



6/5/2024 | 6:00 PM

**Municipal Services Center, Council Chamber
3600 Tremont Road**

If you are joining through Zoom, please click the link below to join the meeting:
<https://us06web.zoom.us/j/87960308160>

- 1. Call to Order/Roll Call**
- 2. Informal Review**
 - a. 2430 Kensington Drive - Informal review of a potential Historic Demolition application to alter the elevations of this Contributing Structure in the Historic District.
- 3. Updates & Reports**
 - a. Envision Henderson workshop with BZAP.
- 4. Adjournment**



Authors: Alyssa Kelly, AICP, Planning Officer

BZAP Meeting Date: June 5, 2024

Subject: 2430 Kensington Drive - Informal review of a potential Historic Demolition application to alter the elevations of this Contributing Structure in the Historic District.

Overview

Mr. Brett Harper will be present to share details on a potential application for a Certificate of Economic Hardship, which would suspend the 180-day historic demolition delay as required by the Unified Development Ordinance (UDO). The homeowner intends to demolish the house at 2430 Kensington Drive, which is a Contributing Structure in the Historic District that was built in 1926. The builder has indicated that, due to the continually rising cost of high-end materials for the project, a delay will result in economic hardship. They would like feedback from the Board on whether this increase in material costs would be considered by the Board as an economic hardship as defined by the UDO.

Zoning Code Requirements

UDO Article 4.06(I) outlines demolition procedures for Contributing Structures in the Historic District, which includes a mandatory 180-day delay period, cooperating with preservationists (typically the Historical Society) to understand and document the structure, and meeting with the Board to review the project and the alternatives considered. The property owner does have the option to seek a Certificate of Economic Hardship from the Board to suspend the 180-day delay period. If a certificate was granted, the applicant would still be required to complete design review with the Board for the proposed new structure.

[UDO Article 4.05\(R\)](#) specifies how economic hardship shall be evaluated by the Board:

Certificate of economic hardship: After reviewing all evidence provided by an applicant for a certificate of economic hardship, the Board shall determine whether such a certificate is appropriate by considering whether:

- (1) Denial of a certificate will result in a substantial economic burden on the applicant because the structure cannot be maintained in its current form at a reasonable cost during the required one hundred eighty-day delay demolition period;*
- (2) During the one hundred eighty-day delay demolition period, the denial of a certificate of economic hardship would result in substantial and unanticipated economic costs relating to the property that would not have been incurred except for the requirements that were imposed by the demolition review.*



Attachments

1.	2430 Kensington Dr Proposed Home
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EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION

M I

M A T R K A
G R O U P



EXISTING SOUTH ELEVATION

2430 KENSINGTON DRIVE

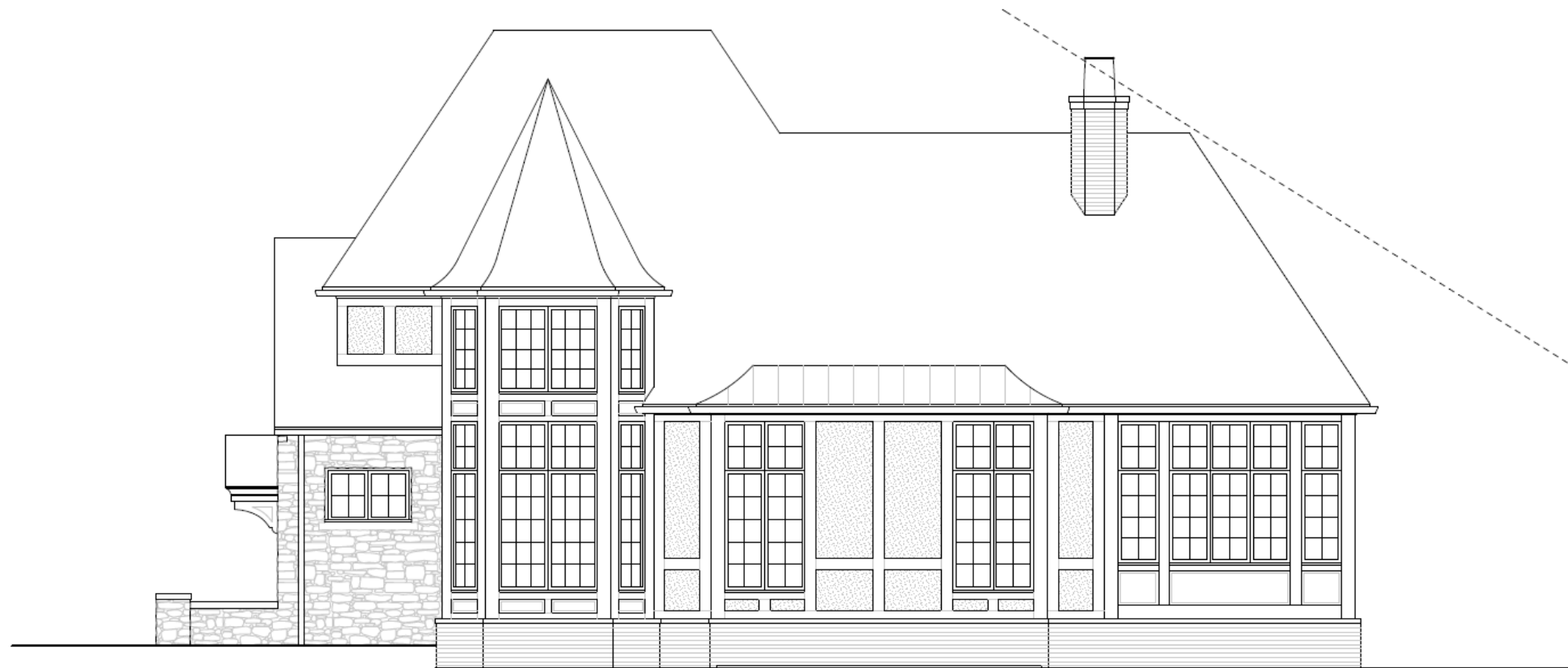
UPPER ARLINGTON, OHIO



STOCK & STONE

ARCHITECTS • LLC

3686 North High Street Columbus, Ohio 43214 614-261-5810



PROPOSED SOUTH ELEVATION
SCALE 1/4"=1'-0"

M

M A T R K A
G R O U P



EXISTING NORTH ELEVATION



PROPOSED NORTH ELEVATION

2430 KENSINGTON DRIVE

UPPER ARLINGTON, OHIO



STOCK & STONE

ARCHITECTS • LLC

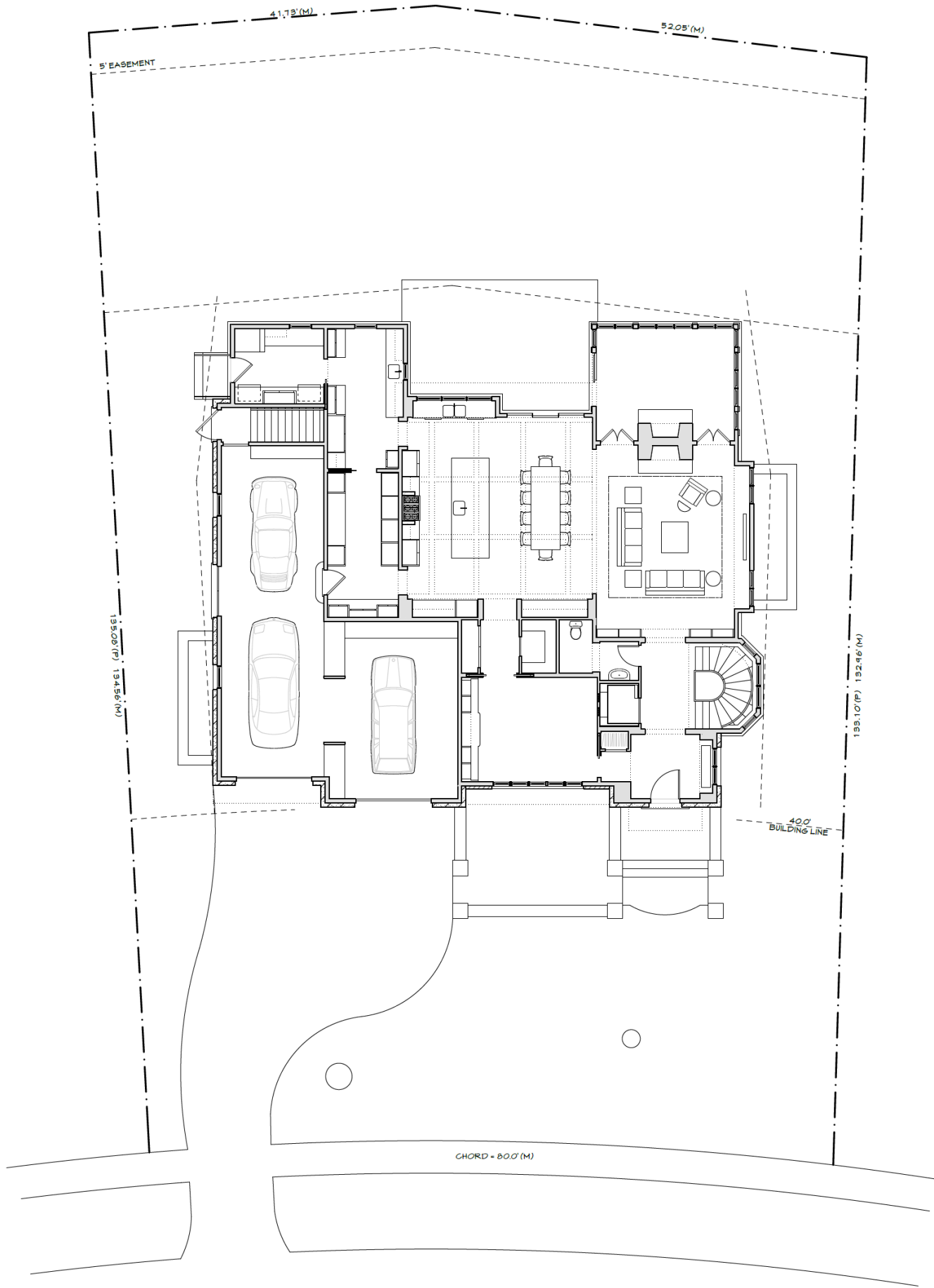
3686 North High Street Columbus, Ohio 43214 614-261-5810



EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION



KENSINGTON DRIVE

2430 KENSINGTON DRIVE

UPPER ARLINGTON, OHIO



STOCK & STONE

ARCHITECTS • LLC
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LOT AREA = 11,803.0 SQ. FT.

PRINCIPLE BUILDING REQUIREMENTS	PERMITTED	PROPOSED
DEVELOPMENT COVER PERMITTED	5,311.4 SQ. FT. (45.0%)	4,853.4 SQ. FT. (41.1%)
BUILDING COVER PERMITTED	3,422.9 SQ. FT. (29.0%)	3,422.5 SQ. FT. (28.9%)
PERMITTED HEIGHT	35.0 FT.	32.7 FT.
MAX. NUMBER OF STORIES	2.5	2.0
FRONT YARD DEPTH	40.0 FT.	40.0 FT.
MIN. REAR YARD	33.1 FT.	33.1 FT.
MIN. SIDE YARD	10.0 FT.	10.0 FT.
MIN. SIDE YARD SUM	20.0 FT.	20.0 FT.



M A T R K A
G R O U P

Projected increase in material cost over the next 12 months

Window increase 4%

Slate increase 40%

Copper increase 30%

Stone 10% (north shore, blue stone)

Delaying construction start by 6 months would add six figures to construction budget.