESSIONAL ENGINEER

MURDOCH ENGINEERING

SIGN STRUCTURE PROFESSIONALS

2399 A-2 NJ-34

MANASQUAN, NJ 08735

973-570-8215

Jere Murdoch, PE

Professional Engineer

OH PE Lic # PE.76569

Exp. 12/31/2025

9/27/2024

PG: 1 of 9

Signarama

812-537-5516 | 1090 West Eads Pkwy. Lawrenceburg, IN 47025 | info@signarama-lawrenceburg.com
859-282-7446 | 8880 Bankers St. Florence, KY 41042 | info@signarama-florence.com

This design and drawing are property of McCord Signs LLC. No disclosure shall be made to any person, firm, or corporation without written approval. To assure safety and quality, our products are UL# E26854

Rush Jobs- Orders requiring completion within 48 hours or less, are subject to an additional 25% charge, above the originally quoted price (limitations apply). This fee is not applicable on installations.

Payment - All orders will require a 50% deposit. Balance is due upon delivery and/or installation. Credit terms may be extended on a case-by-case basis. Unpaid invoices past 30 days are subject to a \$25 late charge, together with interest accruing at the rate of 1.5% annum.

YESCO

812-577-0904

1090 West Eads Pkwy.

Lawrenceburg, IN 47025

dcarson@yesco.com

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1669 Fishinger Rd
Columbus, OH 43221

PROJECT SPECIFICATION

REMOVE EXISTING LETTERS
PATCH HOLES ONLY WITH CAULK
PAINT/BRICK/STUCCO/SIDING REPAIR BY OTHERS
INSTALL NEW PER SPEC AND WIRE TO EXISTING ELECTRICAL
QTY: 1 set

STANDARD COLORS					
All 3M Vinyl to be Scotchcal vinyl					
COLOR NAME	STANDARD MATCH	PAINT	TRANSLUCENT VINYL	OPAQUE VINYL	PERFORATED VINYL
Azurite	PMS 7685	MP 73828	3M 3630-047 Patriot Blue		3M 3635-157 Sultan Blue Day / Night
Lapis	PMS 281	MP TBD	3M 3630-137 European Blue		
Green	PMS 3405	MP 448	3M 3630-146 Kelly Green		
White		MP White		3M 363077-010 White	
Silver		MP 41342SP Brushed Aluminum			
Moonstone	PMS Cool Gray 10				
Platinum	PMS Cool Gray 11				
Standard Plastics		Situational Plastic		Awning Material & Colors	
☐ 7328 White Acrylic	☐ 2406 Optix LD White Acrylic			☐ 08-0000 Black (Sunbrella)	
☐ Clear Acrylic	☐ 7328 White Polycarbonate			☐ 44-0000 Charcoal Gray (Sunbrella)	
				☐ 52-0000 Mediterranean Blue (Sunbrella)	



Current



Proposed

DESIGN SPECIFICATIONS				
IBC	2021	with	OH	amendments
2024 Ohio Building Code				
ASCE	7-16	Minimum Design Loads for Buildings & Other Structures		
ACI	318-19	Building Code Requirements for Structural Concrete		
ANSI/AISC	360-16	Specification for Structural Steel Buildings		
DESIGN LOADS				
Wind	V =	115 mph		
Exposure	C			
Risk Cat.	II			
Grnd. Snow	Pg =	20 psf		

STATE OF OHIO
JERE MURDOCH
E-76569
REGISTERED
PROFESSIONAL ENGINEER

MURDOCH ENGINEERING

SIGN STRUCTURE PROFESSIONALS

2399 A-2 NJ-34

MANASQUAN, NJ 08736

973-670-8215 x0

9/27/2024

Jere Murdoch, PE

Professional Engineer

OH PE Lic. # PE.76569

Exp. 12/31/2025



This design and drawing are property of McCord Signs LLC. No disclosure shall be made to any person, firm, or corporation without written approval. To assure safety and quality, our products are UL# E26854

Rush Jobs- Orders requiring completion within 48 hours or less, are subject to an additional 25% charge, above the originally quoted price (limitations apply). This fee is not applicable on installations.

Payment - All orders will require a 50% deposit. Balance is due upon delivery and/or installation. Credit terms may be extended on a case-by-case basis. Unpaid invoices past 30 days are subject to a \$25 late charge, together with interest accruing at the rate of 1.5% annum.

812-537-5516 | 1090 West Eads Pkwy. Lawrenceburg, IN 47025 | info@signarama-lawrenceburg.com
859-282-7446 | 8880 Bankers St. Florence, KY 41042 | info@signarama-florence.com

YESCO

812-577-0904

1090 West Eads Pkwy.

Lawrenceburg, IN 47025

dcarson@yesco.com

- Verify all wording, spelling, art and sizes are correct before approving. (Drawing may not be to scale.)
- Once approved, you are responsible for 50% the remake cost should any errors be found after production begins.
- Colors portrayed on proof may not match final product due to difference between digital and pigmented colors
- Up to 3 proofs provided at no charge. Changes beyond the 3rd proof will be subject to the rate of \$95/hour.

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G2 - Illuminated Letterset | Remote Wired | White Faces | Linear Layout

G2-CL-RMT-W-L-24

24" x 10'-11 11/16"
21.95 sq.ft

1	.5" acrylic .125" exposed edge
2	backs to be .080" logo .063" letters pre-finished white aluminum
3	2 7/8" returns to be .063" logo .040" letters aluminum
4	illumination to be provided by LED.
5	.125" gap between returns of two elements
6	mounting varies upon location and wall material
7	power supply
8	junction box
9	listed disconnect switch
10	primary power source
11	weep hole cover to be white pre-finished aluminum
12	weep hole
13	3 7/8" returns to be .063" aluminum
14	screw through return into acrylic shoulder

ELECTRICAL NOTES	
1.	All materials and fasteners meet 3004.4
2.	All electrical components are UL listed, labeled and approved.
3.	Sign grounded according to NEC 6007.7
4.	Signs manufactured and listed NEC 600.3 and marked per NEC 600.4.
5.	All branch circuits per NEC 600.5(B).1 or (B).2.
6.	All Signs controlled by photocell or time clock per FBC 13-415.1 (ABC).1.4.
7.	One visible 20 amp disconnect per sign per circuit per NEC 600.6(A).1
8.	Signage to be connected to Existing Electric

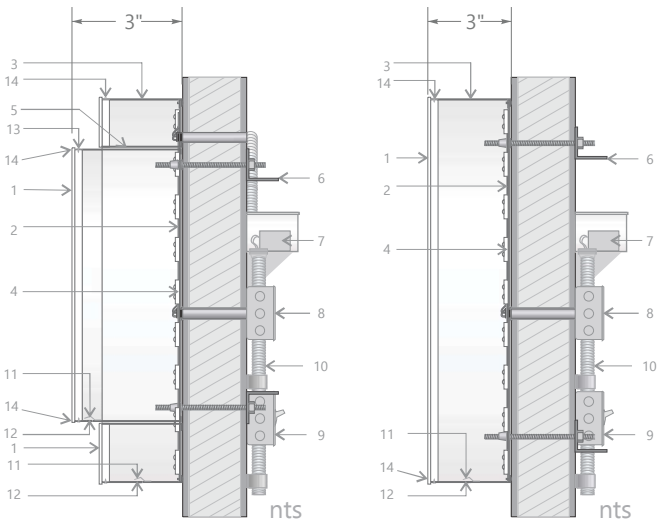
COLORS & MATERIALS

	Logo Return Painted MP 448 Satin Finish
	Logo Return Painted MP White Satin Finish
	Letter Return Painted "Platinum" MP to match PMS Cool Gray 11 Satin Finish
	Logo & Letters Acrylic to be #7328 White Acrylic
	Logo Vinyl to be 3M #3630-047 Patriot Blue Applied First Surface
	Logo Vinyl to be 3M #3630-146 Light Kelly Green Applied First Surface



GEN 2 | FIFTH THIRD BANK | CHANNEL LETTERSET | REMOTE WIRED | WHITE FACES | PLATINUM RETURNS | LINEAR LAYOUT

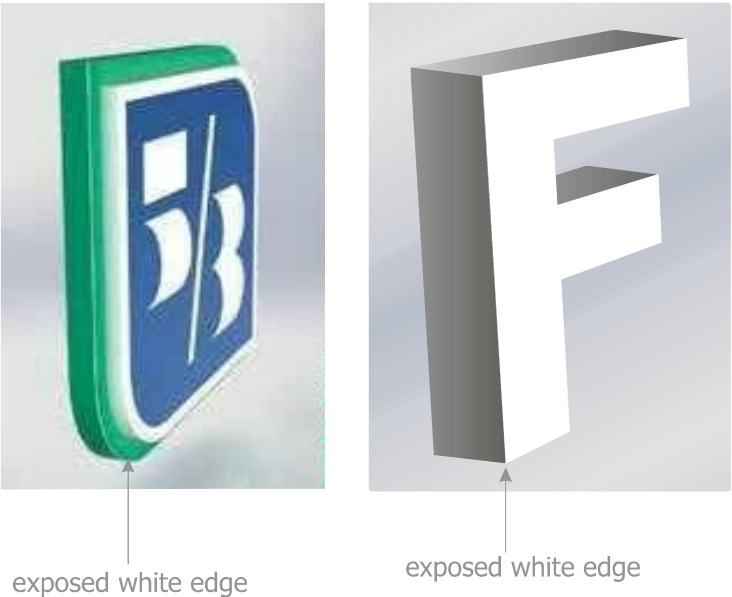
Sign Type	A	B	C	D	E	Sq. Ft. (4 Line) A x B
	A x B					
5/3 G2-CL-RMT-W-L-24	24" — 2'-0"	10'-11 11/16"	2'-2 15/16"	8'-1 11/16"	0'-9 3/4"	21.95



FASTENER SCHEDULE			WALL CONSTRUCTION			
HARDWARE	DIAM.	QTY. Per/Letter	MASONRY (CMU-Block)	EFIS/DRYVIT OVER min. 1/2" PLYWOOD	EFIS/DRYVIT OVER GYPSUM/DENSGLOSS	METAL PANEL OVER METAL STUD
THRU-BOLT	1/4"	2	YES	YES	ONLY WITH BACKER (MIN. 3/4" PLYWOOD)	YES
DeWALT Screw-Bolt	3/8"	2	YES ²	NO	NO	NO
DeWALT DBL. EXPANSION ANCHOR	3/8"	2	YES ²	NO	NO	NO
LAG BOLT	1/4"	2	NO	1" SOLID WOOD PENETRATION REQ'D	NO	NO
SNAP TOGGLE BOLT TYPE BB	1/4"	2	IF THROUGH BLOCK FACE	YES	ONLY WITH MIN. 3/4" PLYWOOD BACKER	YES with plywood backer
Tek-Screw	1/4"	2	NO	NO	NO	YES into 1/8" Alum or 1/16" Steel

1.) Fasteners shall be evenly spaced. Thru-sign Backs with washer into .09" Back. w/Fenderwasher into .08" letter Back or less.
2.) Expansion anchors /Screw Bolt require a minimum 5" solid masonry embedment installed per/tec-guide for wall construction type.
3.) Engineering liability is limited to building connections.
4.) Tek-Screw into Alum. Require SS Screw - Full Thread Embedment Required.
5.) Thru-Bolts (All-Threaded Rods) into L2x2x3/16" Stl. Angle or 2x6 lumber spanning two(2) wall studs per/Bolt- Rod

Engineers Connection Note:
Provide Fasteners through letter backs with washer top and bottom, using the fastener schedule for existing wall construction type to determine the fastener type and quantity per/Letter to install.
* Logo provide Four(4) per/Schedule.



DESIGN SPECIFICATIONS				
IBC	2021	with	OH	amendments
2024 Ohio Building Code				
ASCE	7-16	Minimum Design Loads for Buildings & Other Structures		
ACI	318-19	Building Code Requirements for Structural Concrete		
ANSI/AISC	360-16	Specification for Structural Steel Buildings		
DESIGN LOADS				
Wind	V =	115 mph		
Exposure	C			
Risk Cat.	II			
Grnd. Snow	Pg =	20 psf		

STATE OF OHIO
JERE MURDOCH
E-76569
REGISTERED PROFESSIONAL ENGINEER

MURDOCH ENGINEERING
SIGN STRUCTURE PROFESSIONALS
2399 A-2 NJ-34
MANASQUAN, NJ 08736
973/670-8215 x0
Jere Murdoch
Jere Murdoch, PE
Professional Engineer
OH PE Lic. # PE.76569
Exp. 12/31/2025

9/27/2024

Signarama

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YESCO

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Lawrenceburg, IN 47025
dcarson@yesco.com

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ORDER INFORMATION

ORDER #:

41254

DATE:

8/23/24

DESIGNER:

RF

CLIENT INFORMATION

Emily Joehlin

330-317-0344

emily.joehlin@53.com

COMPANY INFORMATION

Fifth Third - Upper Arlington

1669 Fishinger Rd

Columbus, OH 43221

PROJECT SPECIFICATION

REMOVE EXISTING LETTERS

PATCH HOLES ONLY WITH CAULK

PAINT/BRICK/STUCCO/SIDING REPAIR BY OTHERS

INSTALL NEW PER SPEC AND WIRE TO EXISTING ELECTRICAL

QTY: 1

STANDARD COLORS					
All 3M Vinyl to be Scotchcal vinyl					
COLOR NAME	STANDARD MATCH	PAINT	TRANSLUCENT VINYL	OPAQUE VINYL	PERFORATED VINYL
Azurite	PMS 7685	MP 73828	3M 3630-047 Patriot Blue		3M 3635-157 Sultan Blue Day / Night
Lapis	PMS 281	MP TBD	3M 3630-137 European Blue		
Green	PMS 3405	MP 448	3M 3630-146 Kelly Green		
White		MP White		3M 363077-010 White	
Silver		MP 41342SP Brushed Aluminum			
Moonstone	PMS Cool Gray 10				
Platinum	PMS Cool Gray 11				
Standard Plastics		Situational Plastic		Awning Material & Colors	
	7328 White Acrylic		2406 Optix LD White Acrylic		08-0000 Black (Sunbrella)
	Clear Acrylic		7328 White Polycarbonate		44-0000 Charcoal Gray (Sunbrella)
					52-0000 Mediterranean Blue (Sunbrella)



Current



Proposed

DESIGN SPECIFICATIONS				
IBC	2021	with	OH	amendments
				2024 Ohio Building Code
ASCE	7-16			Minimum Design Loads for Buildings & Other Structures
ACI	318-19			Building Code Requirements for Structural Concrete
ANSI/AISC	360-16			Specification for Structural Steel Buildings
DESIGN LOADS				
Wind	V =		115	mph
Exposure	C			
Risk Cat.	II			
Grnd. Snow	Pg =		20	psf

STATE OF OHIO

JERE MURDOCH
E-76569

REGISTERED
PROFESSIONAL ENGINEER

MURDOCH ENGINEERING

SIGN STRUCTURE PROFESSIONALS

2399 A-2 NJ-34

MANASQUAN, NJ 08736

973-670-8215 x0



9/27/2024

Jere Murdoch, PE

Professional Engineer

OH PE Lic. # PE.76569

Exp. 12/31/2025



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Illuminated Logo | Remote Wired | Acrylic Face

G2-LOGO-RMT-42

3'-6" x 3'-11 3/16"

13.75 sq.ft

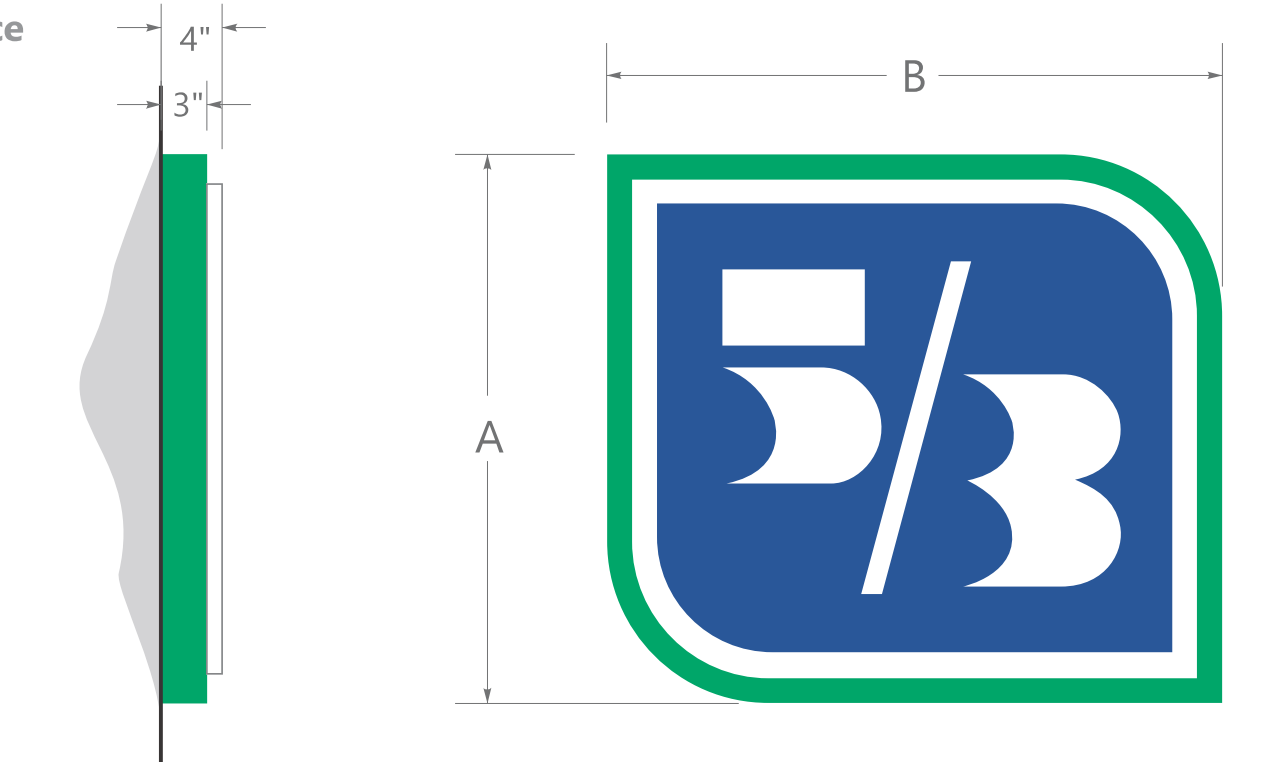
1	.5" acrylic .125" exposed edge
2	backs to be .080" logo .063" letters pre-finished white aluminum
3	2 7/8" returns to be .063" logo .040" letters aluminum
4	illumination to be provided by LED.
5	.125" gap between returns of two elements
6	mounting varies upon location and wall material
7	power supply
8	junction box
9	listed disconnect switch
10	primary power source
11	weep hole cover to be white pre-finished aluminum
12	weep hole
13	3 7/8" returns to be .063" aluminum
14	screw through return into acrylic shoulder

ELECTRICAL NOTES

1. All materials and fasteners meet 3004.4
 2. All electrical components are UL listed, labeled and approved.
 3. Sign grounded according to NEC 6007.7
 4. Signs manufactured and listed NEC 600.3 and marked per NEC 600.4.
 5. All branch circuits per NEC 600.5(B).1 or (B).2.
 6. All Signs controlled by photocell or time clock per FBC 13-415. (ABC).1.4.
 7. One visible 20 amp disconnect per sign per circuit per NEC 600.6(A).1
 8. Signage to be connected to Existing Electric

COLORS & MATERIALS

	Logo Return Painted MP 448 Satin Finish
	Logo Return Painted MP White Satin Finish
	Letter Return Painted "Platinum" MP to match PMS Cool Gray 11 Satin Finish
	Logo & Letters Acrylic to be #7328 White Acrylic
	Logo Vinyl to be 3M #3630-047 Patriot Blue Applied First Surface
	Logo Vinyl to be 3M #3630-146 Light Kelly Green Applied First Surface

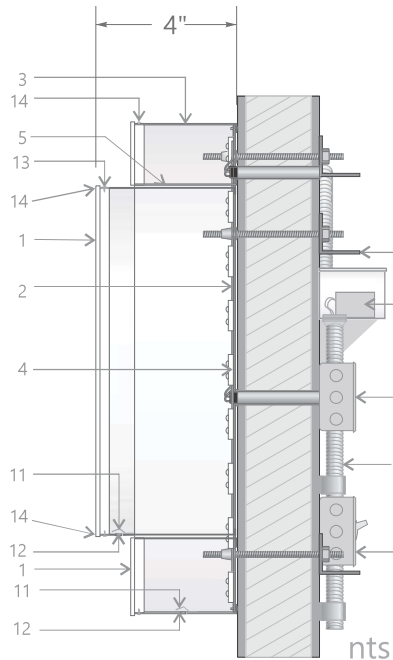


Sign Type	A	B	A x B
5/3 G2-LOGO-RMT-42	42" — 3'-6"	3'-11 3/16"	13.75

FASTENER SCHEDULE (BOX SIGN)			WALL CONSTRUCTION			
HARDWARE	DIAM.	O.C. Spacing Max.	MASONRY (CMU-Block)	EFIS/DRYVIT OVER min. 1/2" PLYWOOD	EFIS/DRYVIT OVER GYPSUM/ DENSGLASS	METAL PANEL OVER METAL STUD
THRU-BOLT	1/4"	24in.	YES	YES	ONLY WITH BACKER (MIN. 3/4" PLYWOOD)	YES
DeWALT Screw-Bolt+	3/8"	29in.	YES ²	NO	NO	NO
DeWALT DBL. EXPANSION ANCHOR	3/8"	30in.	YES ²	NO	NO	NO
LAG BOLT	1/4"	21in.	NO	1" SOLID WOOD PENETRATION REQ'D	NO	NO
SNAP TOGGLE BOLT TYPE BB	1/4"	21in.	IF THROUGH BLOCK FACE	YES	ONLY WITH MIN. 3/4" PLYWOOD BACKER	YES with plywood backer
Tek-Screw	1/4"	26in.	NO	NO	NO	YES into 1/8" Alum or 1/16" Steel

1.) Fasteners shall be evenly spaced Top and Bottom w/4" Side end clearance. Thru-Box Framing with washer.
 2.) Expansion anchors/ Screw Bolt require a minimum 5" solid masonry embedment installed per/tec-guide for wall construction type.
 3.) Engineering liability is limited to building connections.
 4.) Tek-Screw into Alum. Require SS Screw - Full Thread Embedment Required.
 5.) Thru-Bolts (All-Threaded Rods) into L2x2x3/16" Stl. Angle or 2x6 lumber spanning two(2) wall studs per/Bolt - Rod

Engineers Connection Note:
 Provide Fasteners through box framing with washer using the fastener schedule for existing wall construction type to determine the fastener type and O.C. bolt spacing to install top and bottom with a 4" Maximum side end clearance.



DESIGN SPECIFICATIONS				
IBC	2021	with OH amendments		
2024 Ohio Building Code				
ASCE	7-16	Minimum Design Loads for Buildings & Other Structures		
ACI	318-19	Building Code Requirements for Structural Concrete		
ANSI/AISC	360-16	Specification for Structural Steel Buildings		
DESIGN LOADS				
Wind	V =	115 mph		
Exposure	C			
Risk Cat.	II			
Grnd. Snow	Pg =	20 psf		

STATE OF OHIO
 JERE MURDOCH
 E-76569
 REGISTERED PROFESSIONAL ENGINEER

MURDOCH ENGINEERING
 SIGN STRUCTURE PROFESSIONALS
 2399 A-2 NJ-34
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Jere Murdoch
Jere Murdoch, PE
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 Exp. 12/31/2025

9/27/2024

Signarama™

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YESCO®

812-577-0904
 1090 West Eads Pkwy.
 Lawrenceburg, IN 47025
 dcarson@yesco.com

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ORDER INFORMATION

ORDER #: 41254_6.0
DATE: 9/11/24
DESIGNER: CM

CLIENT INFORMATION

Emily Joehlin
330-317-0344
emily.joehlin@53.com

COMPANY INFORMATION

Fifth Third - Upper Arlington
1669 Fishinger Rd
Columbus, OH 43221

PROJECT SPECIFICATION

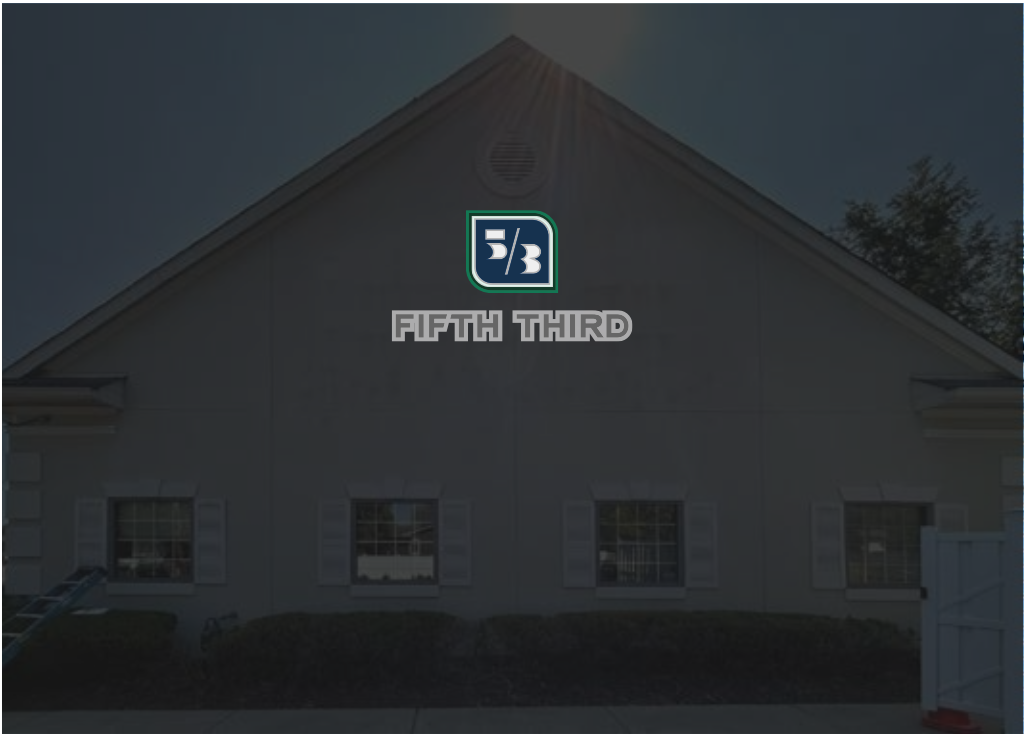
REMOVE EXISTING LETTERS
PATCH HOLES ONLY WITH CAULK
PAINT/BRICK/STUCCO/SIDING REPAIR BY OTHERS
INSTALL NEW PER SPEC AND WIRE TO EXISTING ELECTRICAL
QTY: 1 set



Current



Proposed



Night View
Proposed

DESIGN SPECIFICATIONS				
IBC	2021	with	OH	amendments
2024 Ohio Building Code				
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ACI	318-19	Building Code Requirements for Structural Concrete		
ANSI/AISC	360-16	Specification for Structural Steel Buildings		
DESIGN LOADS				
Wind	V =	115 mph		
Exposure	C			
Risk Cat.	II			
Grnd. Snow	Pg =	20 psf		

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PROFESSIONAL ENGINEER

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MANASQUAN, NJ 08735
609-570-8215
Jere Murdoch, PE
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9/27/2024



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CUSTOM Aluminum Halo Lit Letters
Halo - Illuminated Letterset
| Remote Wire | Horizontal Layout

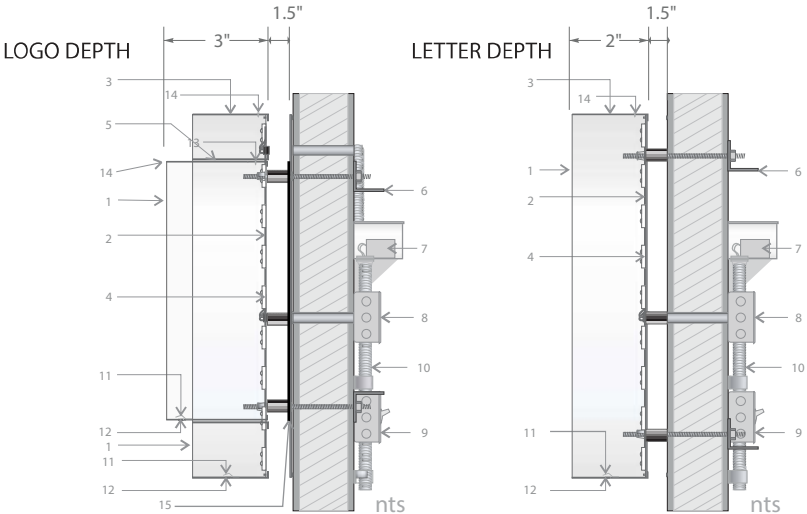
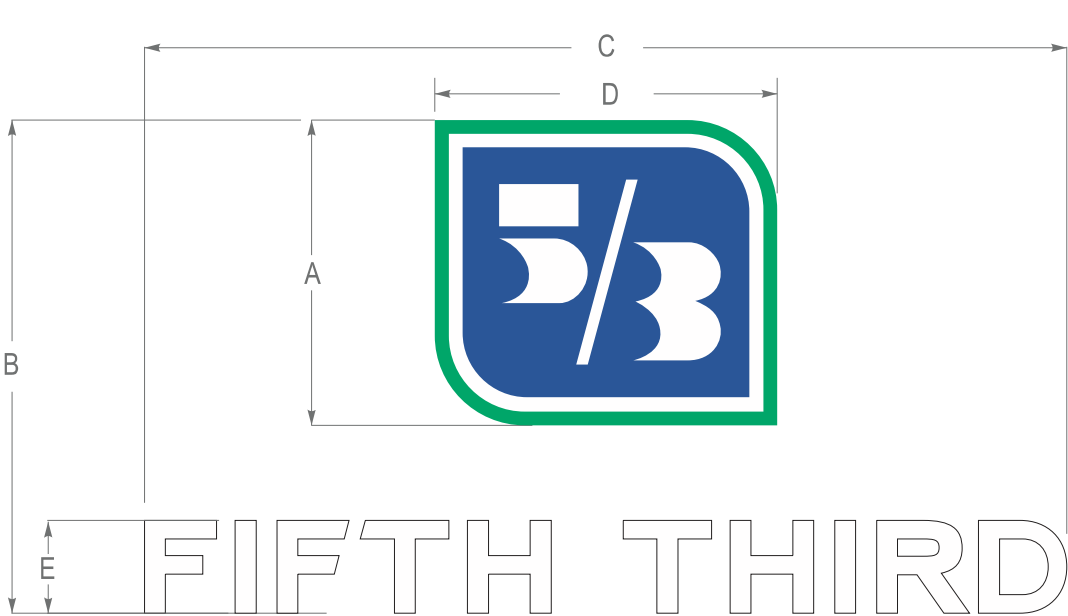
CUSTOM -42
3'-6" x 5'-7 13/16"
59.75 sq.ft

1	1/8" Aluminum .125" exposed edge
2	backs to be 3/16" logo .063" letters pre-finished white aluminum
3	2 7/8" returns to be .063" logo .063" letters aluminum
4	illumination to be provided by LED.
5	.125" gap between returns of two elements
6	mounting 1/4" x 5" Tapcons w/ spacers & sealant
7	power supply
8	junction box
9	listed disconnect switch
10	primary power source
11	weep hole cover to be white pre-finished aluminum
12	weep hole
13	3 7/8" returns to be .063" aluminum
14	screw through return into aluminum shoulder
15	3mm ACM Backer Painted White Behind Shield

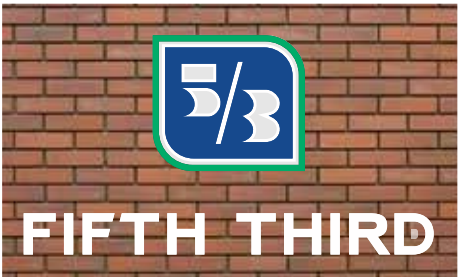
ELECTRICAL NOTES	
1.	All materials and fasteners meet 3004.4
2.	All electrical components are UL listed, labeled and approved.
3.	Sign grounded according to NEC 6007.7
4.	Signs manufactured and listed NEC 600.3 and marked per NEC 600.4.
5.	All branch circuits per NEC 600.5(B).1 or (B).2.
6.	All Signs controlled by photocell or time clock per FBC 13-415. (ABC).1.4.
7.	One visible 20 amp disconnect per sign per circuit per NEC 600.6(A).1
8.	Signage to be connected to Existing Electric

COLORS & MATERIALS

	Logo Return Painted MP 448 Satin Finish
	Logo Return Painted MP White Satin Finish
	Letter Return Painted "Platinum" MP to match PMS Cool Gray 11 Satin Finish
	Logo & Letters Face to be Painted MP White Satin Finish
	Logo Vinyl to be Painted MP73828 Satin Finish
	Logo Face to be Painted MP 448 Satin Finish



Sign Type	FIFTH THIRD BANK CHANNEL LETTERSET REMOTE WIRED WHITE FACES PLATINUM RETURNS HORIZONTAL LAYOUT					Sq. Ft. (4 Line)
	A	B	C	D	E	A x B
5/3 CUSTOM HALO - 42	42" — 3'-6"	5'-7 13/16"	10'-6 13/16"	3'-11 1/16"	1'-0 13/16"	59.75



Day View



Night View

FASTENER SCHEDULE			WALL CONSTRUCTION			
HARDWARE	DIAM.	QTY. Per Letter	MASONRY (CMU-Block)	EIFSDRYVIT OVER min. 1/2" PLYWOOD	EIFSDRYVIT OVER GYPSUM/DENIGLASS	METAL PANEL OVER METAL STUD
THRU-BOLT	1/4"	2	YES	YES	ONLY WITH BACKER (MIN. 3/4" PLYWOOD)	YES
DeWALT Screw-Bolts	3/8"	2	YES	NO	NO	NO
DeWALT DDL EXPANSION ANCHOR	3/8"	2	YES	NO	NO	NO
LAG BOLT	1/4"	2	NO	1" SOLID WOOD PENETRATION REQ'D	NO	NO
SNAP TOGGLE BOLT TYPE BB	1/4"	2	IF THROUGH BLOCK FACE	YES	ONLY WITH MIN. 3/4" PLYWOOD BACKER	YES with plywood backer
Tek-Screw	1/4"	2	NO	NO	NO	YES into 1/8" Alum or 1/16" Steel

1.) Fasteners shall be evenly spaced. Thru-sign Backs with washer into .09" Back. w/finderwasher into .06" letter Back or less.
2.) Expansion anchors /Screw Bolt require a minimum 5" solid masonry embedment installed per/tee-guide for wall construction type.
3.) Engineering liability is limited to building connections.
4.) Tek-Screw into Alum. Require SS Screw - Full Thread Embedment Required
5.) Thru-Bolts (All-Threaded Rods) into L2x2x3/16" Stl. Angle or 2x6 lumber spanning two(2) wall studs per/Bolt- Rod

Engineers Connection Note:
Provide Fasteners through letter backs with washer top and bottom, using the fastener schedule for existing wall construction type to determine the fastener type and quantity per/Letter to install.
* Logo provide per/Engineers note on page 5 of 9.

DESIGN SPECIFICATIONS				
IBC	2021	with OH amendments		
ASCE	7-16	2024 Ohio Building Code		
ACI	318-19	Minimum Design Loads for Buildings & Other Structures		
ANSI/AISC	360-16	Building Code Requirements for Structural Concrete		
		Specification for Structural Steel Buildings		
DESIGN LOADS				
Wind	V =	115 mph		
Exposure	C			
Risk Cat.	II			
Grnd. Snow	Pg =	20 psf		



Signarama

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Rush Jobs- Orders requiring completion within 48 hours or less, are subject to an additional 25% charge, above the originally quoted price (limitations apply). This fee is not applicable on installations.

Payment - All orders will require a 50% deposit. Balance is due upon delivery and/or installation. Credit terms may be extended on a case-by-case basis. Unpaid invoices past 30 days are subject to a \$25 late charge, together with interest accruing at the rate of 1.5% annum.

812-537-5516 | 1090 West Eads Pkwy. Lawrenceburg, IN 47025 | info@signarama-lawrenceburg.com
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- Verify all wording, spelling, art and sizes are correct before approving. (Drawing may not be to scale.)
- Once approved, you are responsible for 50% the remake cost should any errors be found after production begins.
- Colors portrayed on proof may not match final product due to difference between digital and pigmented colors
- Up to 3 proofs provided at no charge. Changes beyond the 3rd proof will be subject to the rate of \$95/hour.

PRODUCTION WILL NOT BEGIN UNTIL APPROVAL IS RECEIVED

Project Completion - All completed orders are stored for 30 days after notification. If arrangements aren't made and product remains after 30 days, the item will be promptly discarded.

ORDER INFORMATION

ORDER #: 41254_1.0
DATE: 8/23/24
DESIGNER: CM

CLIENT INFORMATION

Emily Joehlin
330-317-0344
emily.joehlin@53.com

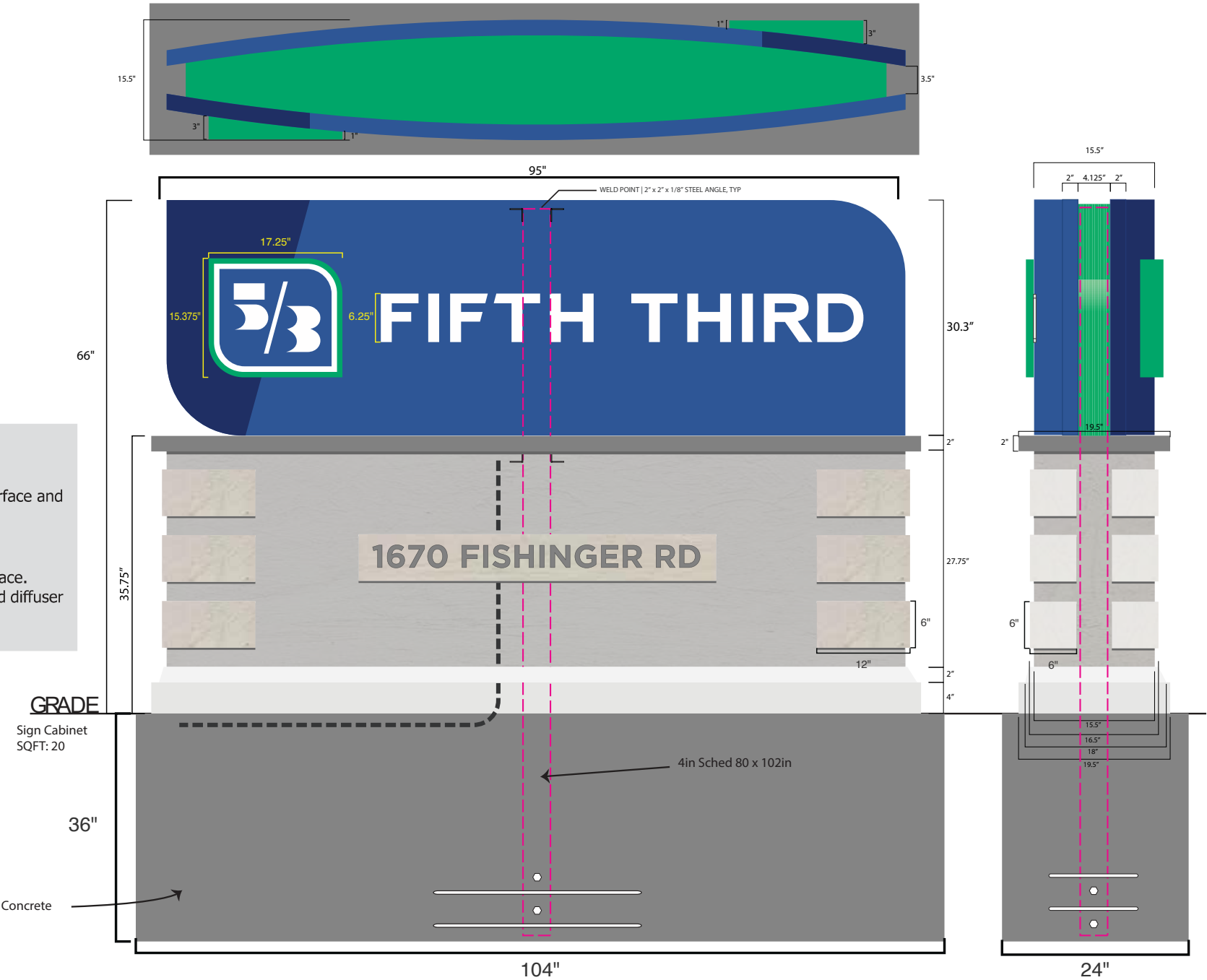
COMPANY INFORMATION

Fifth Third - Upper Arlington
1669 Fishinger Rd Columbus, OH 43221

PROJECT SPECIFICATION

- Cabinet:
- .125" routed aluminum face.
 - Aluminum frame/fabricated construction.
 - .080" aluminum skins.
 - Side reveals to have flexible Green LED faux neon.
 - Cabinet internally illuminated with white LED.
 - Faux Stucco Base
- Logo:
- .040" thick aluminum returns.
 - Acrylic "drop in" face with .125" thick exposed edge.
 - Acrylic face to have translucent vinyl graphics applied to first surface and diffuser film applied to second surface.
 - Acrylic face to have mill finish edges.
- Letters:
- Acrylic push thru to accommodate the curvature of the aluminum face.
 - Acrylic letters to have translucent vinyl applied to first surface and diffuser film applied second surface.
 - Acrylic letters to have mill finish edges.

STANDARD COLORS			All 3M Vinyl to be Scotchlcal vinyl		
COLOR NAME	STANDARD MATCH	PAINT	TRANSLUCENT VINYL	OPAQUE VINYL	PERFORATED VINYL
Azurite	PMS 7685	MP 73828	3M 3630-047 Patriot Blue	3M 3635-157 Sultan Blue / Day / Night	
Lapis	PMS 281	MP TBD	3M 3630-137 European Blue		
Green	PMS 3405	MP 448	3M 3630-145 Kelly Green		
White		MP White	3M 363077-010 White		
Silver		MP 41342SP Brushed Aluminum			
Moonstone	PMS Cool Gray 10				
Platinum	PMS Cool Gray 11				
Standard Plastics			Situational Plastic		
	7328 White Acrylic		2406 Optix LD White Acrylic	Awning Material & Colors	
	Clear Acrylic		7328 White Polycarbonate		08-0000 Black (Sunbrella)
					44-0000 Charcoal Gray (Sunbrella)
					52-0000 Mediterranean Blue (Sunbrella)



Night View

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Exposure	C			
Risk Cat.	II			
Grnd. Snow	Pg =	20	psf	

STATE OF OHIO
JERE MURDOCH
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9/27/2024
PG: 8 of 9



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3. ALL MATERIALS AND WORK SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE BUILDING CODE (IBC).
2. CONSTRUCTION METHODS AND PROJECT SAFETY: DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE METHODS, PROCEDURES, OR SEQUENCE OF CONSTRUCTION. TAKE NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE DURING CONSTRUCTION. THE EOR WILL NOT ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES THAT ARE FOUND. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
4. ALL OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND FIELD INSPECTOR. THE ENGINEER SHALL PROVIDE A SOLUTION PRIOR TO PROCEEDING WITH ANY WORK AFFECTED BY THE CONFLICT OR OMISSION.
5. WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, CONSTRUCT IN ACCORDANCE WITH THE STEEL CONSTRUCTION MANUAL, 14TH EDITION OR 2010 ALUMINUM DESIGN MANUAL .
6. WHEN A DETAIL IS IDENTIFIED AS TYPICAL, THE CONTRACTOR IS TO APPLY THIS DETAIL IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE.
7. ANY CHANGE TO THE DESIGN AS SHOWN ON THE DRAWINGS REQUIRES PRIOR WRITTEN APPROVAL FROM DESIGN ENGINEER OF RECORD BEFORE CONSTRUCTION.
8. WORK PERFORMED IN CONFLICT WITH THE STRUCTURAL DRAWINGS OR APPLICABLE BUILDING CODE REQUIREMENTS SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.
9. VERIFICATION: VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS BEFORE STARTING WORK. NOTIFY THE EOR IMMEDIATELY OF ANY DISCREPANCIES.

1. IF EXISTING CONDITIONS ARE NOT AS DETAILED IN THIS DESIGN, THE INSTALLER SHALL CEASE WORK AND NOTIFY MURDOCH ENGINEERING IMMEDIATELY.
2. MURDOCH ENGINEERING WILL NOT BE PERFORMING ON-SITE INSPECTIONS OR VERIFICATIONS. IT IS THE RESPONSIBILITY OF THE INSTALLER, STRUCTURE OWNER, AND PROPERTY OWNER TO IDENTIFY EXISTING CONDITIONS AND CONTACT MURDOCH ENGINEERING WITH ANY DISCREPANCIES OR CONCERNS.
3. INSTALLER SHALL CONFIRM THE DIAMETER AND THICKNESS OF EXISTING MEMBERS AND NOTIFY MURDOCH ENGINEERING OF ANY DISCREPANCIES.
4. INSTALLER SHALL INSPECT AND CONFIRM THE QUALITY OF EXISTING STRUCTURE AS "IN GOOD REPAIR". IF THERE ARE ANY INDICATIONS THAT THIS IS NOT THE CASE, INSTALLER SHALL CEASE WORK IMMEDIATELY AND NOTIFY MURDOCH ENGINEERING.
5. ANY EXISTING INFORMATION SHOWN HAS BEEN FURNISHED BY THE PERSON(S) OR COMPANY THIS DOCUMENT WAS PREPARED FOR (SEE TITLE BLOCK). MURDOCH ENGINEERING IN NO WAY CERTIFIES THIS INFORMATION AS "AS-BUILT". IF THERE IS ANY REASON TO BELIEVE THE EXISTING CONDITIONS DETAILED HEREIN ARE NOT ACCURATE, MURDOCH ENGINEERING SHALL BE NOTIFIED IMMEDIATELY.

ROUND HSS	ASTM A500, GR B	Fy=42 KSI MIN.
SQUARE/RECT HSS	ASTM A500, GR B	Fy=46 KSI MIN.
THREADED ROD	ASTM A36	Fy=46 KSI MIN.
STEEL PLATE	ASTM A36 ASTM	Fy=36 KSI MIN.
STD. PIPE	A53, GR B	Fy=35 KSI MIN.

2. BOLTS SHALL CONFORM TO ASTM A307 UNO..
3. BOLTS AND THREADED ROD SHALL BE HOT-DIP GALVANIZED PER ASTM F2329 UNO.
4. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 UNO.
5. NUTS SHALL CONFORM TO ASTM A563.
6. WASHERS SHALL CONFORM TO ASTM F844.
7. STEEL HARDWARE SHALL BE HOT-DIP GALVANIZED PER ASTM A153 UNO
8. WELDING:
 - a. WELD STRUCTURAL STEEL IN COMPLIANCE WITH ANSI/AWS D1.1 AND AISC SPECIFICATION, CHAPTER J. WELDERS SHALL BE CERTIFIED AS REQUIRED BY GOVERNING CODE AUTHORITY. WELDING SHALL BE DONE BY ELECTRIC ARC PROCESS USING LOW-HYDROGEN ELECTRODES WITH SPECIFIED TENSILE STRENGTH NOT LESS THAN 70 KSI UNLESS NOTED OTHERWISE.
 - b. ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AWS OR ICC CERTIFIED WELDER WITH ACTIVE STATUS AT TIME OF WELDING
 - c. UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELDS PER AISC SPECIFICATION, SECTION J2, TABLE J2.4
 - d. BASE PLATES SHALL BE WELDED ON TOP AND BOTTOM WITH CONTINUOUS WELDS OF AT LEAST 1/4" (IF PLATE IS CUT TO FIT TUBE INTO PLATE)

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1. FABRICATE AND ERECT ALUMINUM IN COMPLIANCE WITH THE ALUMINUM ASSOCIATION (AA) 2020 ALUMINUM DESIGN MANUAL (ADM) 1, THE SPECIFICATIONS FOR ALUMINUM SHEET METAL WORK (ASM35), AND IBC CHAPTER 20.
2. PIPE AND TUBE SHALL BE 6061-T6 PER ASTM B241 OR B429 WITH $F_{tu}=38$ KSI MIN, $F_{ty}=35$ KSI MIN, $F_{tuw}=24$ KSI MIN, $F_{tyw}=15$ KSI MIN.
3. STD STRUCTURAL PROFILES SHALL BE 6061-T6 PER B308 WITH $F_{tu}=38$ KSI MIN, $F_{ty}=35$ KSI MIN, $F_{tuw}=24$ KSI MIN, $F_{tyw}=15$ KSI MIN.
4. SHEET AND PLATE SHALL BE 6061-T6 PER ASTM B209 WITH $F_{tu}=42$ KSI MIN, $F_{ty}=35$ KSI MIN, $F_{tuw}=24$ KSI MIN, $F_{tyw}=15$ KSI MIN.
5. EXTRUSIONS SHALL BE 6061-T6 PER ASTM B241 OR B429 WITH $F_{tu}=38$ KSI MIN, $F_{ty}=35$ KSI MIN, $F_{tuw}=24$ KSI MIN, $F_{tyw}=15$ KSI MIN.
6. ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AWS OR ICC CERTIFIED WELDER WITH CURRENT STATUS AT TIME OF WELDING
7. UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELD PER ADM. ALL ALUMINUM WELDED JOINTS SHALL HAVE WELD SIZES OF AT LEAST $\frac{1}{4}$ INCH
8. FILLET WELDS SHALL NOT EXCEED THINNEST MEMBER WALL THICKNESS JOINED.
9. ALUMINUM WELD FILLER SHALL BE 5356 ALLOY
10. WELDING PROCESS GMAW OR GTAW SHALL BE IN ACCORDANCE WITH AWS D1.2
11. ALUMINUM CHANNEL LETTERS SHALL BE CONSTRUCTED OF 0.090" RETURNS AND 0.125" BACKS MINIMUM, UNLESS A LARGER SIZE IS INDICATED ON DRAWINGS. THIS NOTE SHALL SUPERCEDE DRAWING DETAILS.
12. PROVIDE NEOPRENE GASKET BETWEEN DISSIMILAR METALS TO PREVENT GALVANIC CORROSION
13. ALUMINUM DIRECTLY EMBEDDED INTO CONCRETE SHALL BE CAPPED AT BOTTOM AND COATED WITH BITUMINOUS COATING OR POLYURETHANE WHERE IN CONTACT WITH CONCRETE.
14. FASTENERS BETWEEN DISSIMILAR METALS SHALL BE STAINLESS STEEL 316.

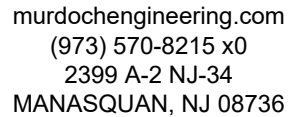
1. MINIMUM 28-DAY COMPRESSIVE STRENGTH (fc') SHALL BE 3,000 PSI. THE MAXIMUM WATER TO CEMENT RATIO SHALL BE 0.45 BY WEIGHT. A MINIMUM OF 5-3/4 BAGS OF CEMENT SHALL BE USED PER CUBIC YARD WITH A SLUMP OF 4" +/- 1.
2. REINFORCEMENT TO BE ASTM A615 GR 60, Fy=60 KSI UNO
3. CALCIUM CHLORIDE OR ADDED CHLORIDE IS NOT PERMITTED
4. VIBRATION: ALL REINFORCED CONCRETE SHALL BE CONSOLIDATED WITH MECHANICAL VIBRATORS
5. CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 318-11
6. PROVIDE A MINIMUM OF 2-1/2" COVER OF ALL EMBEDDED STEEL REBAR AND A MINIMUM OF 6 INCHES OF COVER FOR DIRECT BURIED PIPE OR TUBE MEMBERS.

1. CONCRETE POURED INTO CONSTRAINED EARTH EXCAVATIONS MUST CURE UNDER PROPER CONDITIONS FOR A MINIMUM OF 7 DAYS PRIOR TO SIGN BOX INSTALLATION. (EXCEPTION: IF THE OVERALL HEIGHT OF THE SIGN IS LESS THAN 20 FEET AND THE SIGN IS ADEQUATELY BRACED AGAINST WIND LOADS FOR A MINIMUM OF 4 DAYS, THE BOX MAY BE INSTALLED THE SAME DAY AS THE FOOTING IS POURED)
2. FOOTINGS MUST BE POURED AGAINST UNDISTURBED EARTH. SOIL BACKFILL IS UNACCEPTABLE. WHEN A SONOTUBE IS USED AS THE FORM, CONCRETE SHALL BE USED TO BACKFILL THE SPACE BETWEEN THE SONOTUBE AND UNDISTURBED EARTH.
3. COLD WEATHER PLACEMENT: PROTECT CONCRETE WORK FROM PHYSICAL DAMAGE OR REDUCED STRENGTH THAT COULD BE CAUSED BY FROST, FREEZING ACTIONS OR LOW TEMPERATURES. DO NOT POUR CONCRETE DURING OR WHEN FREEZING TEMPERATURES ARE ANTICIPATED WITHIN 3 DAYS OF POUR. BOTTOM OF FOOTING TO BE INSTALLED AT OR BELOW FROST LINE.
4. REINFORCEMENT IS NOT REQUIRED FOR DIRECT BURIAL TYPE SIGN FOOTINGS FOR SIGNS OF 25 FEET OVERALL HEIGHT OR LESS, DIRECT BURIED STEEL SHALL EXTEND TO 6 INCHES FROM BOTTOM OF FOOTING.
5. FOR ANCHOR BOLT/ BASE PLATE - SQUARE FOOTINGS, PROVIDE A MINIMUM OF #5 VERTICAL REBAR @ 12" O.C., 4" OFFSET FROM PERIMETER, TOP AND BOTTOM OF FOOTING. PROVIDE #3 HORIZONTAL TIES @ 12" O.C. Unless otherwise noted.
6. FOR ANCHOR BOLT/ BASE PLATE - ROUND FOOTINGS, PROVIDE A MINIMUM OF SIX (6) VERTICAL #5 REBARS, EVENLY SPACED, 4" OFFSET FROM FOOTING PERIMETER & #3 HORIZONTAL TIES, 12" O.C. Unless otherwise noted.
7. ANCHOR BOLTS SHALL BE TIED TO REBAR CAGE AT A MINIMUM OF TWO LOCATIONS PER ANCHOR BOLT
8. FOOTING DESIGN ASSUMES FOOTING SHALL BE EXCAVATED AND POURED IN UNDISTURBED NATURAL EARTH, CAPABLE OF WITHSTANDING A MINIMUM 1,500 PSF VERTICAL DESIGN BEARING PRESSURE AND 200 PSF/FT OF DEPTH OF LATERAL BEARING PRESSURE.
9. IF CLAY, SILTY - CLAY, ORGANIC OR FILL SOIL IS ENCOUNTERED UPON EXCAVATION, CONTACT MURDOCH ENGINEERING FOR FOOTING DESIGN MODIFICATION PRIOR TO CONSTRUCTION.

1. LIMITS OF LIABILITY TO EXTEND ONLY TO THE QUANTITY INDICATED. ATTEMPTS IN PART OR IN WHOLE TO INSTALL GREATER QUANTITIES THAN THOSE SPECIFIED WITHOUT CONSULTING MURDOCH ENGINEERING SHALL VOID ALL PROFESSIONAL LIABILITY AND COVERAGE.

2. WALL SIGN ENGINEERING LIABILITY IS LIMITED TO BUILDING CONNECTIONS.

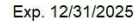
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Lawrenceburg
(812) 537-5516

Fifth Third - Upper Arlington

1669 Fishinger Rd
Columbus, OH 43221



PG: 9 of 9

SIZE:

S.1

B



24-4492

Graphics Plan

Status: Active

Submitted On: 10/1/2024

Primary Location

1669 FISHINGER RD
UPPER ARLINGTON, OH 43221

Owner

FIFTH THIRD BANK
FOUNTAIN SQUARE 38
CINCINNATI, OH 45263

Applicant

 Liz Salisbury
 812-537-5516
 liz@signarama-
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 1090 W. Eads Parkway
Lawrenceburg, IN 47025

BZAP Information

BZAP Case

DEV-04-24

Status

Pending

BZAP Review Date

10/16/2024

BZAP Conditions

Project Details

Development Name (or Tenant)*

Fifth Third

Address*

1669 Fishinger Road

Graphics Plan Description*

Company rebrand, updating signage. Replacing channel letters with new sets, adding channel letter logo, adding monument sign.