

4/17/2024 | 6:00 PM

**MUNICIPAL SERVICES CENTER, COUNCIL CHAMBER
3600 TREMONT ROAD**

If you are joining through Zoom, please click the link below to join the meeting:

<https://zoom.us/j/98181639938>

Meeting ID: 981 8163 99384

1. City Business

- a. Proclamation from City Council for former BZAP Chair Robert Tullett for serving more than 36 years on the Board.

2. Board Business

- a. Oath of Office, administered by Deputy City Clerk Yelena Parks, for newly appointed Board member Mr. Matthew McGrath, and reappointed Board members Mr. Daniel Barringer and Mr. Kevin Carpenter.

3. Consent Agenda

- a. Review of April 5, 2023 BZAP Work Session and March 22, 2023 BZAP meeting minutes.
- b. 2313 Bristol Road (VAR-12-23) - To allow an open porch to encroach up to 13'-7" feet into the 31.25-foot minimum rear yard setback.
- c. 3130 Edgefield Road (VAR-13-23) - To allow a one-story addition to encroach 1.9 feet into the 10-foot minimum side yard setback and that results in a side yard setback sum of 15.7 feet in lieu of the 20-foot minimum.
- d. 2033 Jervis Road (VAR-15-23) - To allow a one-story room addition that would result in 29.9 percent building cover, in lieu of the 29 percent limit.
- e. 2698 Mt Holyoke Road (VAR-18-23) - To allow an addition that encroaches up to 5'-2" into the 14'-10" minimum side yard longwall setback.
- f. Hart Dental Clinic, 1917 Northwest Boulevard (DEV-01-23) - BZAP review of an Amended Major Site Plan and variances to allow for the renovation and conversion of an existing car rental facility into a dental office.

4. Variance/Conditional Uses

- a. 2253 Arlington Avenue (VAR-14-23) - To allow a two-story addition to encroach up to 4'-10" into the eight-foot minimum side yard setback and that results in a side yard sum of 12'-10", when 16 feet is the minimum requirement.

5. Zoning Map/Text Amendments



MEMORANDUM

COMMUNITY DEVELOPMENT DEPARTMENT

3600 Tremont Road | Upper Arlington, OH 43221
614-583-5070 | upperarlingtonoh.gov

Date: Wednesday, April 19, 2023

To: Upper Arlington Board of Zoning and Planning (BZAP)

From: Justin Milam, AICP, Senior Planner (jmilam@uaoh.net; 614-583-5083)

RE: 2023 BZAP Oath of Office

Deputy City Clerk Yelena Parks will administer the Oath of Office to newly appointed member, Matthew McGrath, and re-appointed members Daniel Barringer and Kevin Carpenter.

OATH OF OFFICE

STATE OF OHIO
COUNTY OF FRANKLIN (SS)

I, **DANIEL BARRINGER**, do solemnly swear that I will support the Constitution of the United States of America, and of the State of Ohio, and the Ordinances of the City of Upper Arlington, Ohio, and will, to the best of my ability, discharge my duties as a member of the Board of Zoning and Planning of the City of Upper Arlington, Ohio.

DANIEL BARRINGER

SWORN BEFORE ME AND SIGNED IN MY PRESENCE THIS _____ DAY OF _____, 2023.

Notary Public

Upper Arlington Board of Zoning and Planning Secretary

OATH OF OFFICE

STATE OF OHIO
COUNTY OF FRANKLIN (SS)

I, **KEVIN CARPENTER**, do solemnly swear that I will support the Constitution of the United States of America, and of the State of Ohio, and the Ordinances of the City of Upper Arlington, Ohio, and will, to the best of my ability, discharge my duties as a member of the Board of Zoning and Planning of the City of Upper Arlington, Ohio.

KEVIN CARPENTER

SWORN BEFORE ME AND SIGNED IN MY PRESENCE THIS _____ DAY OF _____, 2023.

Notary Public

Upper Arlington Board of Zoning and Planning Secretary

OATH OF OFFICE

**STATE OF OHIO
COUNTY OF FRANKLIN (SS)**

I, **MATTHEW MCGRATH**, do solemnly swear that I will support the Constitution of the United States of America, and of the State of Ohio, and the Ordinances of the City of Upper Arlington, Ohio, and will, to the best of my ability, discharge my duties as a member of the Board of Zoning and Planning of the City of Upper Arlington, Ohio.

MATTHEW MCGRATH

SWORN BEFORE ME AND SIGNED IN MY PRESENCE THIS _____ DAY OF _____, 2023.

Notary Public

Upper Arlington Board of Zoning and Planning Secretary

March 22, 2022, | 6:00 PM

Municipal Services Center, 3600 Tremont Road

Members Present: Shannon Tolliver, Donald Osterhout, William Westbrook, and Marianne Mitchell

Members Absent: Daniel Barringer, Kevin Carpenter

Staff Present: Community Development Director Chad Gibson, Planning Officer Alyssa Kelly, Assistant City Attorney Darlene Pettit, Deputy City Clerk Yelena Parks

1. Call to Order/Roll Call

A motion was made by Mr. Westbrook, seconded by Ms. Mitchell, to excuse Mr. Barringer and Mr. Carpenter's absence. The motion carried unanimously (4-0).

2. Board Business

- a. Deputy City Clerk Yelena Parks administered the Oath of Office to reappointed Board Member William Westbrook.
- b. Community Development Director Chad Gibson, Certified the Board Certification for the year 2023, as follows:

DANIEL BARRINGER (term expires June 30, 2026)
KEVIN CARPENTER (term expires June 30, 2026)
MARIANNE MITCHELL (term expires June 30, 2024)
DONALD OSTERHOUT (term expires June 30, 2024)
SHANNON TOLLIVER (term expires June 30, 2024)
WILLIAM WESTBROOK (term expires June 30, 2026)

- c. A motion was made by Mr. Osterhout, seconded by Ms. Mitchell, to nominate Ms. Shanon Tolliver as Chair of the Board of Zoning and Planning for a one-year term. Ms. Tolliver accepted the nomination. The motion carried unanimously (4-0).

3. MINUTES

- a. Motion by Ms. Mitchell, seconded by Ms. Tolliver, to approve February 15, 2023, BZAP Meeting minutes via Consent Agenda carried (4-0).

4. Consent Agenda

- a. **2559 Henthorn Road (VAR-09-23)**

A motion by Ms. Mitchell, seconded by Ms. Tolliver, to approve the request by Consent Agenda. The motion carried unanimously (4-0). Findings #3 and #4 were noted in the Staff Report.

- b. **1650 Ardwick Road (VAR-10-23)**

A motion by Ms. Mitchell, seconded by Ms. Tolliver, to approve the request by Consent Agenda. The motion carried unanimously (4-0), with one condition: That a landscaping plan be submitted for approval by Staff. Finding #4 was noted in the Staff Report.

- c. **2380 Northwest Boulevard (VAR-11-23)**

A motion by Ms. Mitchell, seconded by Ms. Tolliver, to approve the request by Consent Agenda. The motion carried unanimously (4-0). Findings #3, and #4 were noted in the Staff Report.

4. Variances/Conditional Uses

Ms. Parks administered an oath to those persons wishing to present testimony this evening, including applicants, representatives of applicants, and anyone speaking as a proponent or opponent of an application.

2712 Swansea Road (VAR-05-23, Saliaris)

Ms. Kelly provided a background of the request. Ms. Kelly said that the applicant is looking to add several improvements to the property; extend a new front porch that will be 14 feet by 7 inches over the front yard setback, an addition off the side and rear, and a replacement of the detached garage. A building cover variance is also requested, adding that 29 percent is the limit while the applicant is asking for 30.8 percent.

Ms. Kelly added that the Board had previously granted variances of front porches and encroachments. However, this would be the largest variance granted in this area for building cover. Ms. Kelly said that they encourage the homeowner to examine all the options to remain within the 29 percent limit, adding that if the Board votes to approve the request a landscape plan would help soften the views from neighboring properties.

Mr. Osterhout asked what square foot reduction is needed. Ms. Kelly said that the building cover is over by 146.5 square feet.

Mr. Saliaris of 2712 Swansea Road gave some background on his request, explaining that he tried to accommodate the zoning restrictions. He added that the original plot plan was rejected because it was 33 feet from the backyard, so they readjusted the plan and resubmitted. The applicant added that other homes in the neighborhood have garages in the back of their homes, so they moved it to the back of his property, adding that they shrunk the size of the back addition. The applicant said that nothing is changing in the front of the house, which is what is visible from the road. The applicant added that there is an eight-foot fence around the house, making the house hidden from the front. The applicant said they made accommodations and fixed the back of the house to be moved inward, adding that the current design reflects that. The applicant stated that 146 feet is not a large request.

Mr. Osterhout said the Board is cautious with the precedence they set with building coverage, asking if the applicant tried everything to reduce the 146 square feet out of the current addition. The applicant said they looked no further than the front porch or the garage.

Mr. Westbrook asked if there was a full basement on the property. The applicant said that there is. Mr. Westbrook added that the Board could offer suggestions to the applicant but recommended that the applicant return to another meeting when all the members are present.

Ms. Mitchell asked if the applicant could move the garage to the current location. The applicant said that moving the garage would not change the square footage of the garage.

Ms. Tolliver asked if the applicant tried to bring the living space inward by 146 square feet, adding that the Board typically wants to see what the applicant has done regarding the design change to reduce the square footage prior to asking for a variance. The applicant said this was the third plan they had submitted thus far. The applicant added that he submitted pictures of neighboring properties that show similar garage sizes.

Ms. Tolliver asked if the applicant had received any feedback from nearby neighbors. The applicant said the letters were sent to the neighbors, and no one has expressed any issues thus far.

Mr. Osterhout expressed his concern about setting a precedence in the neighborhood by approving the variance. He added that postponing the final vote to the next meeting, where everyone is in attendance, would be best for the applicant. Ms. Kelly said the applicant could request to postpone the vote to the April 5th meeting.

Mr. Westbrook said that he does not support granting the variance unless the applicant reduces the square footage. The applicant asked by how much. Ms. Mitchell said it is not a specific number but more about the modifications.

Mr. Osterhout asked the applicant if he would like the Board to vote on the variance now or to postpone the vote for the April 5th meeting. The applicant said he would like the vote postponed to the April 5th meeting.

A motion was made by Ms. Mitchell, second by Ms. Tolliver, to postpone VAR-05-23 to April 5, 2023 Work Session. The motion carried unanimously (4-0).

5. Development/Site Plans

A motion was made by Mr. Westbrook, seconded by Ms. Tolliver, to postpone BZAP review of an Amended Major Site Plan application to convert an existing Avis Rental Car facility to a dental clinic to the April 5th & 19th meetings. The motion carried unanimously (4-0).

6. City Business

Ms. Kelly gave an update on upcoming applications for the April meetings, adding that Staff received six variance applications, including the Dental clinic application for the meeting on April 5th. For the meeting of April 19th, there are UDO Amendments that are coming for an initial review adding that the UDO Amendments from last year were already approved by the Board along with the new one to be presented to the Council in June. Ms. Kelly added that Robert Tullett's recognition of service would occur at the April 19TH BZAP Meeting, awarded by President King. Ms. Kelly gave an update on the CivicClerk platform rollout.

Mr. Gibson gave an update on the Community Center, saying that Council had its second reading, with the third and final reading scheduled for Monday, March 27th. Mr. Gibson added that he received positive updates from inspectors regarding the Gateway Project and Gosh enterprise for the Tree of Life building, adding that significant improvements were made.

5. Adjournment

Meeting adjourned at 6:39 PM.

ATTEST: Yelena Parks

CHAIR: 

April 5, 2023, | 6:00 PM

Municipal Services Center, 3600 Tremont Road

Members Present: Daniel Barringer, Kevin Carpenter, Shannon Tolliver, Donald Osterhout, Marianne Mitchell, William Westbrook

Staff Present: Development Director Chad Gibson, Senior Planner Justin Milam, Planning Officer Alyssa Kelly, Assistant City Attorney Darlene Pettit

2712 Swansea Road (VAR-05-23)

Discussion: Ms. Kelly gave an overview of the case including modifications from the previous submittal. The detached garage size was reduced, so the proposed building cover is 30 percent, which is a reduction from the 30.8 percent originally requested.

Mr. David Saliaris, 2712 Swansea Road, was present and duly sworn in.

In response to a question from Mr. Osterhout, Ms. Kelly and Mr. Saliaris confirmed the original building cover request was over by 146.5 square feet.

Mr. Saliaris reviewed the updates to the plan including that the garage had been reduced by 65 square feet, so the overage is 81.2 square feet. Mr. Saliaris also shared homes on the street that he felt were over on building coverage.

In response to a question from Ms. Tolliver, Ms. Kelly confirmed variance history including one property on the street that had received a variance when the requirement was less.

Ms. Kelly confirmed for Mr. Westbrook that the home is currently over the side yard setback.

Mr. Westbrook said he was supportive of the revised plans.

In response to a question from Mr. Osterhout, Mr. Saliaris said they considered reductions to the house, but decided to remove a portion of the garage instead.

Mr. Carpenter and Ms. Mitchell expressed support for the revised request.

Ms. Tolliver noted that Staff suggested a landscape plan be submitted and Mr. Saliaris provided details on the privacy fence surrounding the rear yard.

In response to a question from Mr. Osterhout, Ms. Kelly said the Board may consider Finding #4, if they are supportive of the application.

Ms. Tolliver reviewed potential findings including #3, #4, and #6.

A motion was made by Mr. Osterhout, seconded by Mr. Carpenter to approve VAR-05-23. The motion carried unanimously (4-0). Finding #4 was noted by the Board.

1917 Northwest Boulevard – Hart Dental (DEV-01-23)

Discussion: Mr. Gibson gave an update on the application including that the City was working with the applicant on the location of the sidewalk along Stanford Road. The details for the development should be complete for the April 19th meeting.

Mr. Tom Pendery, architect, and Mr. Bryan Sohner were present to provide details on the application.

In response to a question from Mr. Osterhout, Mr. Pendery provided details on the materials including composite stone and Hardie plank siding.

In response to a question from Ms. Mitchell, Mr. Pendery provided details on the signage and lighting including they would be externally lit. Mr. Milam confirmed the signs were facing the streets.

The Board discussed placing the item on the consent agenda and there was general support for the plan.

1980 Hillside Drive (Informal Review)

Discussion: Mr. Milam provided details on the informal review. The homeowner is exploring options to extend the garage into the front yard setback and to modify the existing front yard pool; both would require variances and plat amendments.

In response to a question from Mr. Carpenter, Mr. Milam confirmed the plans would require both variances and a plat amendment.

Mr. Joel Burke, contractor, reviewed project details. They are exploring the option of extending a full size garage to the front, which would be below grade given the topography of the lot. The existing garage is too low to fit larger vehicles.

In response to a question from Ms. Mitchell, Mr. Burke said the retaining walls are in need of repair or replacement.

In response to a question from Mr. Osterhout, Mr. Burke said the pool retaining wall is failing and they could modify the pool so it met current code requirements. The pool also needs replaced and the homeowner would like to modernize it. The homeowner would also like to update the landscaping and add a covered patio structure within the front yard.

Mr. Barringer said the plan should meet the setback requirements for the pool and patio structure, including the side yard setback.

In response to a question from Mr. Carpenter, Mr. Gibson said there are some properties in the City that have narrow front yard setbacks as close as 16 feet, but those are special circumstances and in different neighborhoods.

Mr. Carpenter recommended shortening the garage addition as much as possible.

In response to questions from the Board, Mr. Burke provided details on the existing play place and second driveway.

The Board recognized there were unique conditions on the property, but shared concerns with modifying the plat.

In response to Mr. Barringer, Mr. Milam said the plat amendment could be directly tied to that specific project.

The Board discussed options for modifying the front yard setback, house, and garage.

Ms. Pettit said Staff may be able to provide previous plat amendment applications to the applicant.

Mr. Barringer said the applicant should reach out to neighbors to see if there is support. There is concern with modifying the front yard setback and changing the streetscape.

Mr. Burke confirmed for Ms. Tolliver that they were aware of the plat amendment requirements, but this was the first step to gather feedback.

In response to a question from Mr. Burke, Ms. Pettit said Staff would have to review whether minor modifications to the pool would require variances and a plat amendment.

Mr. Burke thanked the Board for their time.

UDO Amendments for Minor Subdivisions (City of Upper Arlington)

Discussion: Mr. Milam introduced the proposed amendments that would modify the minor subdivision approval process. The Board would be asked to provide a recommendation at the April 19th meeting and the amendments would go to City Council in June. The amendments also include increased notification radius and related modifications to the neighborhood compatibility standards.

Ms. Pettit added that these updates would allow public input before a decision has been made on a lot split. A lot line adjustment that meets all the code requirements would still be approved administratively.

Mr. Milam said the code amendments create better direction for applicants and neighbors on lot split standards.

The Board was generally supportive of the amendments.

In response to a question from Ms. Tolliver, Mr. Milam said the increased notification radius, letters from both the City and applicant, and site signage, enhance notification.

Mr. Milam said the amendments also include removal of invasive plant species. Mr. Westbrook shared concerns with including this in the street tree section and Mr. Milam said Staff would look into this.

ADJOURNMENT

The meeting was adjourned at 7:15 PM

ATTEST: 

CHAIR: 



Authors: Justin Milam, AICP, Senior Planner

BZAP Meeting Date: April 17, 2024

Subject: 2313 Bristol Road (VAR-12-23) - To allow an open porch to encroach up to 13'-7" feet into the 31.25-foot minimum rear yard setback.

Site Description/History

The subject property, 2313 Bristol Road, is located on the south side of the street, one lot west of Ramsgate Road. The 0.17-acre property is rectangular in shape with 60 feet of frontage and 125 feet of depth; it is zoned R-1c, One-Family Residence District, and similar in size and shape as others in the neighborhood. It is platted as Lot #19 in the Country Homes Addition subdivision with a 35-foot building setback line and five-foot wide rear utility easement. A 1,551-square foot ranch home, built in 1955, sits seven feet behind the setback line and encroaches nearly five feet into the rear yard- a variance was granted in 1992 for the encroachment (BZ-16-92). The property is enclosed with six-foot tall wood fencing and a wood patio with posts is located at the southeast corner of the home.

Proposal

The proposal includes the construction of a 17'-4" x 12'-8" roof over a portion of the existing wood patio. The roof pitch would match that of the home, would extend 10 feet from the rear of the house, at 12'-9" above grade and be open on all sides. It would maintain a nine-foot side yard setback and would be 17'-8" from the rear property line, encroaching 13'-7" into the rear yard.

Zoning Code Requirements

- To allow an open porch to encroach up to 13'-7" into the 31'-3" minimum rear yard setback.

Alternatives

The depth of the addition could be reduced to lessen the amount of encroachment into the rear yard, but would lessen the useable area of the patio.

Requested Action and Findings

Staff has reviewed the application and plans, visited the site, and is supportive of the request. While the proposal may seem like much, it covers an existing wood patio, blends well



with the home, and will not have any negative impacts on the street or neighbors due to existing screening (Finding #4). The home is already set behind the front yard setback by seven feet and the addition would align with that of the neighbor to the east. For these reasons, Staff recommends that this variance application be approved.

Attachments

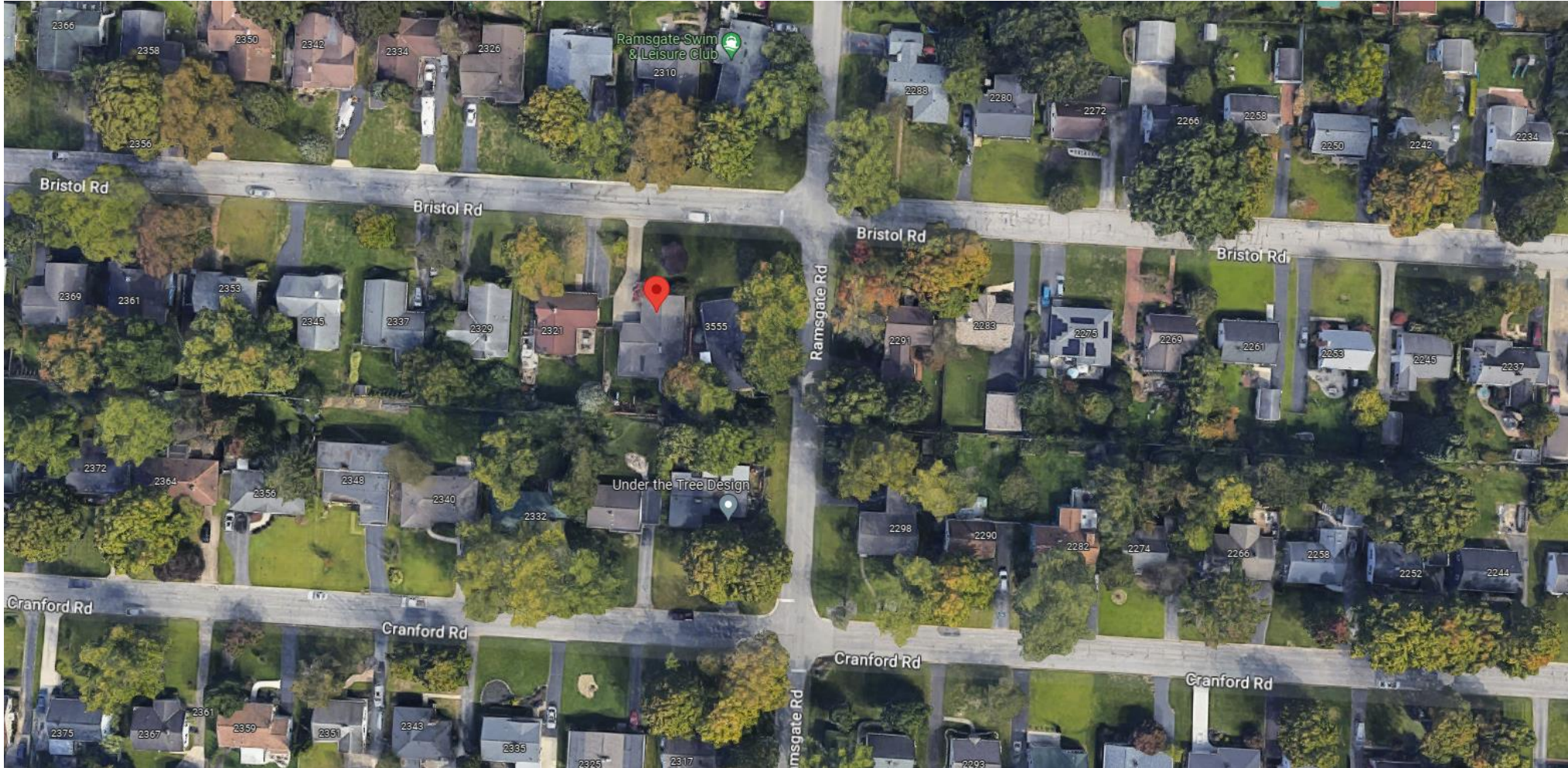
1.	BZAP Staff Report Pics - 2313 Bristol Rd
2.	2313 Bristol Rd Variance App

2313 Bristol Road

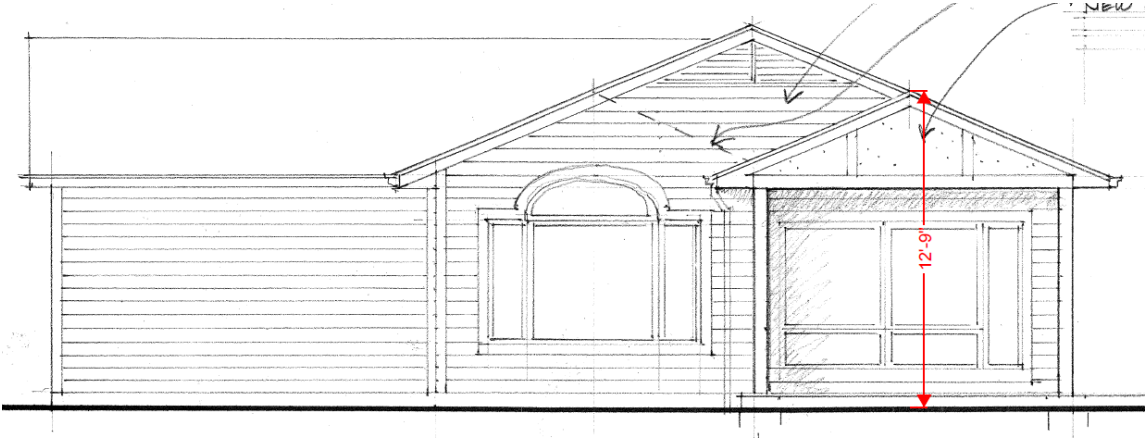
BZAP Staff Report Pictures



Google Maps ® Aerial – Looking North



Proposed and Existing Rear Elevations





23-966

Variance Application

Status: Active

Date Created: Mar 10, 2023

Applicant

Scott Meyers
scott.a.meyers4@gmail.com
2313 Bristol Road
Upper Arlington, OH 43221
9376817622

BZAP Information

BZAP Case #

VAR-12-23

Status

Pending

BZAP Determination Date

04/19/2023

Vote Tally

--

Primary Variance

Rear yard setback

Findings of Fact for Approval/Denial

--

Variance Request

To allow an open porch to encroach up to 13'-7" into the 31.25-foot minimum rear yard setback.

BZAP conditions

--

Variance Information

Describe Variance Request

Requesting a set back variacne to cover the existing ground level deck. Leavs roughly 15' setback from the rear property line.

What practical difficulty, special conditions and/or circumstances exist that are peculiar to the land or structure involved and which are not generally applicable to other lands or structures in the same zoning districts?

There are none. I am asking for 14' more space to the south towards the rear setback. The entire back yard has a 6' privacy fence surrounding the east and south side that will block the line of site. There is a large tree on my property which will block the line of sight for the rear and east properties. The neighbor to east have three large trees in their backyard which will block the line of sight. The neighbors to the south have multiple large trees to block the line of sight. The neighbor to the west has a large pine tree in the back yard and a 4' fence that will block the line of sight.

Will granting the variance confer a special privilege that is denied by this regulation to other lands, structures, or buildings in the same district?

No. The following properties located in the same block on Bristol Road all have attached structures that are closer than 31'4" to their rear setback. This list does not include detached garages.

2337 Bristol - rear attached structure only set back 25' from rear lot line.

2385 Bristol - rear attached structure only set back 26' from rear lot line.

2401 Bristol - rear attached structure only set back 22' from rear lot line.

2414 Bristol - rear attached structure only set back 24' from rear lot line.

2382 Bristol - rear attached structure only set back 23' from rear lot line.

2350 Bristol - rear attached structure only set back 24' from rear lot line.

The following homes located around my property have detached garages located closer than 31'4" to their rear setback. There are an additional 30+ properties located on Bristol Road, Cranford Road, and Edgevale Road that also have detached garages closer than 31'4" to their rear setback.

2283 Bristol - rear detached structure only set back 2' from rear lot line.

2261 Bristol - rear detached structure only set back 20' from rear lot line.

2245 Bristol - rear detached structure only set back 7' from rear lot line.

2266 Bristol - rear detached structure only set back 7' from rear lot line.

2258 Bristol - rear detached structure only set back 21' from rear lot line.

2250 Bristol - rear detached structure only set back 15' from rear lot line.

2242 Bristol - rear detached structure only set back 9' from rear lot line.

2229 Bristol - rear detached structure only set back 4.5' from rear lot line.

We do not feel that our request goes farther than these variances already in place for the surrounding properties. In fact, it is less.

Will the essential character of the neighborhood area be substantially altered or will adjoining properties suffer substantial detriment as a result of the variance?

No. The current roofline will be extended to cover the existing ground level deck and will be identical to relate for a visually pleasing appearance.





Have all reasonable alternatives been investigated or exhausted to find that this variance request is the minimum necessary to make reasonable use of land and structures?

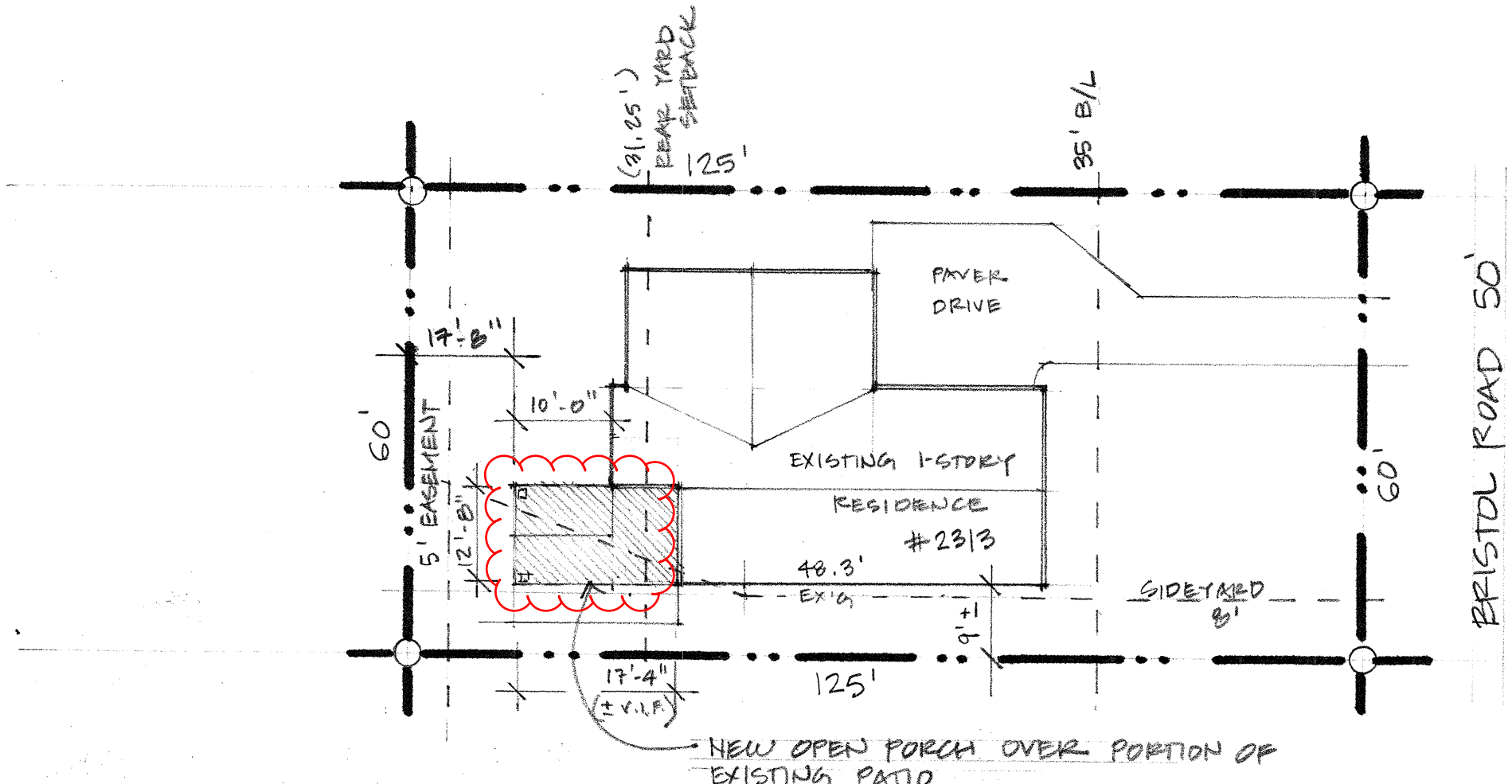
Yes. If the structure was detached water would run between the two roofs and drain directly towards the homes foundation. Would cause future foundation problems due to improper water runoff management.

Can this property yield a reasonable return or can there be any beneficial use of the property without the variance?

This property extension will increase the value and use of the property and thus increase the neighboring properties' values and tax revenues for the district.

Attachments

-  MEYERS 031023.pdf
Uploaded by Scott Meyers on Mar 10, 2023 at 11:53 am
 -  MEYERS 040523.pdf
Uploaded by Scott Meyers on Apr 6, 2023 at 8:24 pm
 -  Scanned from a Xerox Multifunction Printer.pdf
Uploaded by Scott Meyers on Mar 2, 2023 at 8:11 am
 -  Certificate-of-Notice-letter.docx
Uploaded by Scott Meyers on Mar 2, 2023 at 8:11 am
-



SITE PLAN

SCALE: 1:20



TLA = 7,500 SF

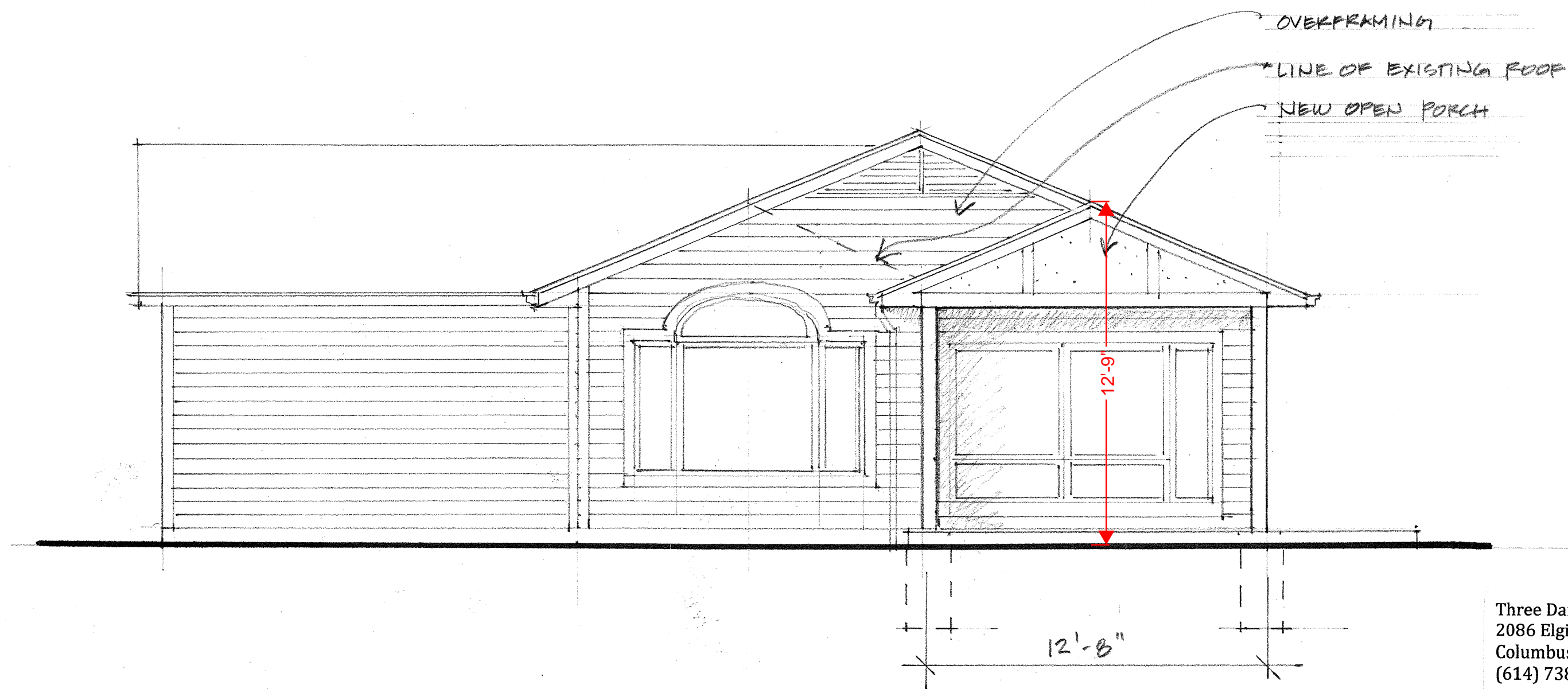
	EXISTING	PROPOSED
BUILD'G COVER	1,778 (23.7%)	1,994 (26.6%)
DEV'T COVER	2,960 (39.4%)	NO CHANGE

Three Daisy Studio, LLC
 2086 Elgin Road
 Columbus, OH 43221
 (614) 738-9719

Meyers Residence
 Open Porch Addition
 2313 Bristol Road
 Columbus, OH 43221

Date: 3/10/2023

SITE PLAN



REAR ELEVATION
 SCALE: 1/4" = 1'-0"

Three Daisy Studio, LLC
 2086 Elgin Road
 Columbus, OH 43221
 (614) 738-9719

Meyers Residence
 Open Porch Addition
 2313 Bristol Road
 Columbus, OH 43221

Date: 3/10/2023

ELEVATION

Certification of Notice

Applicant Name: Karen and Scott Meyers

Location of property subject to BZAP request: 2313 Bristol Road




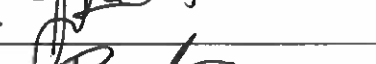



Describe activity which requires Board of Zoning and Planning review:

Extending current roof line to cover ground level rear deck.

This application will be heard by the Board of Zoning and Planning on: 4/19/2023

Board of Zoning and Planning (BZAP) meetings begin at 6 PM on Wednesdays and are held at the Upper Arlington Municipal Services Center, 3600 Tremont Road, Upper Arlington, Ohio, 43221. Due to the ongoing COVID-19 pandemic, meetings MAY be held remotely via video conference and telephone call-in. Meeting location details and additional instructions will be provided on the Agenda, which is posted on the City's website at docs.uaoh.net/AgendaOnline. For further information, please contact the Planning Division at planning@uaoh.net.

*Your signature below **DOES NOT** constitute approval or disapproval of the request. Your signature only represents that you have been properly notified of the request. You are encouraged to attend any and all meetings regarding this matter.*

Address of Property to be notified:	Property Owner Name:	Property Owner Signature or Certified Mail No.:	Date obtained or Mail sent:
2326 Bristol	Kevin/Katherine Marginian		2/28/23
2318 Bristol	Scott/Jennifer Brown		3/1/23
2310 Bristol	Shirley Rogers		3/08/23
3581 Ramsgate	Jeremy Woods		2/28/23
2329 Bristol	Bari Scarberry		2/28/23
2321 Bristol	Michelle Lombardi		2/28/23
3555 Ramsgte	Chong Jean L Want Shu-Huei	70220410000055501037	2/27/2023
2314 Cranford	Steve/Cynthia Maravich	70220410000055501044	2/27/2023
2322 Cranford	Rita Ward	70220410000055501051	2/27/2023
2332 Cranford	Dan Hupp	70220410000055501068	2/27/2023
2340 Cranford	Thomas Carns	70220410000055501075	2/27/2023
Applicant Signature: 			Date: 3-1-2023

Revised: Jan 2021

Certification of Notice

You are receiving this notice because the below applicants are requesting a zoning variance in your area.

Applicant Name: Karen and Scott Meyers

Location of property subject to BZAP request: 2313 Bristol Road, Columbus, Ohio 43221

Describe activity which requires Board of Zoning and Planning review:

Extend roof line to cover existing ground level deck in rear yard.

This application will be heard by the Board of Zoning and Planning on: April 19, 2023

Board of Zoning and Planning (BZAP) meetings begin at 6 PM on Wednesdays and are held at the Upper Arlington Municipal Services Center, 3600 Tremont Road, Upper Arlington, Ohio, 43221. Due to the ongoing COVID-19 pandemic, meetings MAY be held remotely via video conference and telephone call-in. Meeting location details and additional instructions will be provided on the Agenda, which is posted on the City's website at docs.uaoh.net/AgendaOnline. For further information, please contact the Planning Division at planning@uaoh.net.



Authors: Justin Milam, AICP, Senior Planner

BZAP Meeting Date: April 17, 2024

Subject: 3130 Edgefield Road (VAR-13-23) - To allow a one-story addition to encroach 1.9 feet into the 10-foot minimum side yard setback and that results in a side yard setback sum of 15.7 feet in lieu of the 20-foot minimum.

Site Description/History

The subject property, 3130 Edgefield Road, is located on the east side of the street, just south of Trentwood Road. The 0.31-acre property is rectangular in shape with 94 feet of frontage and 145 feet of depth; it is zoned R-1b, One-Family Residence District. It is platted as Lot #9 in the Wakefield Forest subdivision with a 40-foot building setback line and five-foot wide rear utility easement. A 1,654-square foot ranch home, built in 1957, sits 9.5 feet behind the setback line and has nonconforming side yard setbacks of 7.6 and 8.1 feet, where a minimum of 10 feet is required. There are several large, mature trees located on the property and the rear yard is enclosed with fencing.

Proposal

The proposal includes the expansion of an existing screen porch by four feet and its conversion to a living room. The existing (nonconforming) side yard setback of 8.1 feet would be maintained. The exterior includes vertical siding and roofing to match the home. Resulting building and development coverage are below permissible limits; no changes are proposed to existing fencing or landscaping.

Zoning Code Requirements

- To allow a one-story addition to encroach 1.9 feet in lieu of the 10-foot minimum side yard setback (existing); and
- To allow a one-story addition to result in a side yard setback sum of 15.7 feet in lieu of the 20-foot minimum side yard setback sum (existing).

Alternatives

The addition could be shifted to be within the buildable area of the property but would create an awkward situation with the inside slider door and roof.

Requested Action and Findings



Staff has reviewed the application and plans, visited the site, and is supportive of the request. The proposal is quite modest and simply expands/finishes an existing screen porch (Finding #3). The addition blends well with the home and will not have any negative impacts on the street or neighbors (Finding #4). The variances requested are a result of existing site conditions (Finding #6). For these reasons, Staff recommends that this variance application be approved.

Attachments

1.	BZAP Staff Report Pics - 3130 Edgefield Rd
2.	3130 Edgefield Rd Variance App

3130 Edgefield Road

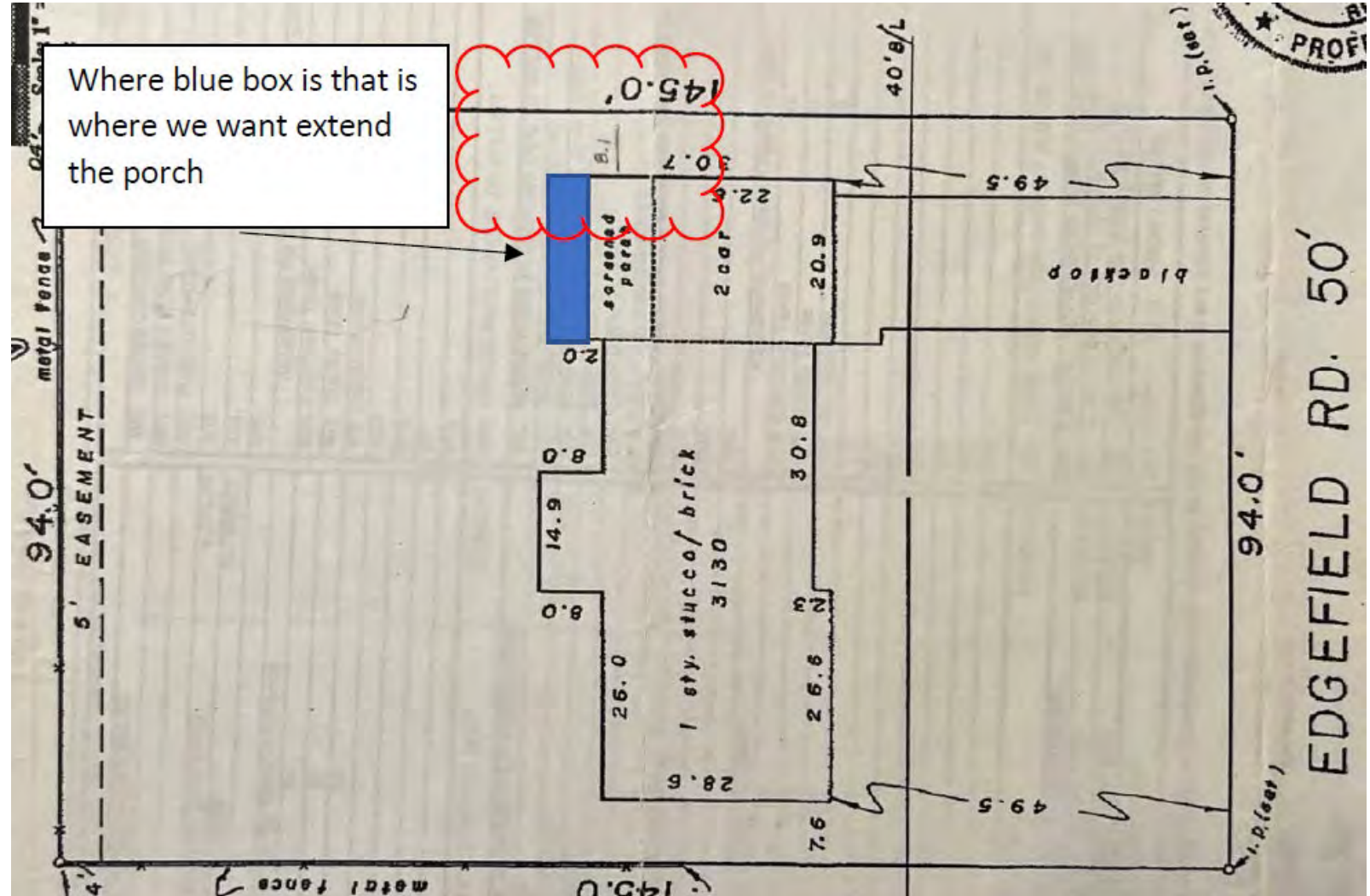
BZAP Staff Report Pictures



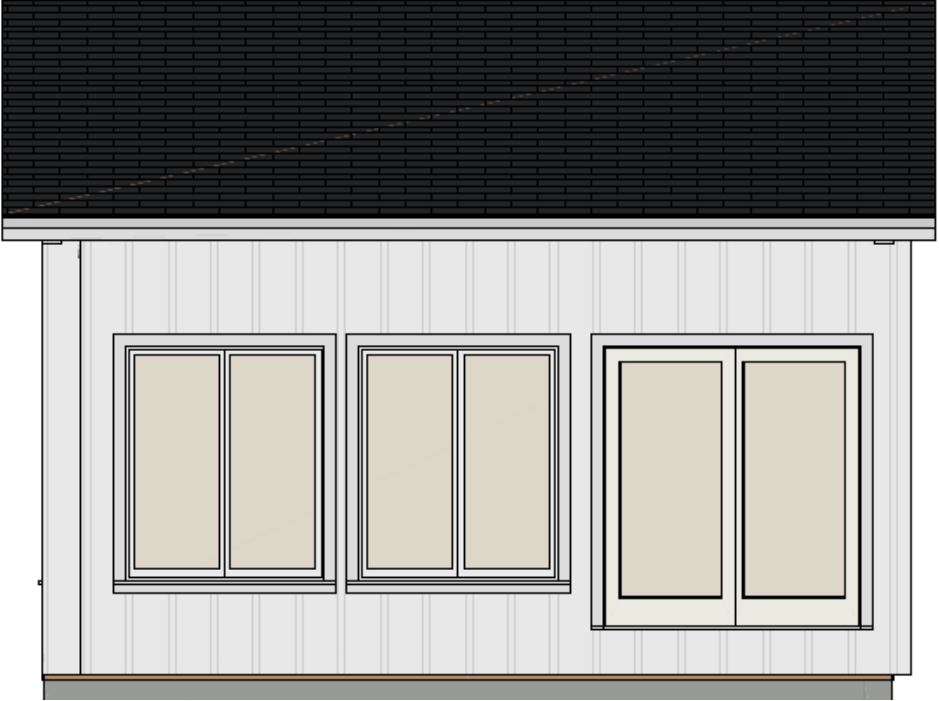
Google Maps ® Aerial – Looking North



Proposed Site Plan



Proposed and Existing Rear Elevations





23-921

Variance Application

Status: Active

Date Created: Mar 7, 2023

Applicant

Josh O'Brien
jobrien@summitbuildingroofing.com
2012 Zetler rd
Columbus , oh 43232
6145715758

BZAP Information

BZAP Case #

VAR-13-23

Status

Pending

BZAP Determination Date

04/19/2023

Vote Tally

--

Primary Variance

Side yard setback

Findings of Fact for Approval/Denial

--

Variance Request

To allow an addition to encroach up to 1.9 feet into the 10-foot minimum side yard setback.

BZAP conditions

--

Variance Information

Describe Variance Request

Currently there is a screened in back porch. roughly 8 L x 20 w. We want to add an additonal 4 ft to end of existing concrete pad to make the total foot print 12 L x 20 w. Then we will be turning room in to living space with walls and windows

What practical difficulty, special conditions and/or circumstances exist that are peculiar to the land or structure involved and which are not generally applicable to other lands or structures in the same zoning districts?

The issue is that the house is a little more than 8ft from property line and from what I was told set Back is 10 ft

Will granting the variance confer a special privilege that is denied by this regulation to other lands, structures, or buildings in the same district?

I don't beleive so

Will the essential character of the neighborhood area be substantially altered or will adjoining properties suffer substantial detriment as a result of the variance?

No






Have all reasonable alternatives been investigated or exhausted to find that this variance request is the minimum necessary to make reasonable use of land and structures?

Yes

Can this property yield a reasonable return or can there be any beneficial use of the property without the variance?

No this will improve the home and the value of that home

Attachments

-  IMG_5861.heic
Uploaded by Josh O'Brien on Mar 7, 2023 at 3:32 pm
-  survey with additon area.pdf
Uploaded by Josh O'Brien on Mar 7, 2023 at 3:41 pm
-  Edgefield cert mail 1.pdf
Uploaded by Josh O'Brien on Mar 22, 2023 at 11:20 am
-  edgefield cert mail 2.pdf
Uploaded by Josh O'Brien on Mar 22, 2023 at 11:20 am
-  edgefield cert mail 3.pdf
Uploaded by Josh O'Brien on Mar 22, 2023 at 11:20 am



IMG_0712.jpg
Uploaded by Josh O'Brien on Mar 24, 2023 at 3:57 pm



IMG_0713.jpg
Uploaded by Josh O'Brien on Mar 24, 2023 at 3:57 pm



IMG_0714.jpg

Uploaded by Josh O'Brien on Mar 24, 2023 at 3:58 pm



IMG_0715.jpg

Uploaded by Josh O'Brien on Mar 24, 2023 at 3:58 pm



IMG_0716.jpg

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IMG_0718.jpg

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IMG_0719.jpg

Uploaded by Josh O'Brien on Mar 24, 2023 at 3:59 pm



IMG_0720.jpg

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IMG_0721.jpg

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IMG_0754.jpg

Uploaded by Josh O'Brien on Mar 27, 2023 at 5:55 pm



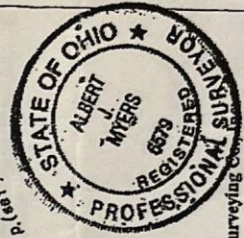
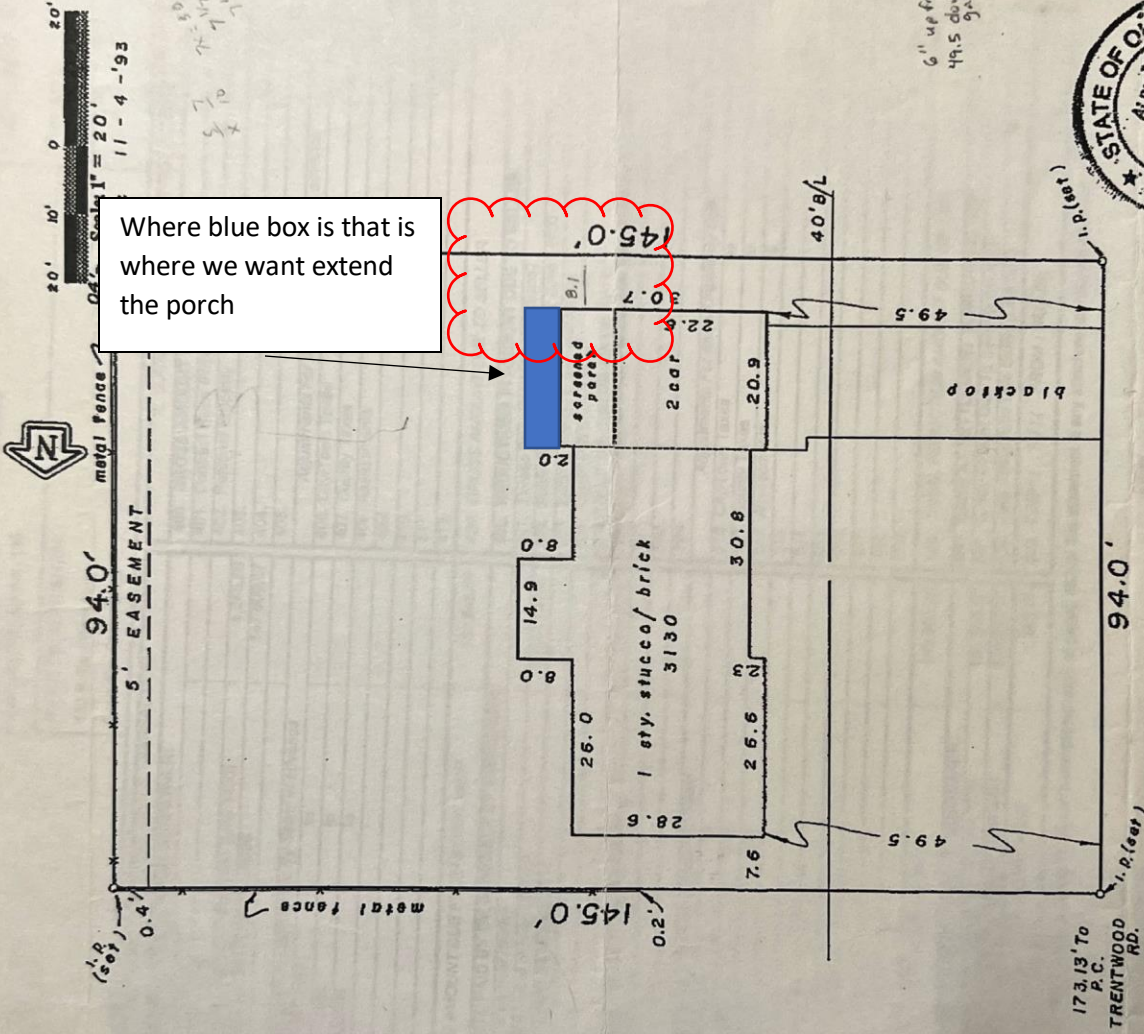
IMG_0755.jpg

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Myers Surveying Company, Inc.

2740 East Main Street, Columbus 43209 (Bexley), Ohio
614-235-8677 FAX: 614-235-4559

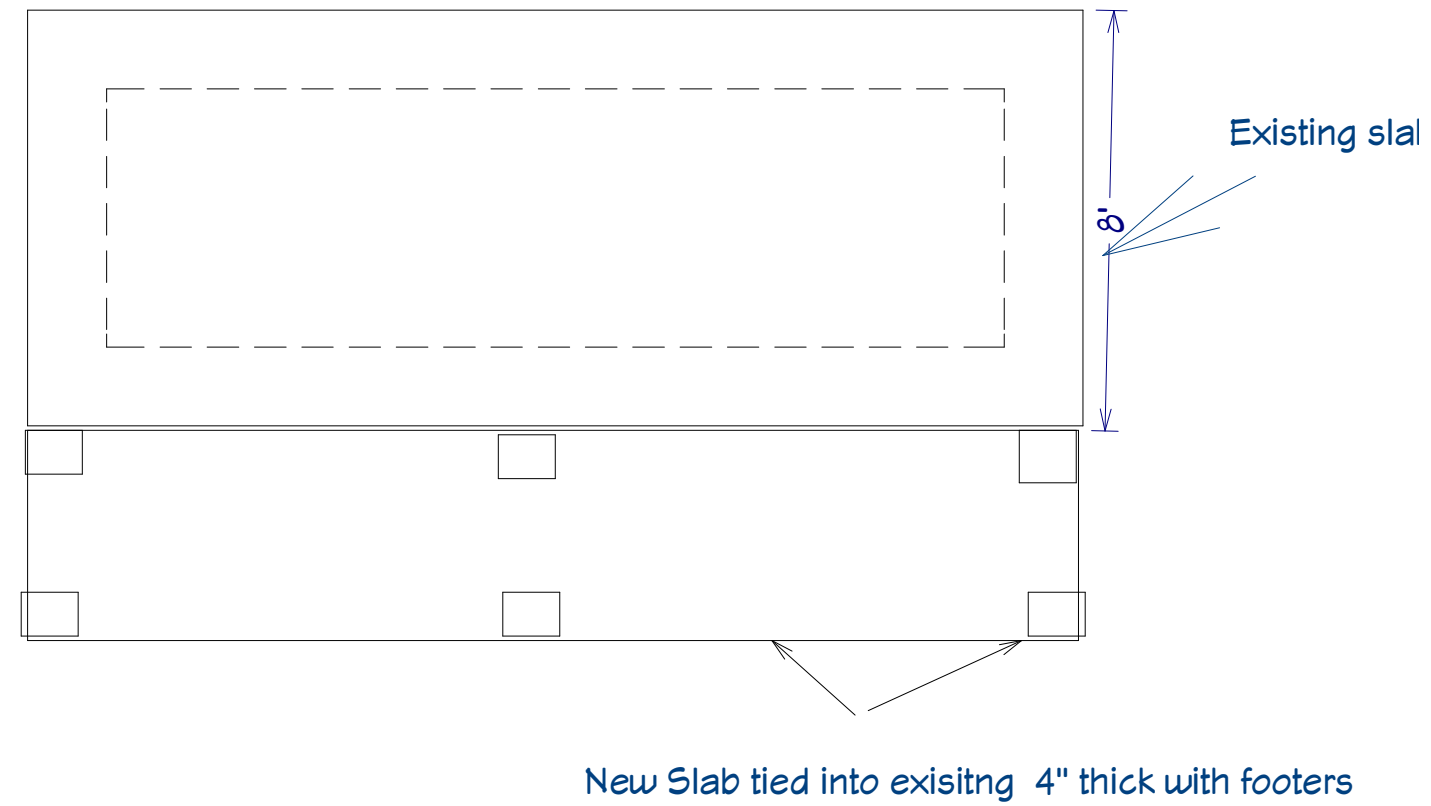
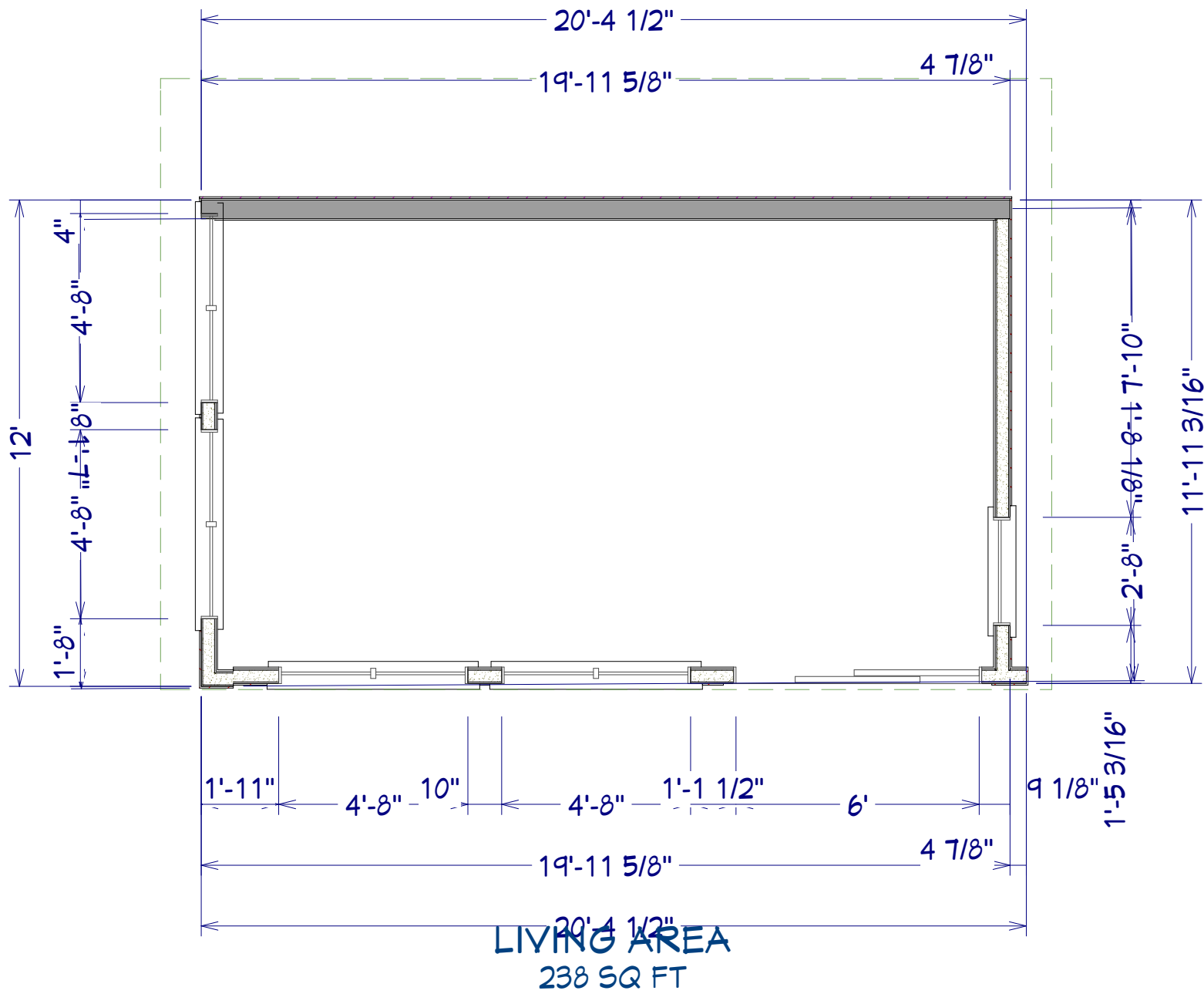
A Mortgage Location Survey prepared for and certified to:
Chicago Title Insurance Company and/or Unlimited Mortgage Services
Addition, Plat Book 28, Page 48
Applicant: Mishbrush & McMillan
Posted Address: 3130 Edgely Road, Upper Arlington, Ohio
F.E.M.A. Flood Zone Designation: Flood Zone "C" as per F.I.R.M. 390178 0003B.
Apparent Encroachments: 1) None

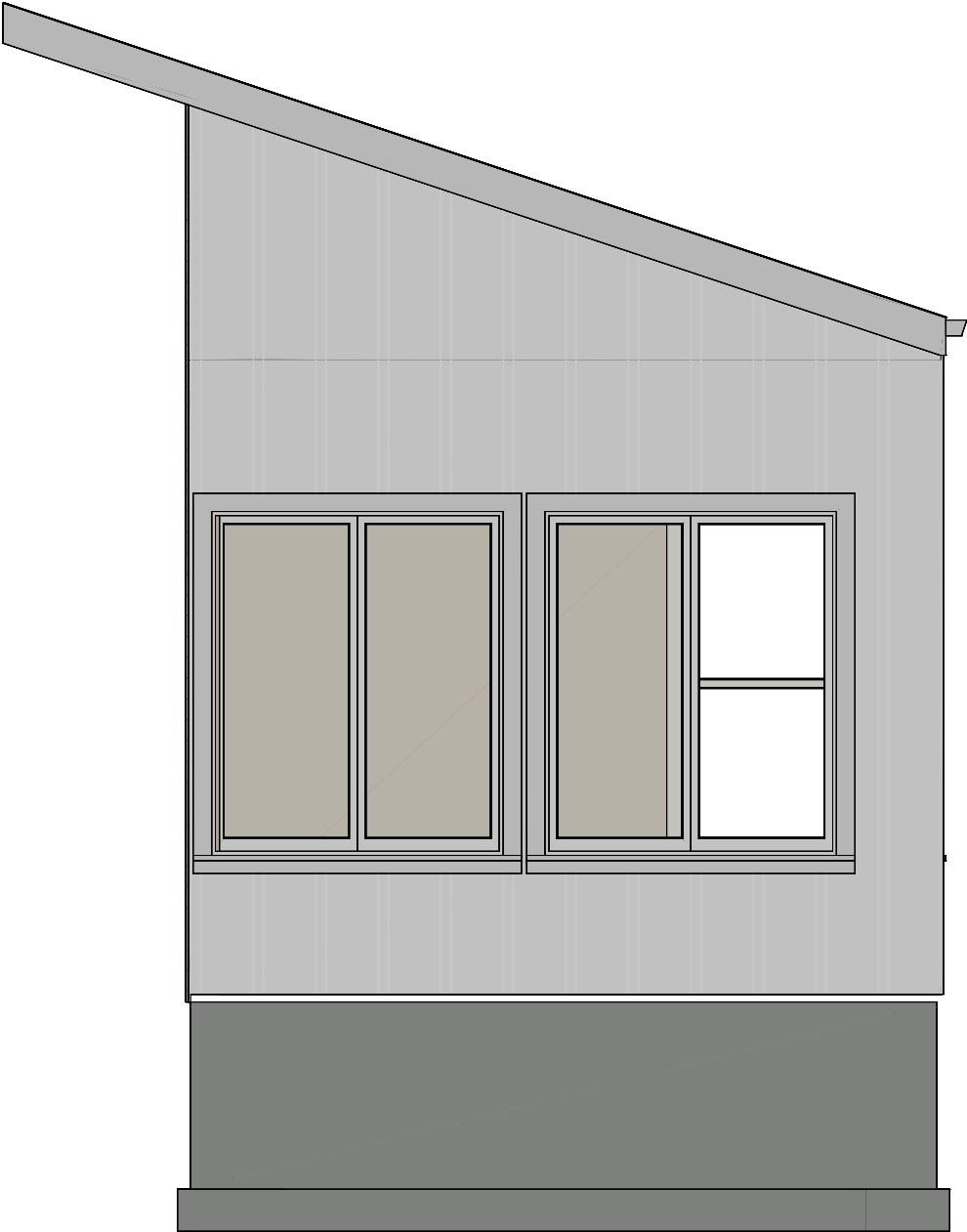


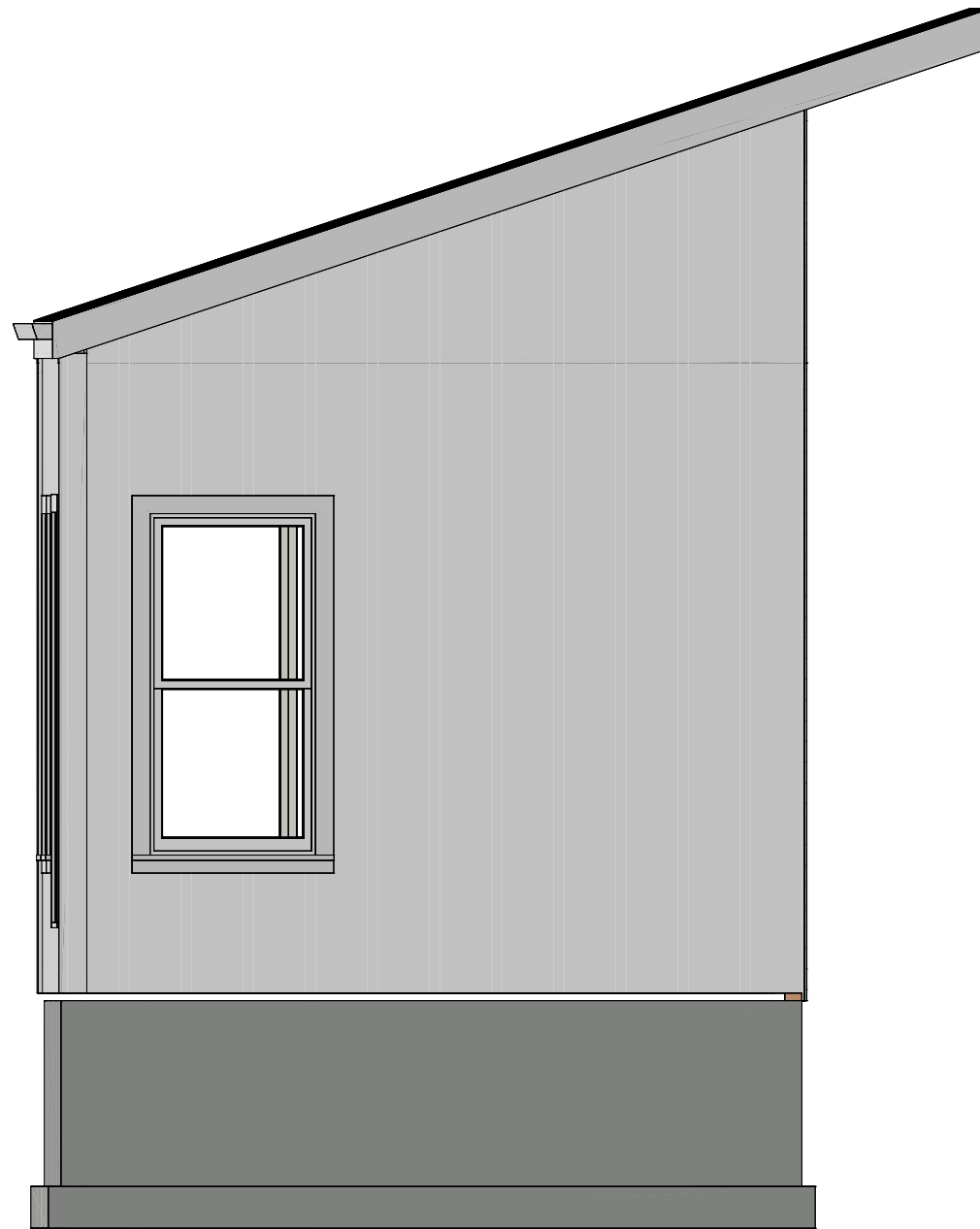
Myers Surveying Co.
By *Albert J. Myers*
Professional Surveyor

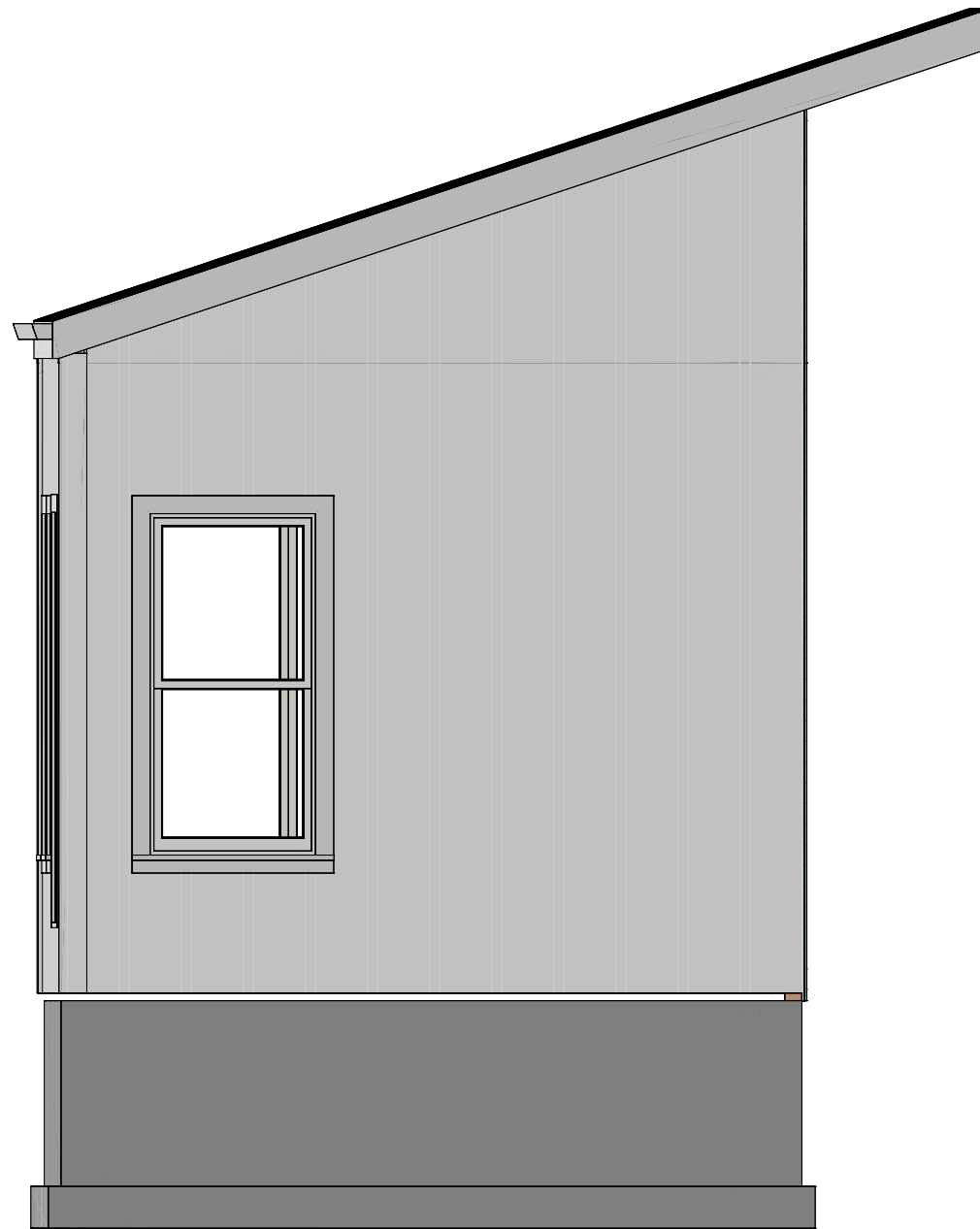
We hereby certify that the foregoing Mortgage Location survey was prepared from actual field measurements in accordance with Chapter 4733-38 Ohio Administrative Code, and is not a boundary survey pursuant to Chapter 4733-37 of said code.
THE INFORMATION SHOWN HEREON IS NOT TO BE UTILIZED FOR THE INSTALLATION OF BUILDINGS, FENCES, LANDSCAPING OR OTHER PERMANENT IMPROVEMENTS.

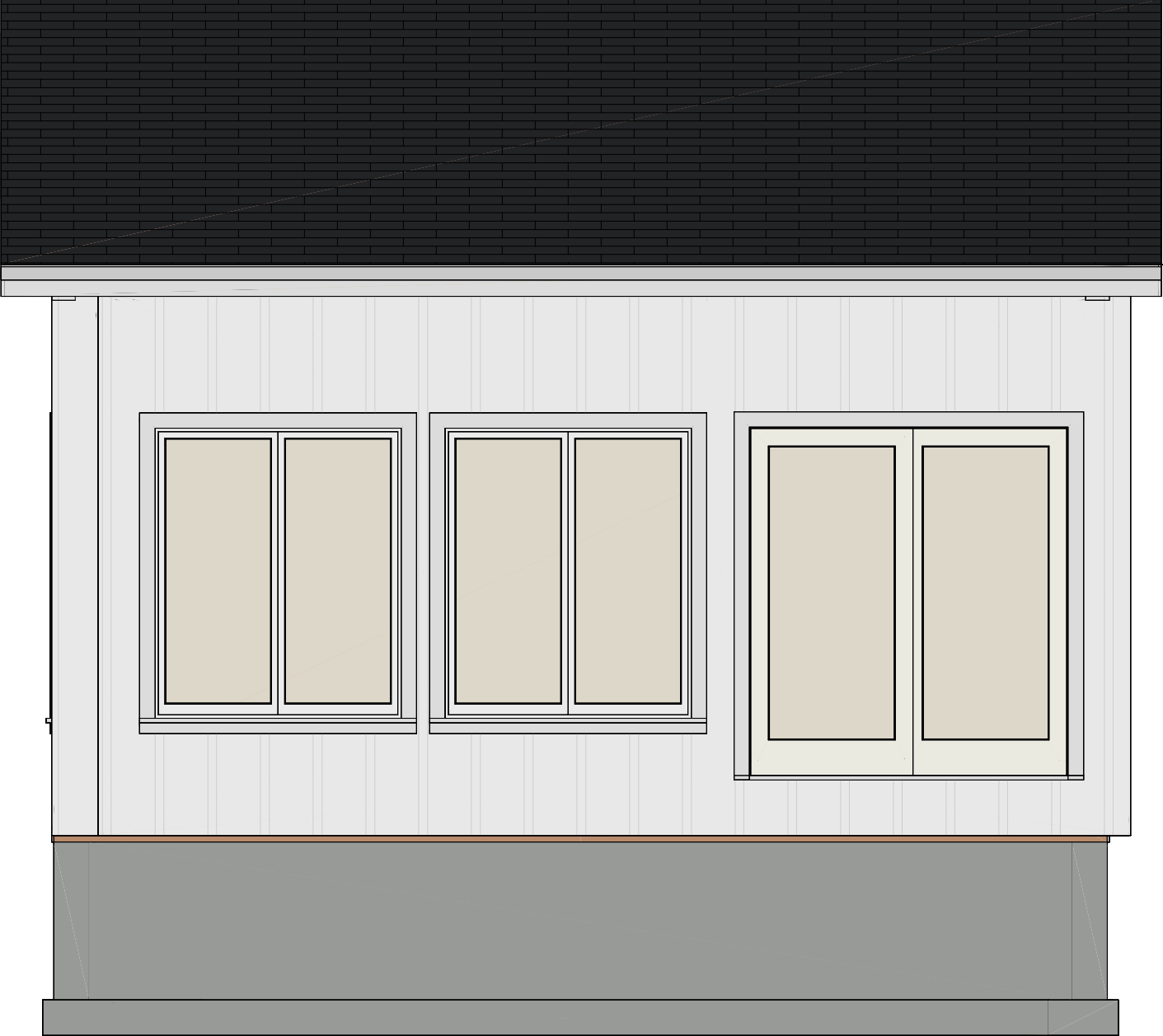
Myers Order No. - 38-10/28/93 | Rec. | Field | DWG | Ltr. | Ck. |
rb | lc | mf | JS |











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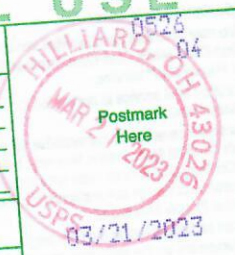
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Postage	\$0.63
Total Postage and Fees	\$4.78



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Certification of Notice

Revised: Jan 2021

Applicant Name: Judith Mushrush

Location of property subject to BZAP request: 3130 Edgefield rd.

Describe activity which requires Board of Zoning and Planning review:

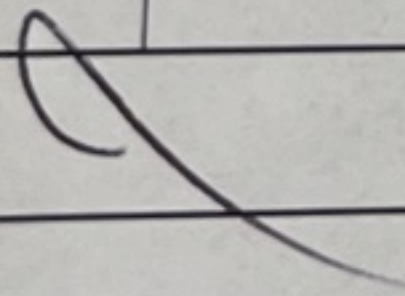
Taking existing 3 season room, adding 4 ft to room and converting to livable space

This application will be heard by the Board of Zoning and Planning on: 4/19/23

Board of Zoning and Planning (BZAP) meetings begin at 6 PM on Wednesdays and are held at the Upper Arlington Municipal Services Center, 3600 Tremont Road, Upper Arlington, Ohio, 43221. Due to the ongoing COVID-19 pandemic, meetings MAY be held remotely via video conference and telephone call-in. Meeting location details and additional instructions will be provided on the Agenda, which is posted on the City's website at docs.uaoh.net/AgendaOnline. For further information, please contact the Planning Division at planning@uaoh.net.

Your signature below DOES NOT constitute approval or disapproval of the request. Your signature only represents that you have been properly notified of the request. You are encouraged to attend any and all meetings regarding this matter.

Address of Property to be notified:	Property Owner Name:	Property Owner Signature or Certified Mail No.:	Date obtained or Mail sent:
3170 North Star	Brandon Walbee		
		7022 2410 0000 0650	

Applicant Signature: 

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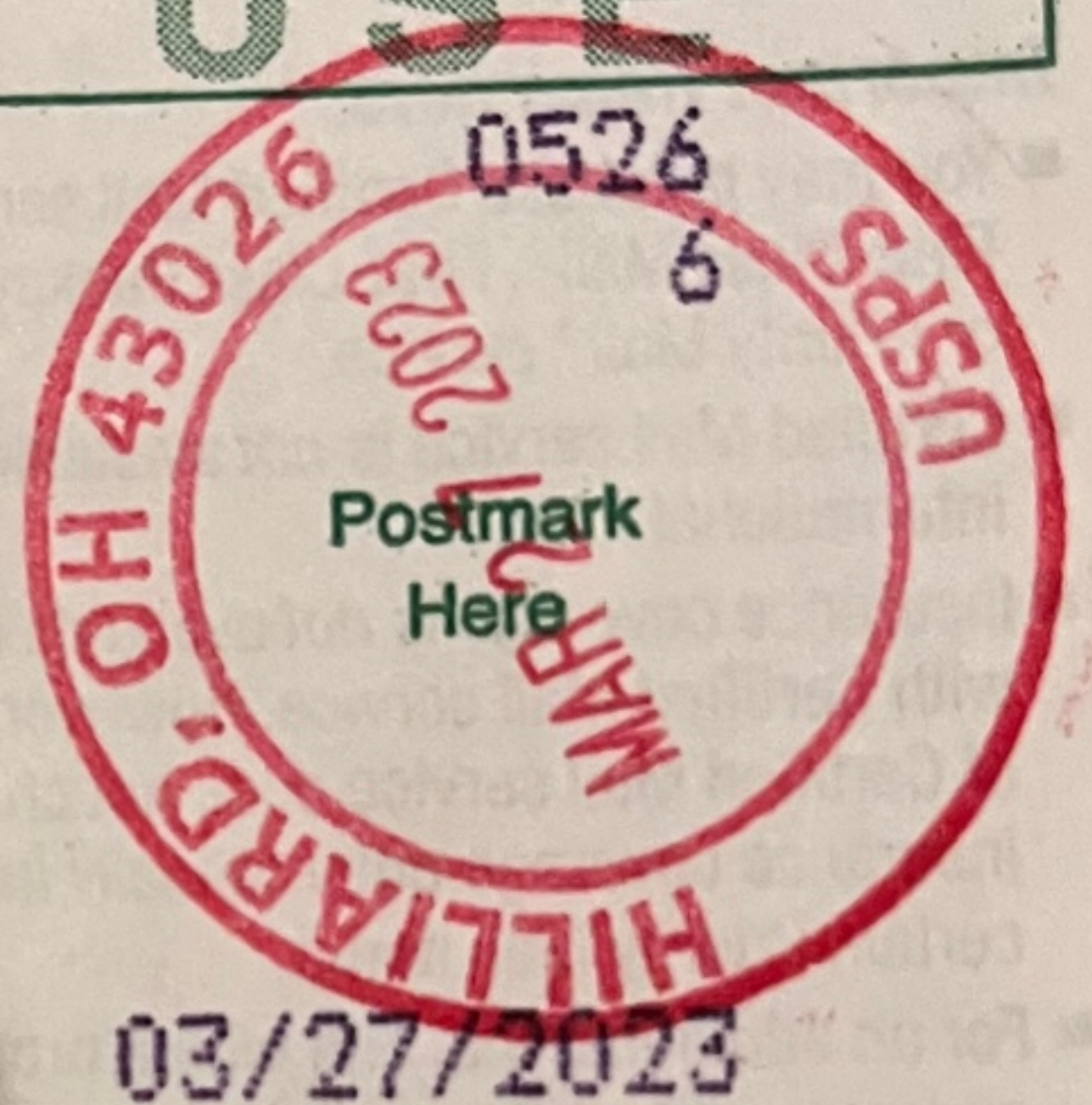
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7022 2470 0000 0649 3378
 82EE 6490 0000 0742 2202



Authors: Justin Milam, AICP, Senior Planner

BZAP Meeting Date: April 17, 2024

Subject: 2033 Jarvis Road (VAR-15-23) - To allow a one-story room addition that would result in 29.9 percent building cover, in lieu of the 29 percent limit.

Site Description/History

The subject property, 2033 Jarvis Road, is located on the south side of the street, mid-block between Redding and Tremont Roads. The property is rectangular in shape with 64 feet of frontage and 122 feet of depth, similar as others in the neighborhood. The property is platted as Lot #13 in the Mountview Place subdivision and is zoned R-1c, One-Family Residence District. An existing ranch home with a one-car attached garage, built in 1952, sits along a 40-foot building line. The property includes several mature trees and the rear yard is enclosed with fencing.

Proposal

The proposal includes the construction of two separate additions onto the rear of the home, both of which are within the buildable area of the lot. The western addition is a bedroom/office and bathroom expansion, while the eastern addition is a kitchen and dining room. Both additions include a stucco exterior and asphalt shingles with the same roof pitch to match the house. As a result of these additions, the overall building coverage for the property is exceeded by 76 square feet. No changes are proposed to existing landscaping or hardscape.

Zoning Code Requirements

- To allow to separate one-story additions that result in 29.9 percent building coverage, in lieu of the 29 percent limit.

Alternatives

The applicant could reduce the size of both additions but this would result in two undersized rooms that are already very modest in size.

Requested Action and Findings

Staff has reviewed the application and plans, visited the site, and is supportive of the request. The proposal is quite modest and tries to take advantage of open areas adjacent to the house (Finding #3). The addition blends well with the home and will not have any negative



impacts on the street or neighbors (Finding #4). For these reasons, Staff recommends that this variance application be approved.

Attachments

1.	BZAP Staff Report Pics - 2033 Jervis Rd
2.	2033 Jervis Rd Variance App

2033 Jervis Road

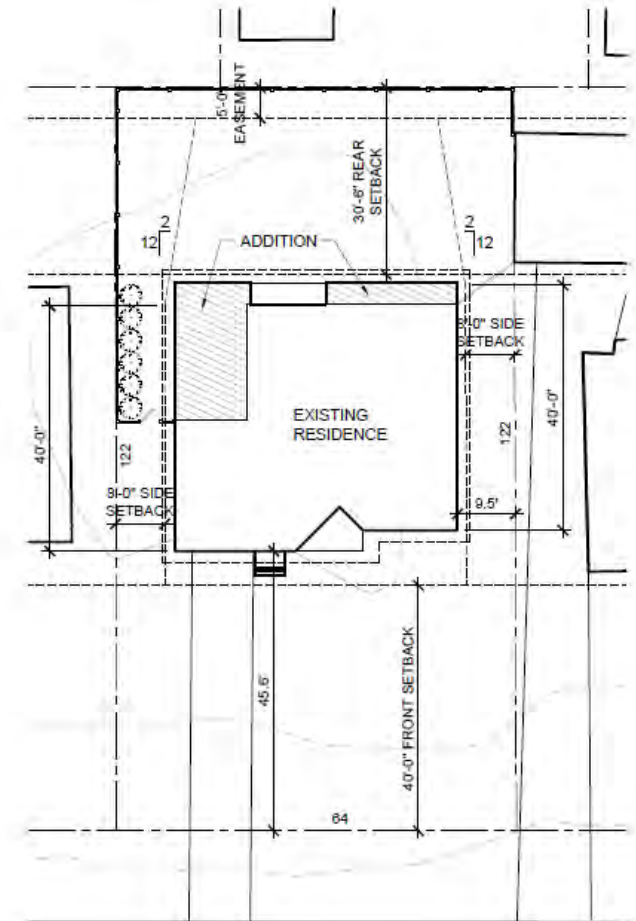
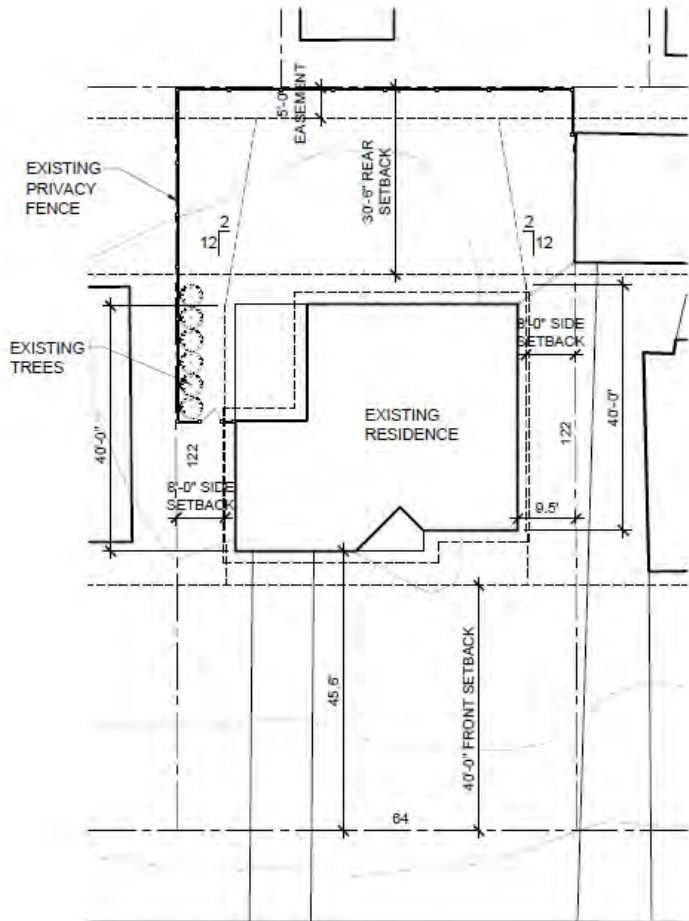
BZAP Staff Report Pictures



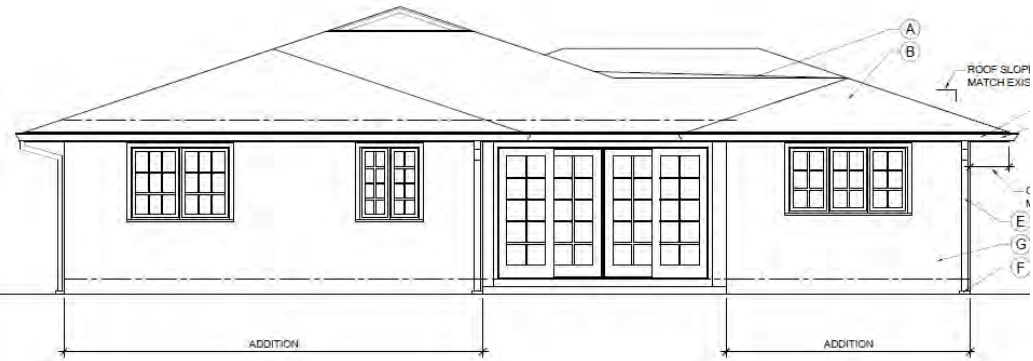
Google Maps ® Aerial – Looking North



Existing and Proposed Site Plan



Proposed and Existing Rear Elevations





23-1065

Variance Application

Status: Active

Date Created: Mar 17, 2023

Applicant

Gary Alexander
gary@garyjalexanderarchitect.com
1265 Neil Avenue
Columbus, Ohio 43201
614-487-0637

Primary Location

2033 JERVIS RD
UPPER ARLINGTON, OH 43221

Owner:

Kerry and Sylvia Martinez
2033 JERVIS COLUMBUS, OH 43221

BZAP Information

BZAP Case #

VAR-15-23

Status

Pending

BZAP Determination Date

04/19/2023

Vote Tally

--

Primary Variance

Building cover

Findings of Fact for Approval/Denial

--

Variance Request

To allow an addition that results in 29.9 percent building cover, when 29 percent is the limit.

BZAP conditions

--

Variance Information

Describe Variance Request

The variance request is to exceed the permitted building cover by .9%.

What practical difficulty, special conditions and/or circumstances exist that are peculiar to the land or structure involved and which are not generally applicable to other lands or structures in the same zoning districts?

The small lot size is one of the contributing factors for this variance request. The style of this particular house with 2'-0" overhangs around the entire perimeter is the unique condition of this property. A significant amount of the total building cover (405 sq. ft.) is exterior space beyond the perimeter of the walls. The limited lot size and the overhangs of this particular house are the factors that lead to this request.

Will granting the variance confer a special privilege that is denied by this regulation to other lands, structures, or buildings in the same district?

No. This request seems negligible.

Will the essential character of the neighborhood area be substantially altered or will adjoining properties suffer substantial detriment as a result of the variance?

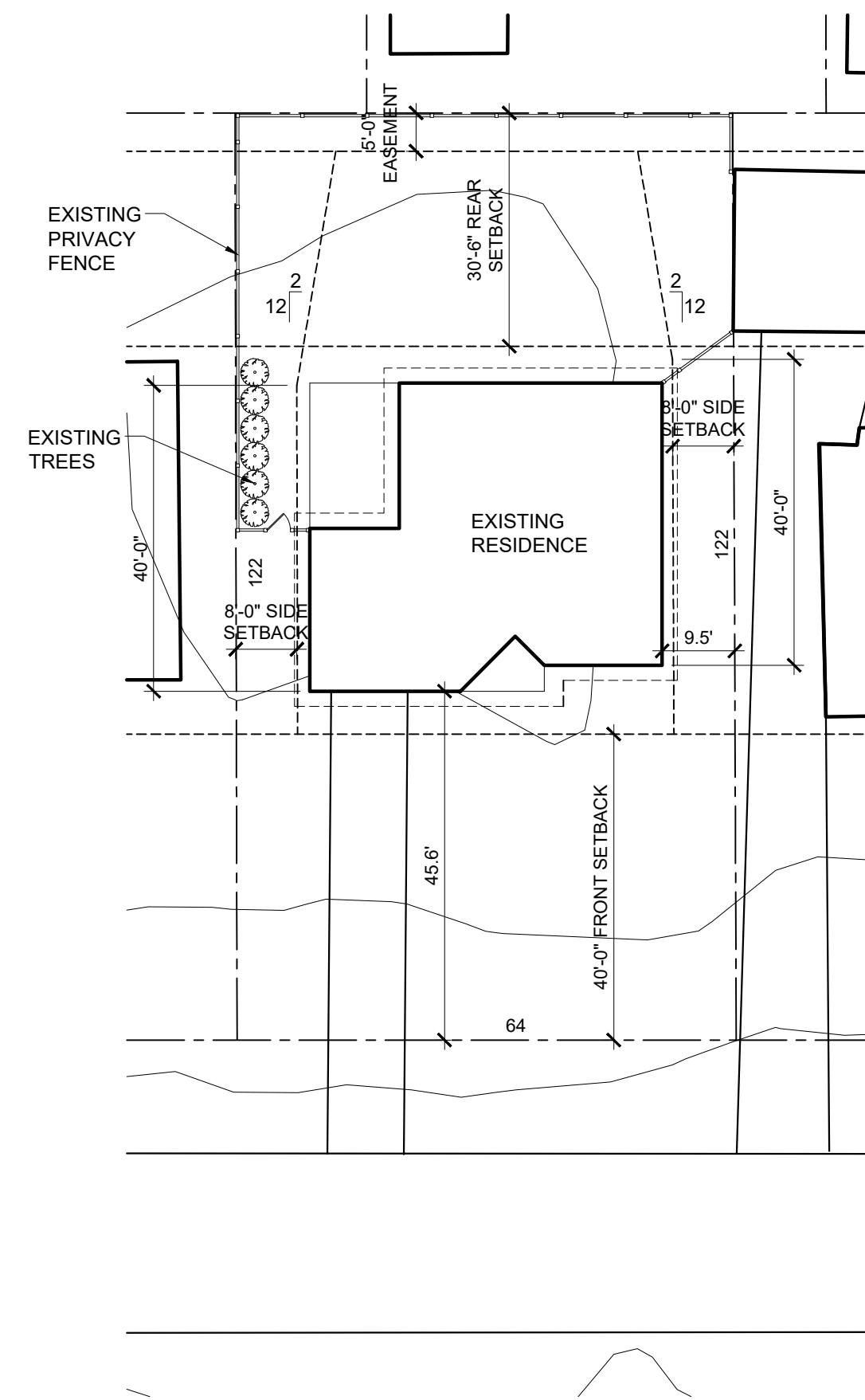
No. When complete, these additions will look like they are a part of the original house. A privacy fence borders the backyard shielding the neighboring properties from this work. Further buffering is provided along the east side by the existing evergreens which will remain.

Have all reasonable alternatives been investigated or exhausted to find that this variance request is the minimum necessary to make reasonable use of land and structures?

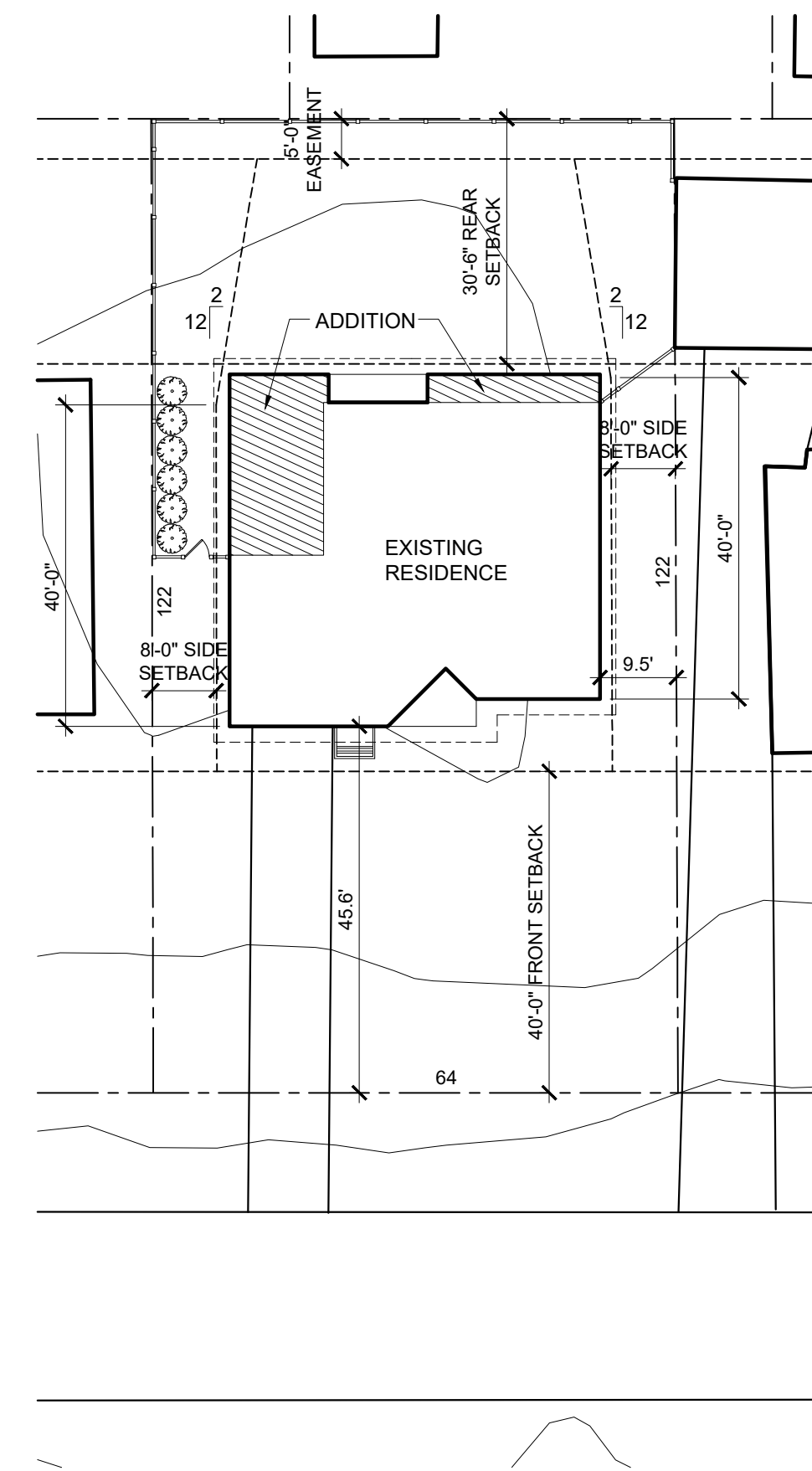
Yes. The proposed laundry and bathroom, while improving the current condition, were not designed to strict ADA standards, which would result in even larger spaces. The new roof over the addition on the east side is considerably lower than the peak of the existing house, subordinating the addition to the mass and height of the original house.

Can this property yield a reasonable return or can there be any beneficial use of the property without the variance?

One of the primary goals of this project is to remodel the home so that the owners, as they age, can remain in this house. Moving the laundry up from the basement, creating a kitchen with more maneuvering space, and increasing the size of the bathroom all contribute to this goal. It would be difficult to make these enhancements without the variance.



SITE PLAN
EXISTING
SCALE: 1" = 20'-0"



SITE PLAN
PROPOSED
SCALE: 1" = 20'-0"

ZONING INFORMATION

PARCEL ID 070-003983-00
ZONING DISTRICT R-1C
LOT AREA 7,808 SQ. FT.

EXISTING BUILDING COVER	-	1,943 SQ. FT.	24.8% OF LOT AREA
PERMITTED BUILDING COVER	-	2,264 SQ. FT.	29% OF LOT AREA
PROPOSED BUILDING COVER	-	2,340 SQ. FT.	29.9% OF LOT AREA
EXISTING DEVELOPMENT COVER	-	2,544 SQ. FT.	33% OF LOT AREA
PERMITTED DEVELOPMENT COVER	-	3,904 SQ. FT.	50% OF LOT AREA
PROPOSED DEVELOPMENT COVER	-	2,776 SQ. FT.	36% OF LOT AREA

**ADDITION & REMODELING
THE MARTINEZ RESIDENCE
2033 JERVIS ROAD**

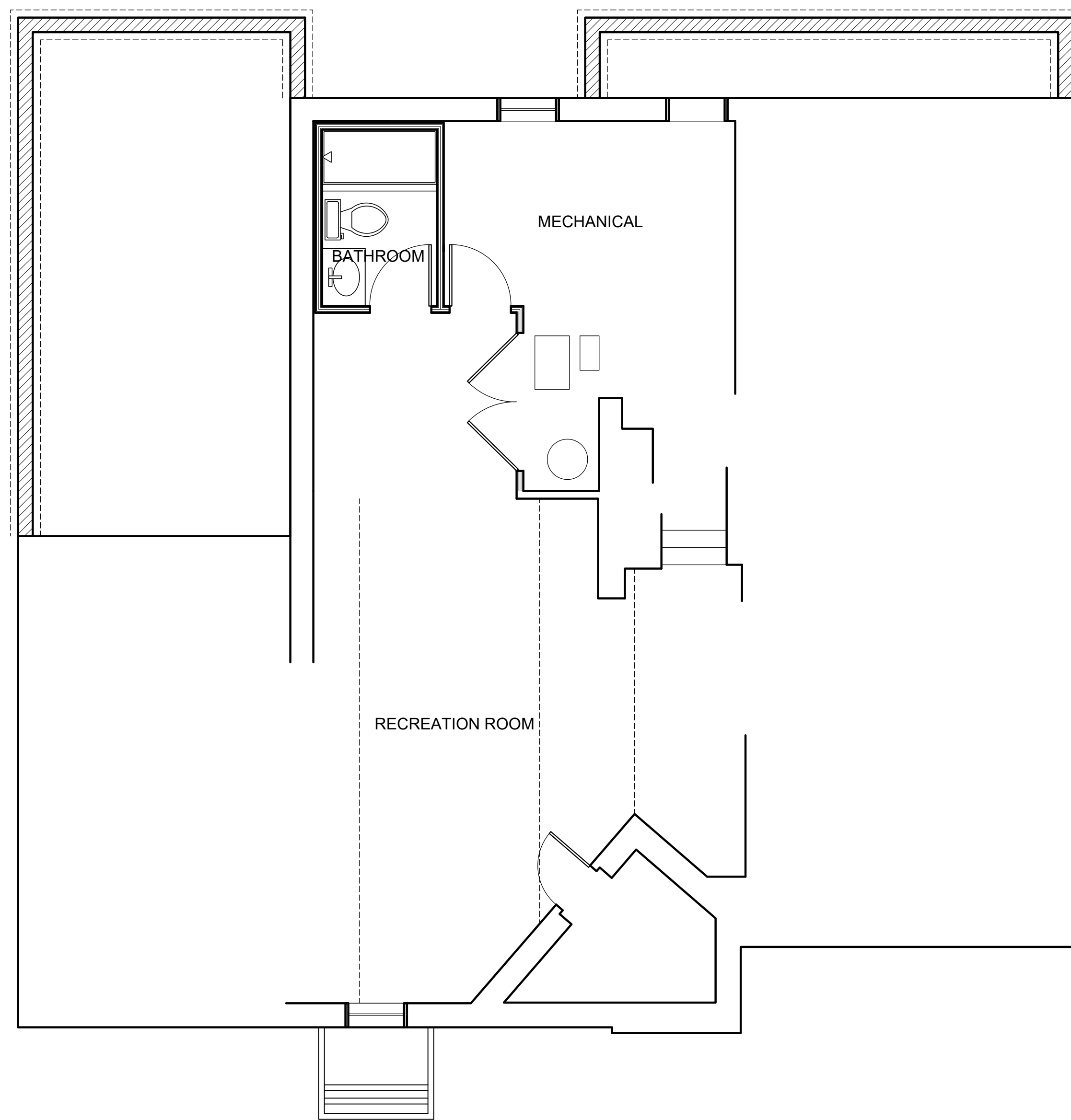
Gary J. Alexander,
Architect
1265 Neil Avenue, Columbus, Ohio 43201
(614) 487-0637

ZON. VAR.: 03-17-2023

A-1

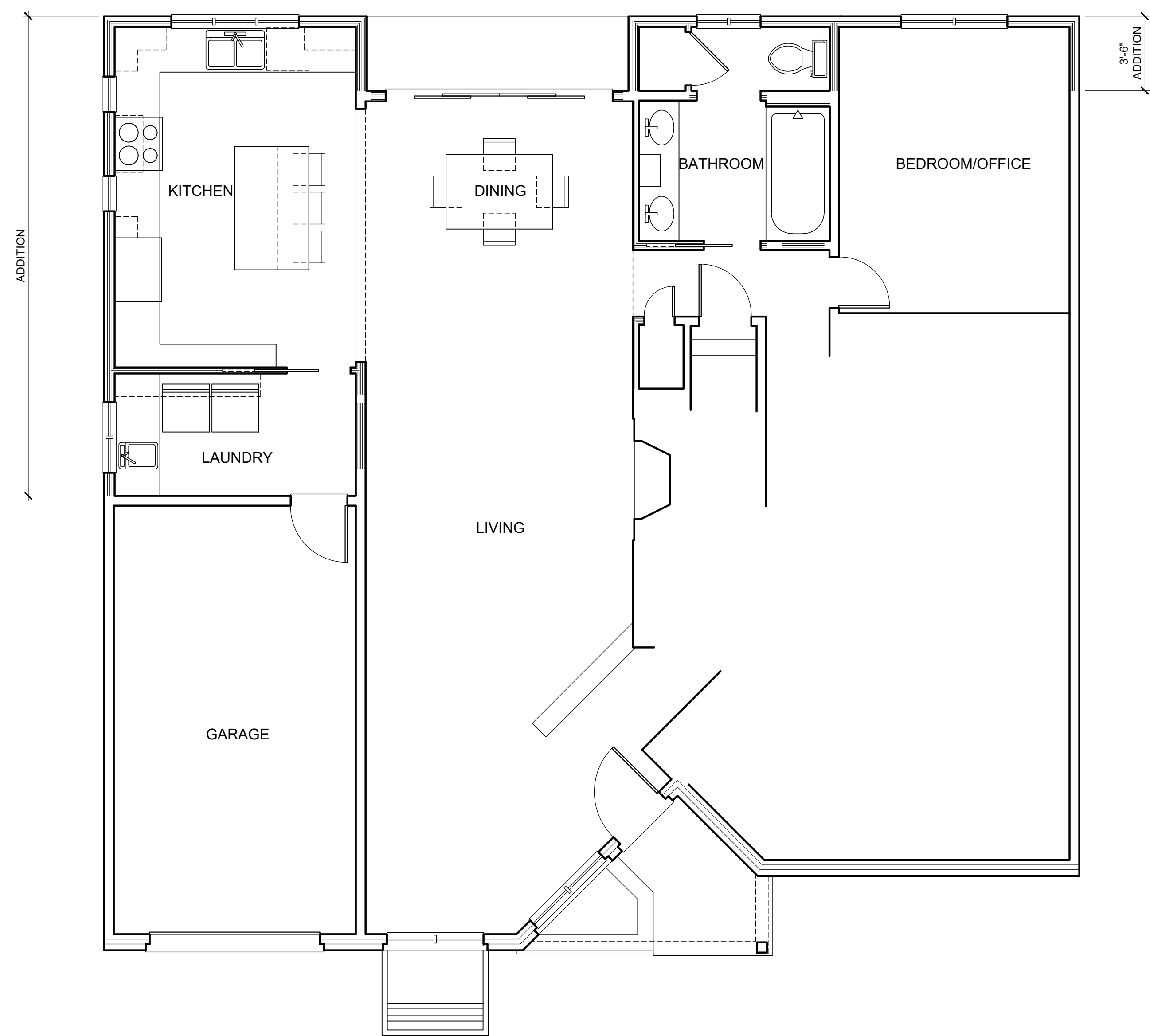
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LOWER LEVEL FLOOR PLAN

PROPOSED
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

PROPOSED
SCALE: 1/4" = 1'-0"

**ADDITION & REMODELING
THE MARTINEZ RESIDENCE
2033 JERVIS ROAD**

Gary J. Alexander,
Architect
1265 Neil Avenue, Columbus, Ohio 43201
(614) 487-0637

ZON. VAR.: 03-17-2023

A-2

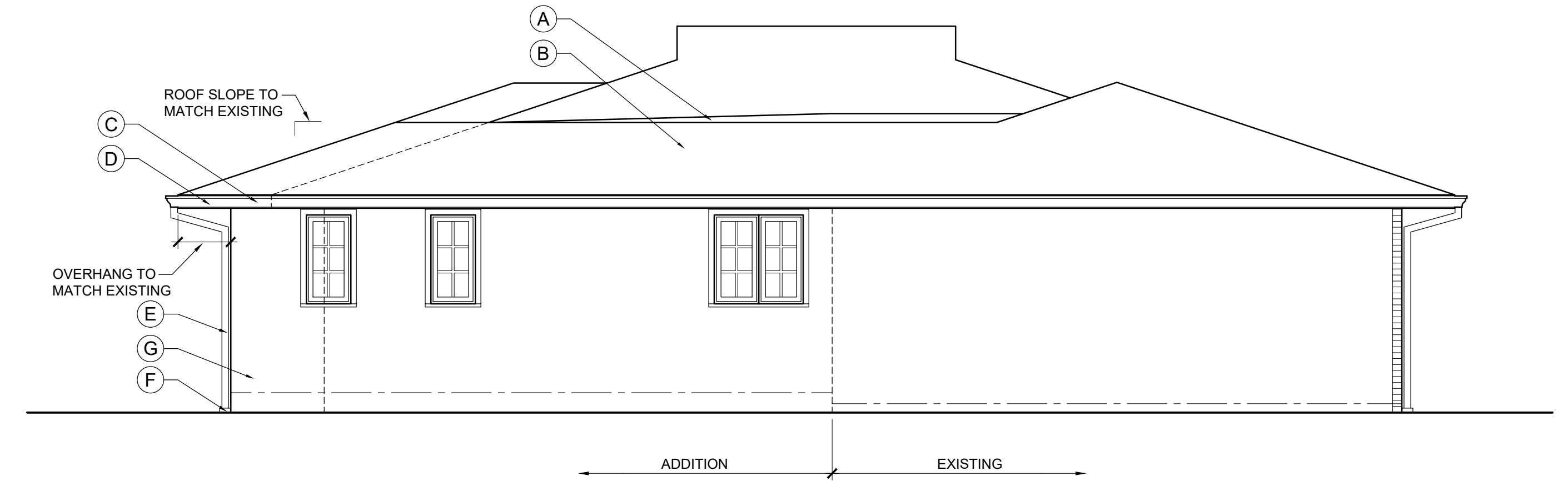
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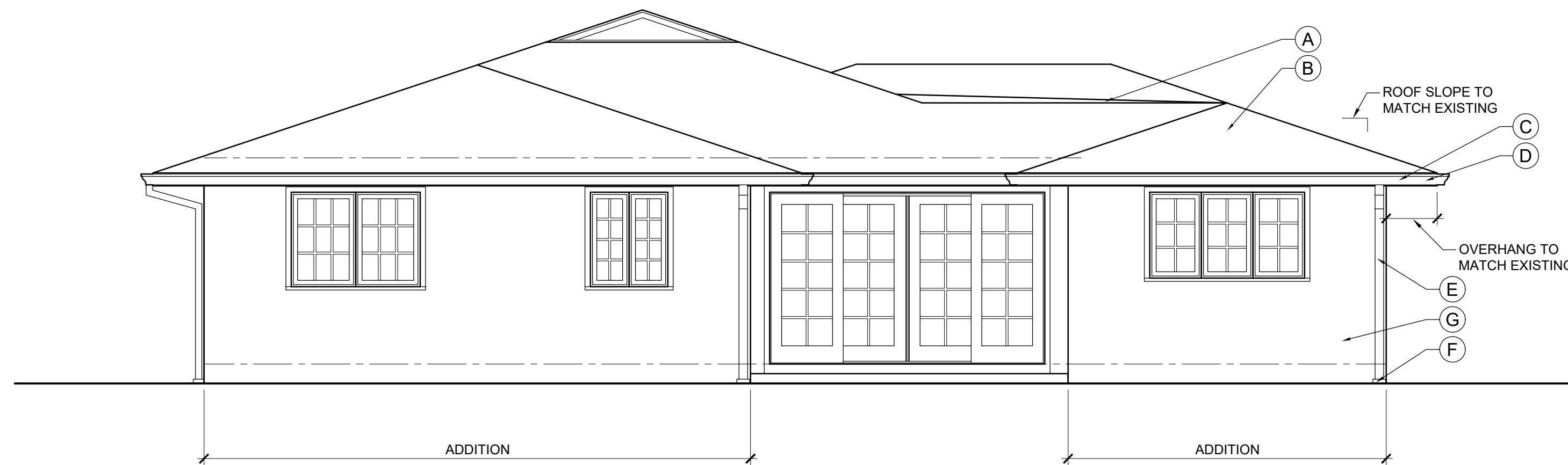
FRONT (NORTH) ELEVATION

PROPOSED
SCALE: 1/4" = 1'-0"



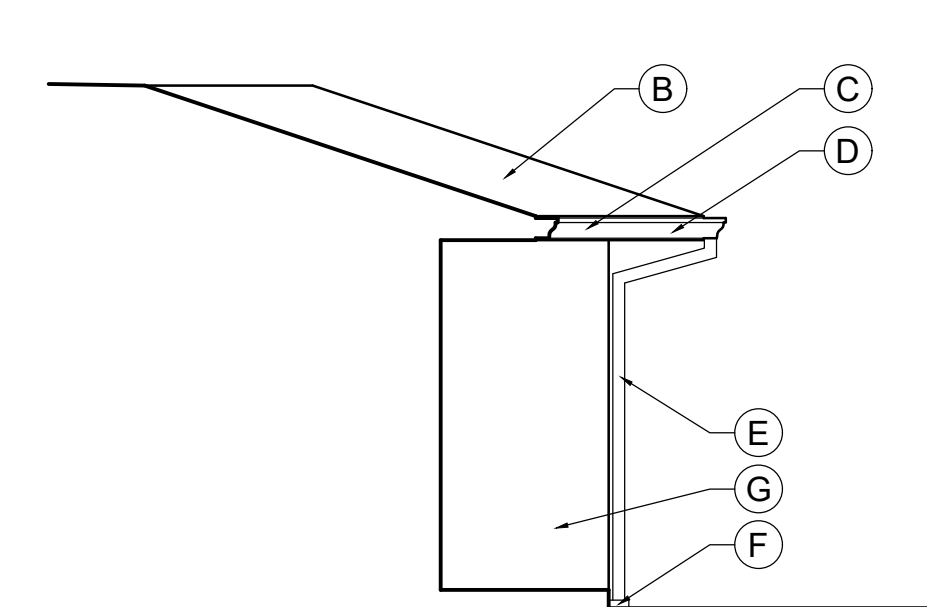
SIDE (EAST) ELEVATION

PROPOSED
SCALE: 1/4" = 1'-0"



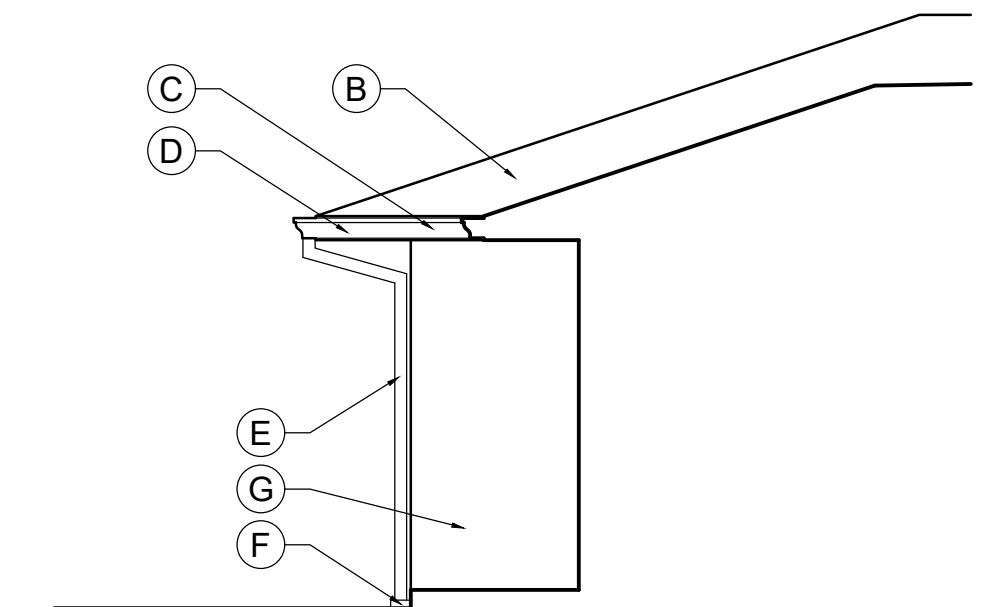
REAR (SOUTH) ELEVATION

PROPOSED
SCALE: 1/4" = 1'-0"



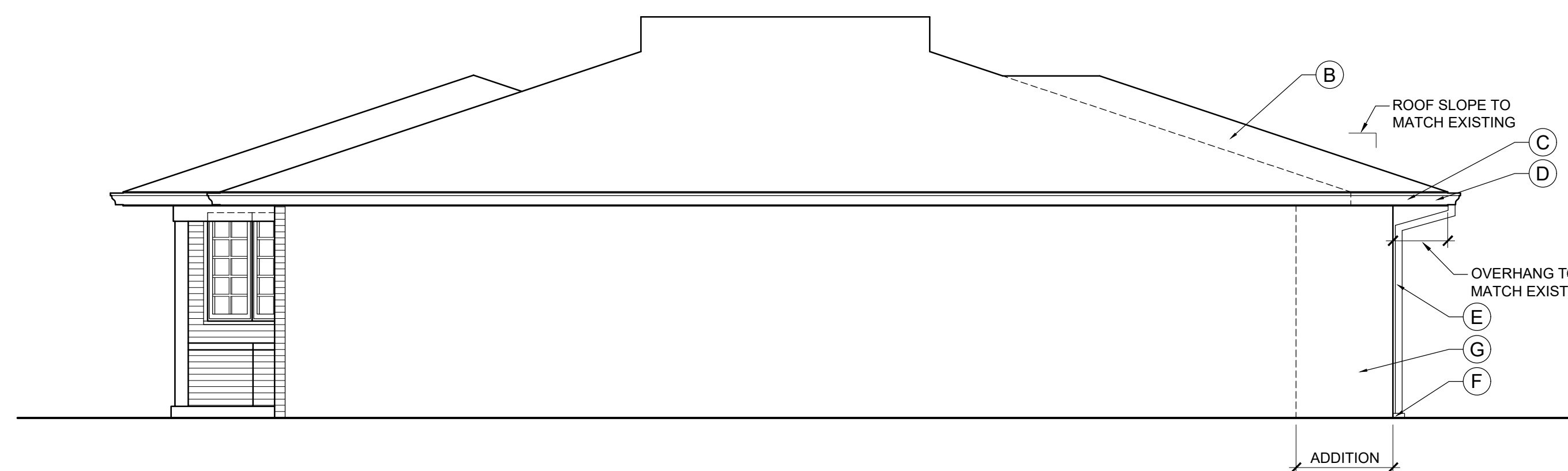
SIDE (WEST) ELEVATION

PROPOSED
SCALE: 1/4" = 1'-0"



SIDE (EAST) ELEVATION

PROPOSED
SCALE: 1/4" = 1'-0"



SIDE (WEST) ELEVATION

PROPOSED
SCALE: 1/4" = 1'-0"

ELEVATION MATERIALS LIST

- ALL EXTERIOR TRIM TO BE WOOD OR BORAL. IF WOOD TRIM IS USED, TRIM TO BE REDWOOD OR SMOOTH FINISH CEDAR. ALL SURFACES OF TRIM TO BE PRIMED PRIOR TO INSTALLATION. SAW CUTS AND NAIL HOLES TO BE PRIMED.
- ALL GUTTERS AND DOWNSPOUTS TO CONNECT UNDERGROUND TO DRAIN TILE AND DRAIN TILE TO BE ROUTED TO CURB AT STREET. IF EXISTING DRAIN TILE ARE TO BE USED, CONTRACTOR TO VERIFY THAT EXISTING DRAIN TILE ARE OPERATING PROPERLY PRIOR TO CONNECTING NEW DOWNSPOUTS
- A. REINFORCED RUBBER MEMBRANE ROOFING
- B. DIMENSIONAL SHINGLES TO MATCH EXISTING
- C. FASCIA TO MATCH AND ALIGN WITH EXISTING
- D. PREFINISHED ALUMINUM GUTTER, OGEE PROFILE
- E. 3"x4" PREFINISHED ALUMINUM DOWNSPOUT
- F. DOWNSPOUT BOOT
- G. STUCCO, COLOR AND TEXTURE TO MATCH EXISTING

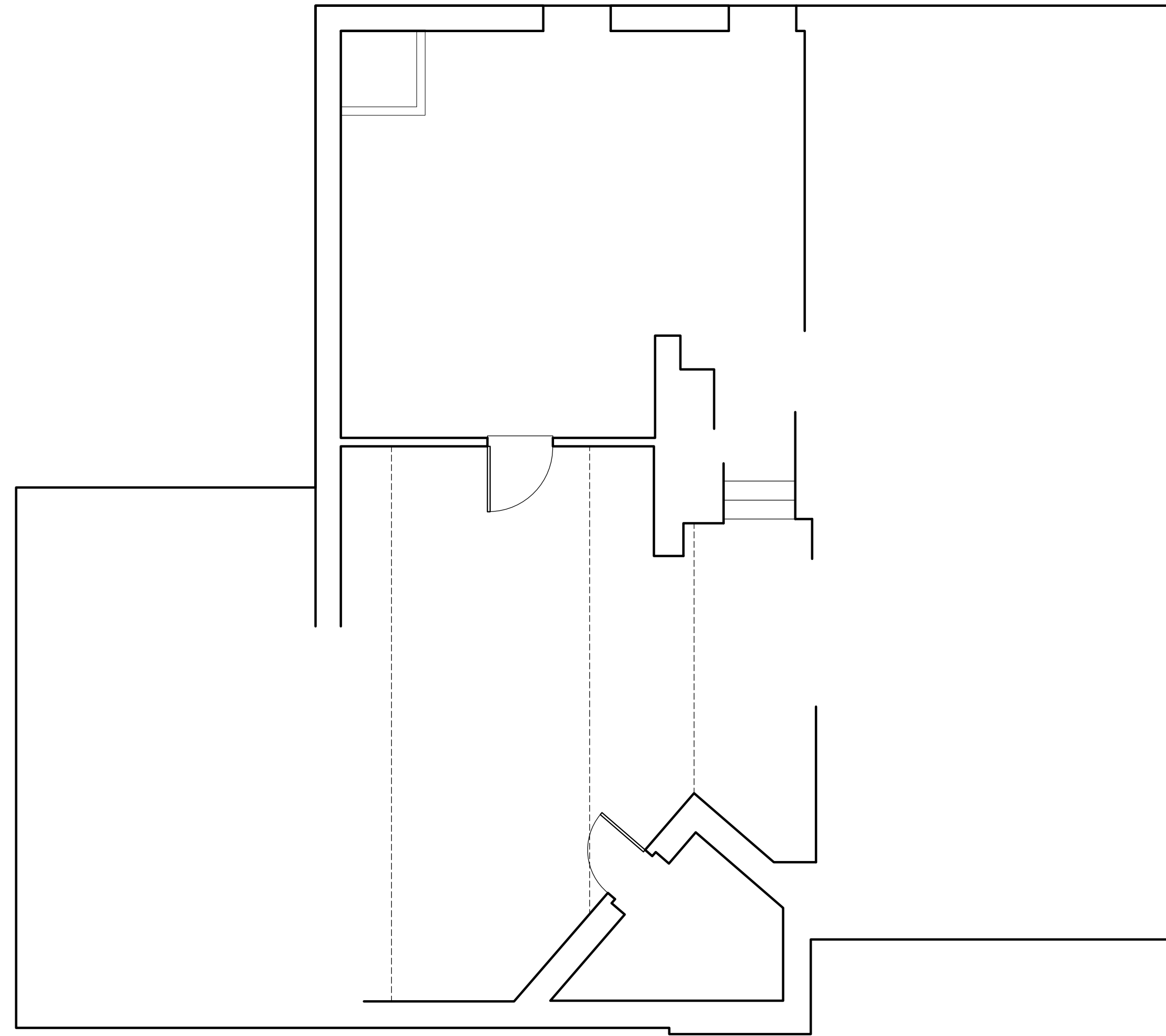
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**ADDITION & REMODELING
THE MARTINEZ RESIDENCE
2033 JERVIS ROAD**

Gary J. Alexander,
Architect
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(614) 487-0637

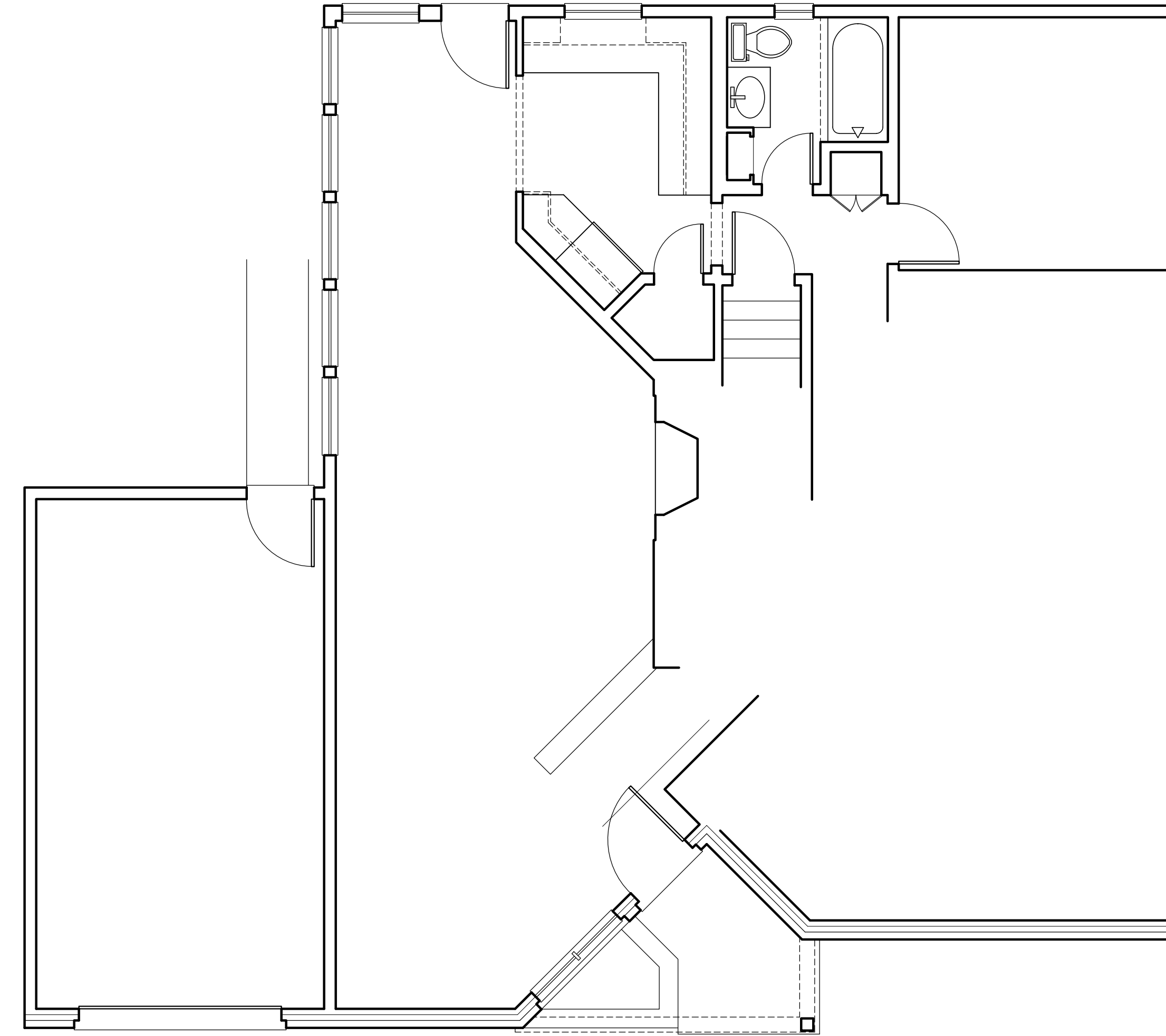
ZON. VAR.: 03-17-2023

A-3



LOWER LEVEL FLOOR PLAN

EXISTING
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

EXISTING
SCALE: 1/4" = 1'-0"

**ADDITION & REMODELING
THE MARTINEZ RESIDENCE
2033 JERVIS ROAD**

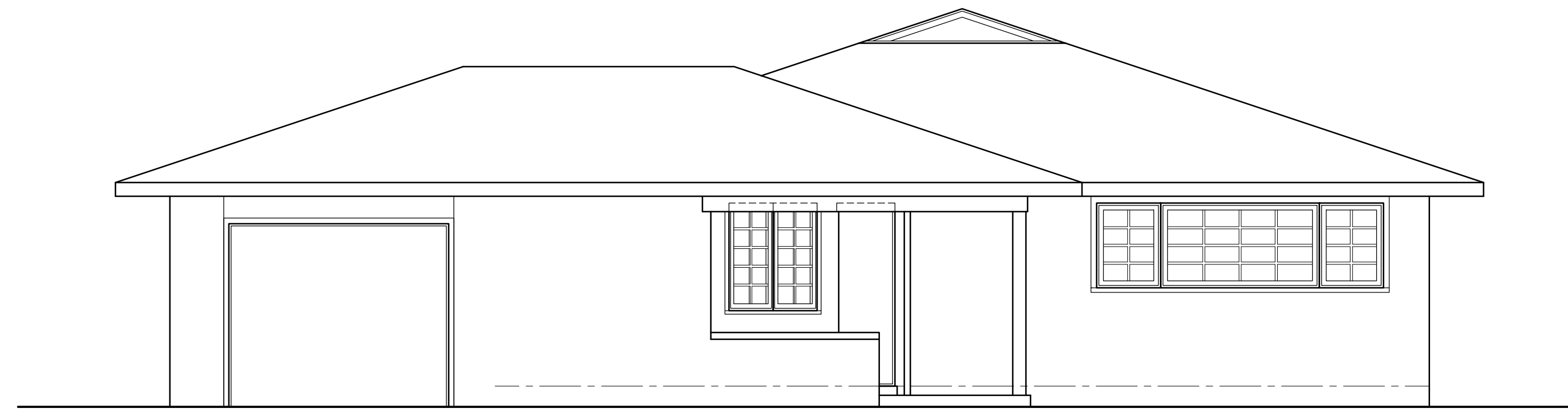
Gary J. Alexander,
Architect
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(614) 487-0637

ZON. VAR.: 03-17-2023

A-2 EXIST

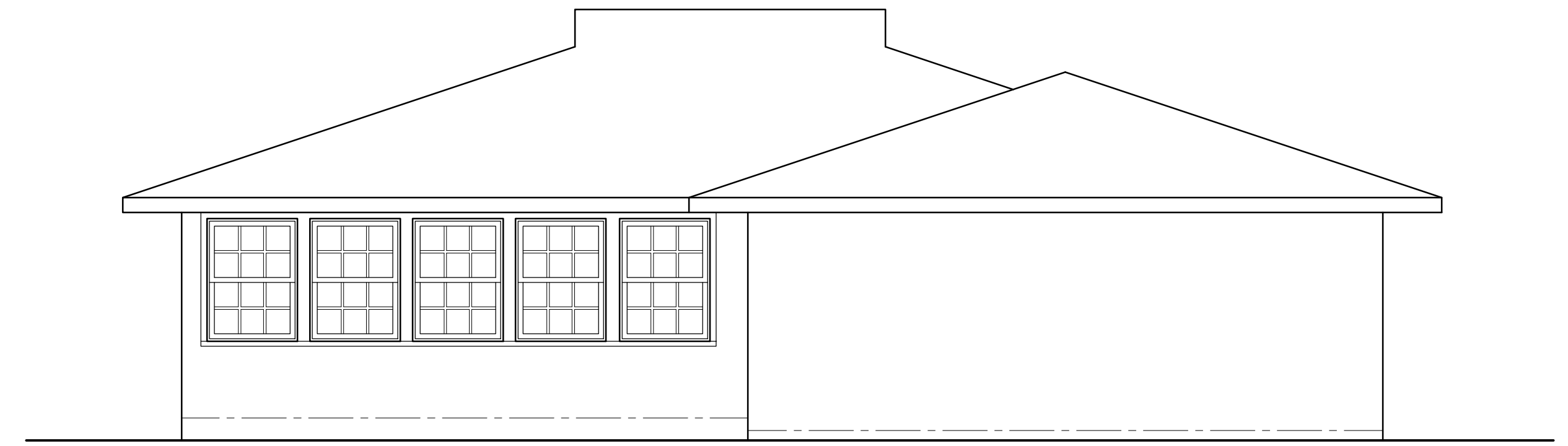
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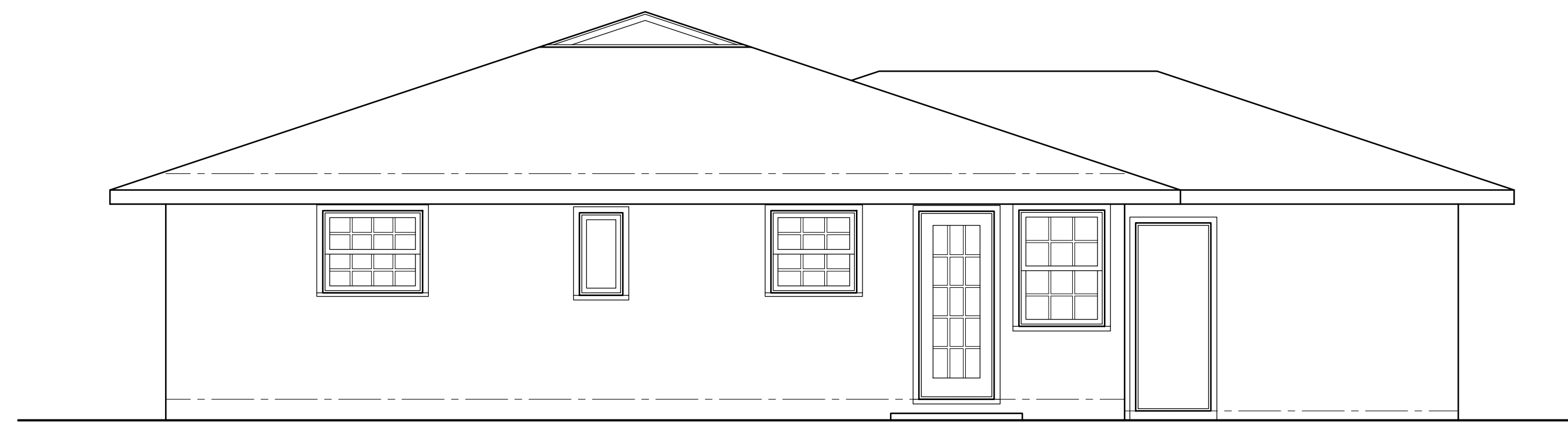
FRONT (NORTH) ELEVATION

EXISTING
SCALE: 1/4" = 1'-0"



SIDE (EAST) ELEVATION

EXISTING
SCALE: 1/4" = 1'-0"



REAR (SOUTH) ELEVATION

EXISTING
SCALE: 1/4" = 1'-0"

**ADDITION & REMODELING
THE MARTINEZ RESIDENCE
2033 JERVIS ROAD**

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Architect
1265 Neil Avenue, Columbus, Ohio 43201
(614) 487-0637

ZON. VAR.: 03-17-2023

A-3 EXIST

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Revised: Jan 2021

Certification of Notice

Applicant Name: Mr, Kerry and Ms. Sylvia Martinez

Location of property subject to BZAP request: 2033 Jervis Road

Describe activity which requires Board of Zoning and Planning review:

The variance is required to construct an addition at the rear of the home.

This application will be heard by the Board of Zoning and Planning on: April 19, 2023

Board of Zoning and Planning (BZAP) meetings begin at 6 PM on Wednesdays and are held at the Upper Arlington Municipal Services Center, 3600 Tremont Road, Upper Arlington, Ohio, 43221. Due to the ongoing COVID-19 pandemic, meetings MAY be held remotely via video conference and telephone call-in. Meeting location details and additional instructions will be provided on the Agenda, which is posted on the City's website at docs.uaoh.net/AgendaOnline. For further information, please contact the Planning Division at planning@uaoh.net.

*Your signature below **DOES NOT** constitute approval or disapproval of the request. Your signature only represents that you have been properly notified of the request. You are encouraged to attend any and all meetings regarding this matter.*

Address of Property to be notified:	Property Owner Name:	Property Owner Signature or Certified Mail No.:	Date obtained or Mail sent:
2056 INCHCLIFF RD	HOWARD & CANDY MUELLER	7022 2410 0000 2698 8823	3/18/23
2048 INCHCLIFF RD	MJV COMPANY LLC	7022 2410 0000 2698 8816	3/18/23
2040 INCHCLIFF RD	HONGTAO YI & WEN GUO	7022 2410 0000 2698 8809	3/18/23
2034 INCHCLIFF RD	ANDREW PONTIUS TR	7022 2410 0000 2698 8793	3/18/23
2026 INCHCLIFF RD	DOUGLAS & SHEILAH JANES	7022 2410 0000 2698 8779	3/18/23
2017 JERVIS RD	JOE ANDERSON & BROOKE BERNING	7022 2410 0000 2698 8830	3/18/23
2025 JERVIS RD	WILLIAM AND CARYN JACKSON	7022 2410 0000 2698 8854	3/18/23
2041 JERVIS RD	2041 JERVIS LLC	7022 2410 0000 2698 8892	3/18/23
2049 JERVIS RD	ANDREA & BRIAN ANDERSON	7022 2410 0000 2698 8878	3/18/23
2048 JERVIS RD	ALEXANDER & ABIGAIL ZORNIGER	7022 2410 0000 2698 8885	3/18/23
2040 JERVIS RD	JONATHAN BOWERS	7022 2410 0000 2698 8908	3/18/23
2032 JERVIS RD	ANDREW & ALEXANDRA SCHILL	7022 2410 0000 2698 8915	3/18/23
2026 JERVIS RD	MEGAN SHELTON	7022 2410 0000 2698 8939	3/18/23
Applicant Signature: <i>S. Martinez</i>			Date: 3/18/23

* Sent to 1585 Bethel Rd, Ste 200, Colts Off 43220

Revised: Jan 2021

Certification of Notice

Applicant Name: Mr, Kerry and Ms. Sylvia Martinez

Location of property subject to BZAP request: 2033 Jervis Road

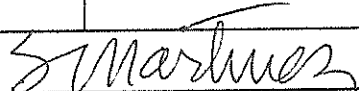
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Address of Property to be notified:	Property Owner Name:	Property Owner Signature or Certified Mail No.:	Date obtained or Mail sent:
2018 JERVIS RD	ANTHONY & KIMBERLY CONIE	7077 2410 0000 2698 8922	3/18/23
Applicant Signature: 			Date: 3/18/23



Authors: Justin Milam, AICP, Senior Planner

BZAP Meeting Date: April 17, 2024

Subject: 2698 Mt Holyoke Road (VAR-18-23) - To allow an addition that encroaches up to 5'-2" into the 14'-10" minimum side yard longwall setback.

Site Description/History

The subject property, 2698 Mt Holyoke Road, is located on the east side of the street, just north of Northam Road. The 0.24-acre property is rectangular in shape with 75 feet of frontage and 140 feet of depth, similar as others in the neighborhood, and zoned R-1c, One-Family Residence District. It is platted as Lot #20 in the Windsor Place subdivision with a 40-foot building setback line. A 2,958-square foot modern brick and stucco home sits nine feet behind the setback line and was built in 1959. The neighborhood includes a mix of ranches, two-story homes, modern homes, carports and other home styles. The property includes wood fencing and landscaping throughout. Variances were granted by the Board in 1962 and 1988 for side and rear yard variances of 0.6 feet and 18.6 feet, respectively.

Proposal

The proposal includes the removal of an existing carport and deck, and the construction of a two-story addition on the front of the home. The first floor includes a new attached, two-car garage, kitchen, entry, and two bedrooms, while the second floor includes a converted office, bedroom and recreational room. The proposed elevations show a 21'-2" addition that matches the modern design of the house with horizontal siding to match the existing brick and stucco. It is located in the same location as the existing attached carport, nine feet behind the building setback line. The northern edge of the addition would be 14'-10" from the property line, a 5'-2" inset from the existing home- which works to help the side yard longwall requirement. However, the side yard longwall requirement applies from the front of the home, and not the reverse, thus requiring a variance. Existing fencing and landscaping would be maintained.

Zoning Code Requirements

- To allow a two-story addition that encroaches up to 5'-2" into the 14'-10" minimum side yard longwall setback.

Alternatives



Due to the existing configuration of the home and a result of past variances granted by the Board, any new addition would likely require a combination of side yard, side yard longwall, and/or rear yard variance requests. To avoid a side yard longwall variance request, the addition would have to be moved nearly ten feet to the south, which significantly alters the interior floor plan and creates a very odd addition.

Requested Action and Findings

Staff has reviewed the application and plans, visited the site, and is supportive of the request. The proposed design blends well with the existing modern home while limiting impacts on the streetscape and adjacent property (Finding #4). The variance requested is largely a result of past variances granted by the Board and follows the spirit and intent behind the longwall ordinance by stepping in the addition (Finding #2). For these reasons, Staff recommends that this application be approved.

Attachments

1.	BZAP Staff Report Pics - 2698 Mt Holyoke Rd
2.	2698 Mt. Holyoke Variance App

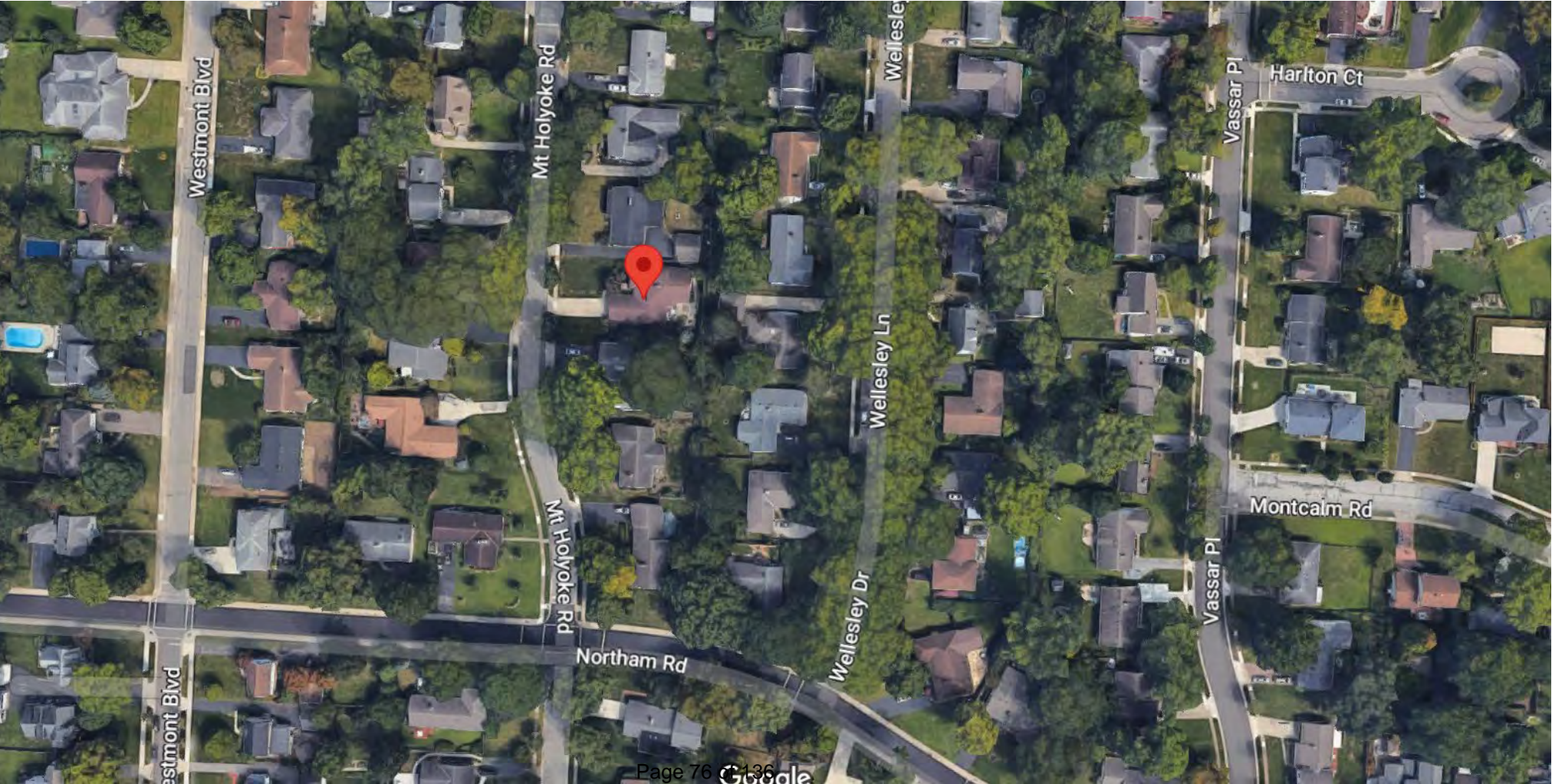


2698 Mt. Holyoke Road

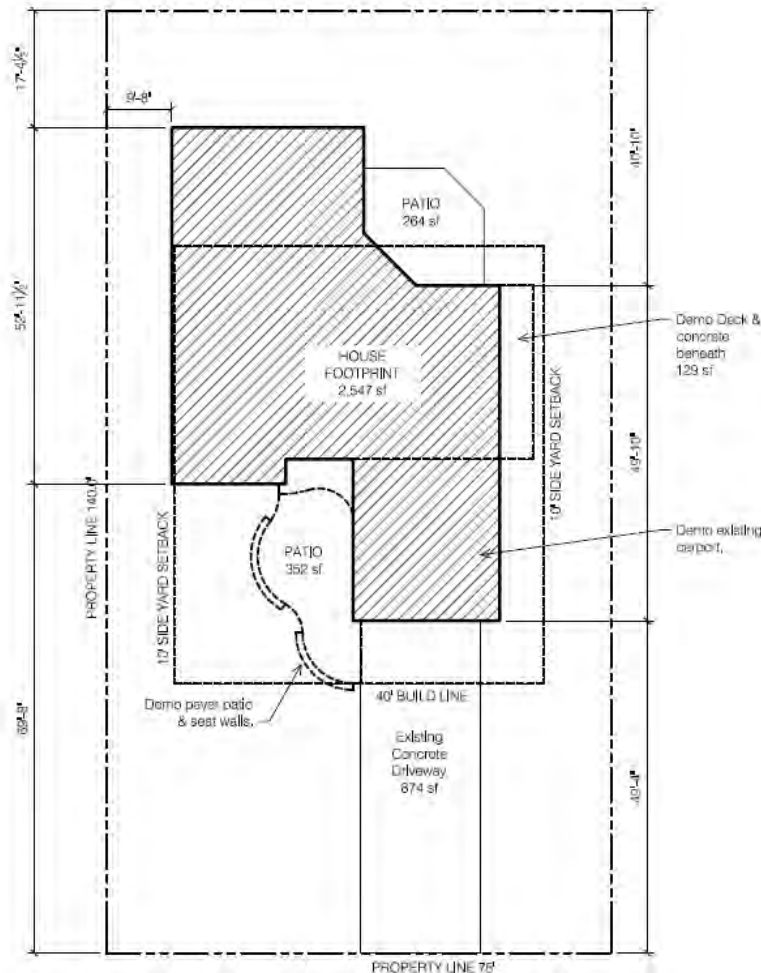
BZAP Staff Report Pictures



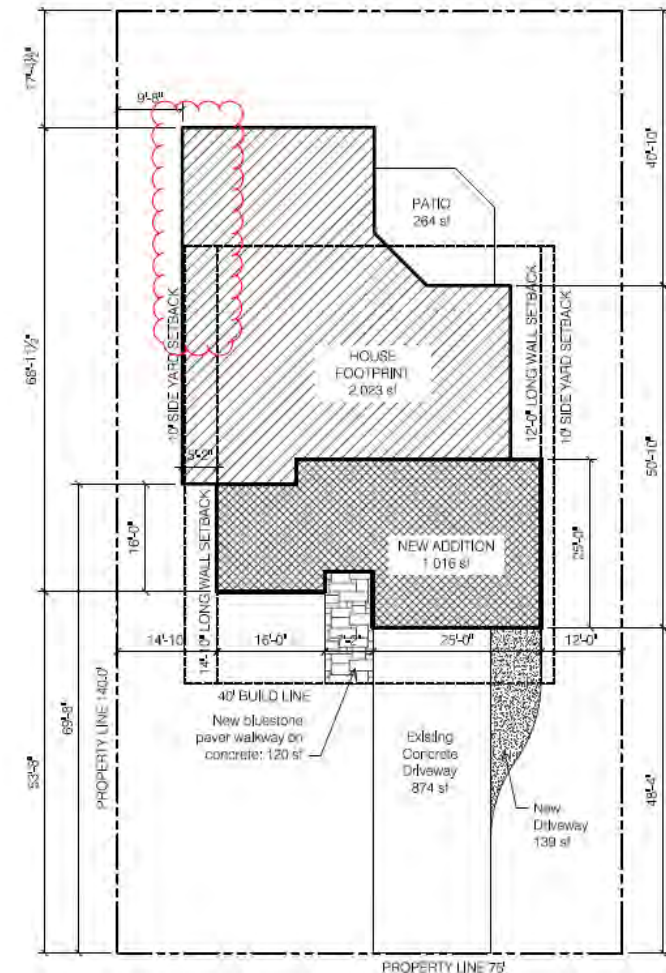
Google Maps ® Aerial – Looking North



Existing and Proposed Site Plan



MOUNT HOLYOKE ROAD



MOUNT HOLYOKE ROAD



Proposed and Existing Front Elevations



Proposed and Existing Side Elevations





23-1124

Variance Application

Status: Active

Date Created: Mar 21, 2023

Applicant

Brenda Parker
brenda.parker@cbusarch.com
930 Northwest Blvd
Columbus, Ohio 43212
614-586-5514

Primary Location

2698 MT HOLYOKE RD
UPPER ARLINGTON, OH 43221

Owner:

OSINSKI JOHN JEFFREY JR
2698 MOUNT HOLYOKE COLUMBUS, OH 43221

BZAP Information

BZAP Case

VAR-18-23

Status

Pending

BZAP Determination Date

04/19/2023

Vote Tally

--

Primary Variance

Side yard setback

Findings of Fact for Approval/Denial

--

Variance Request

To allow an addition that encroaches up to 5'-2" into the 14'-10" minimum side yard longwall setback.

BZAP conditions

--

Variance Information

Describe Variance Request

Request variance to reduce the Long Wall Side Yard Setback from 14'-10" to 9'-8".

What practical difficulty, special conditions and/or circumstances exist that are peculiar to the land or structure involved and which are not generally applicable to other lands or structures in the same zoning districts?

The front wall of the existing house is setback from the front property line 69'-8". The north side wall of the existing house is setback 9'-8" from the north property line. An addition was constructed at the rear of the property aligning with the north wall of the existing house. Since the house is set so far back from the front property line, the only allowable area on the site for a new garage and bedroom addition is at the front of the house. The proposed addition is setback from the north property line 14'-10" to accommodate the long wall side yard setback requirement.

However, the configuration of the long side yard setback is reversed; the front of the house is stepped in farther than the rear of the house (as opposed to the rear of the house stepping in from the front of the house).

Will granting the variance confer a special privilege that is denied by this regulation to other lands, structures, or buildings in the same district?

The variance will not confer a special privilege that is denied to other properties in the same district. The location of the house being pushed back so far from the front property line is unique.

The location of the front addition meets the intent of the long wall side yard setback in that the side wall is not all coplanar.

Will the essential character of the neighborhood area be substantially altered or will adjoining properties suffer substantial detriment as a result of the variance?

The essential character of the neighborhood area will not be substantially altered due to the variance request. The north wall between the addition and existing house is staggered and is in line with the midcentury modern aesthetic of the house.

Have all reasonable alternatives been investigated or exhausted to find that this variance request is the minimum necessary to make reasonable use of land and structures?

Due to the location of the existing house, the addition at the front is the only allowable location to add the desired spaces. Since the existing house is at the rear of the property, the house can't be shifted over to meet the long wall setback. In which case, the front addition has been shifted to comply with the long wall setback instead.

Can this property yield a reasonable return or can there be any beneficial use of the property without the variance?

There is not an alternative that achieves the area required for expansion while maintaining the appropriate spatial relationships.

GENERAL INFORMATION

Address: 2698 Mt Holyoke Road
Upper Arlington, Ohio 43221
Parcel: 070-008432-00

Scope of Project: The project consists of the following:

- Demolition of existing carport at front of house.
- Two-story addition at the front of the house on the north side for a new bedroom at the lower level and a new bedroom at the upper level.
- Single-story addition at the front of the house for a new foyer, mudroom, & pantry.
- Two-story addition at the front of the house on the south side for a new 2-car garage with rec room above including a full bathroom.
- Kitchen renovation at main level.
- Shared bath renovation at lower level.

Lower Level Bedroom Addition SF: 258 sf
Upper Level Bedroom Addition SF: 258 sf
Main Level Foyer/Mudroom Addition SF: 205 sf
Second Floor Rec Room SF: 599 sf
Total Addition SF: 1,320 sf

Garage SF: 540 sf
Balcony SF: 36 sf

Owner:
Osinski Residence
2698 Mt Holyoke Road
Upper Arlington, Ohio 43221

Architect:
Brenda Parker
The Columbus Architectural Studio
405 N Front Street
Columbus, Ohio 43215
t: 614.586.5514
brenda.parker@cbusarch.com

ZONING: R-1C

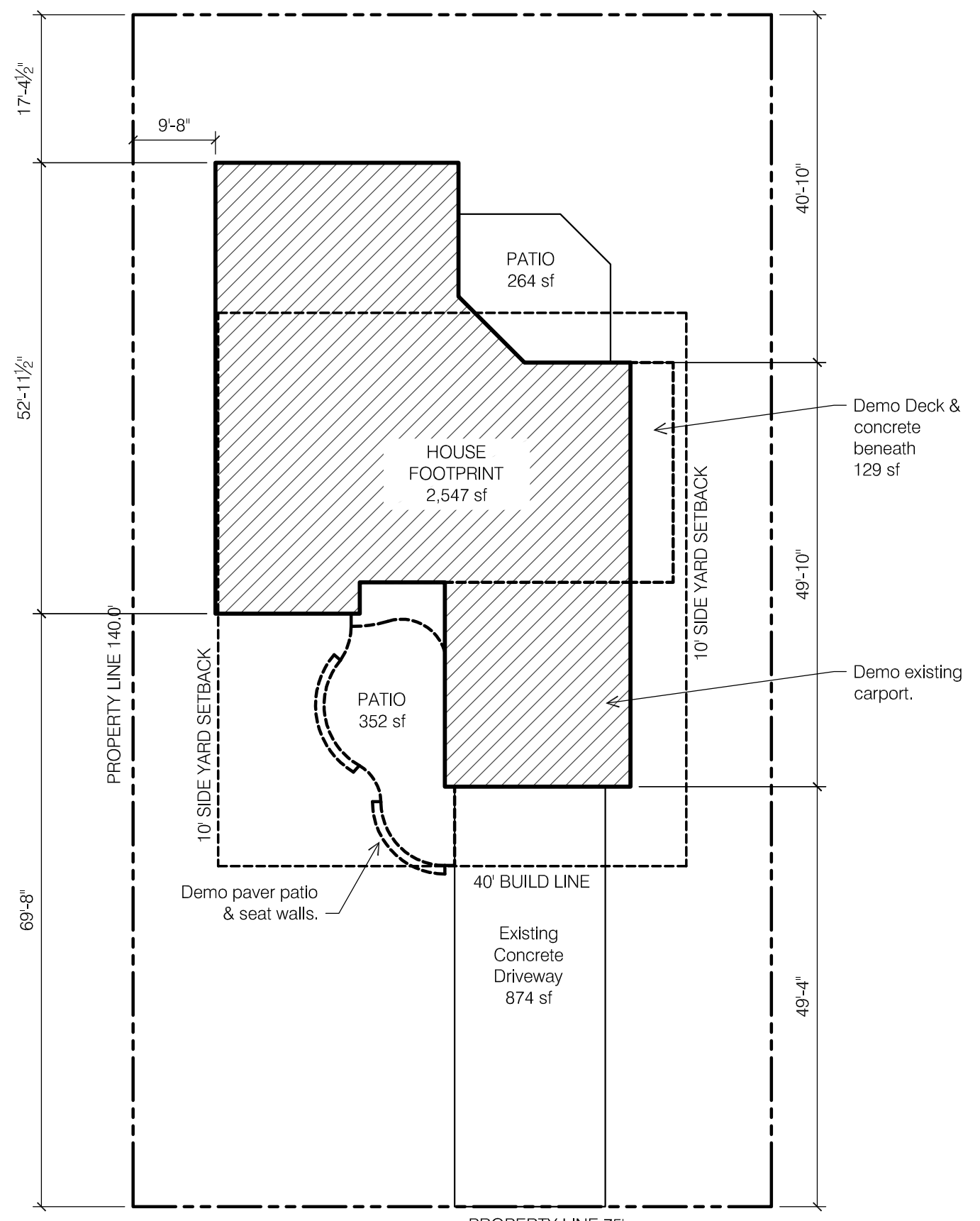
Number of Floors	Actual	Zoning Req't
Existing:	2	1 to 2.5 flr (3S)
Lot Area & Lot Width	Actual	Zoning Req't
Lot Area:	10,500 sf	n/a
Lot Width:	75.00'	n/a
Addition Setbacks	Actual	Zoning Req't
Side Yard North:	14'-10"	10'-0"
North Long Wall Setback:	69'-40x2' = 4'-10"	14'-10"
Side Yard South:	12'-0"	10'-0"
Front Yard:	48'-4"	40'-0"
Building Cover Limit	Actual	Zoning Req't
Bldg Cover:	3,039 sf (29%)	3,045 sf (29%) Meets zoning
Development Cover Limit	Actual	Zoning Req't
Dvpm Cover:	4,392 sf (45%)	4,725 sf (45%) Meets zoning

SHEET INDEX

A1.0	Site Plan & General Info	A6.1	Finish Plans
A2.0	Foundation Plans	A6.2	Ceiling Plans
A2.1	Lower & Main Level Plans	A7.1	Interior Elevations
A2.2	Upper Level Plans	E.1	Electric Plans
A2.3	Roof Plans	H.1	HVAC Plans
A3.1	Exterior Elevations	P.1	Plumbing Plans
A4.1	Overall Sections		
A5.1	Sections & Details		

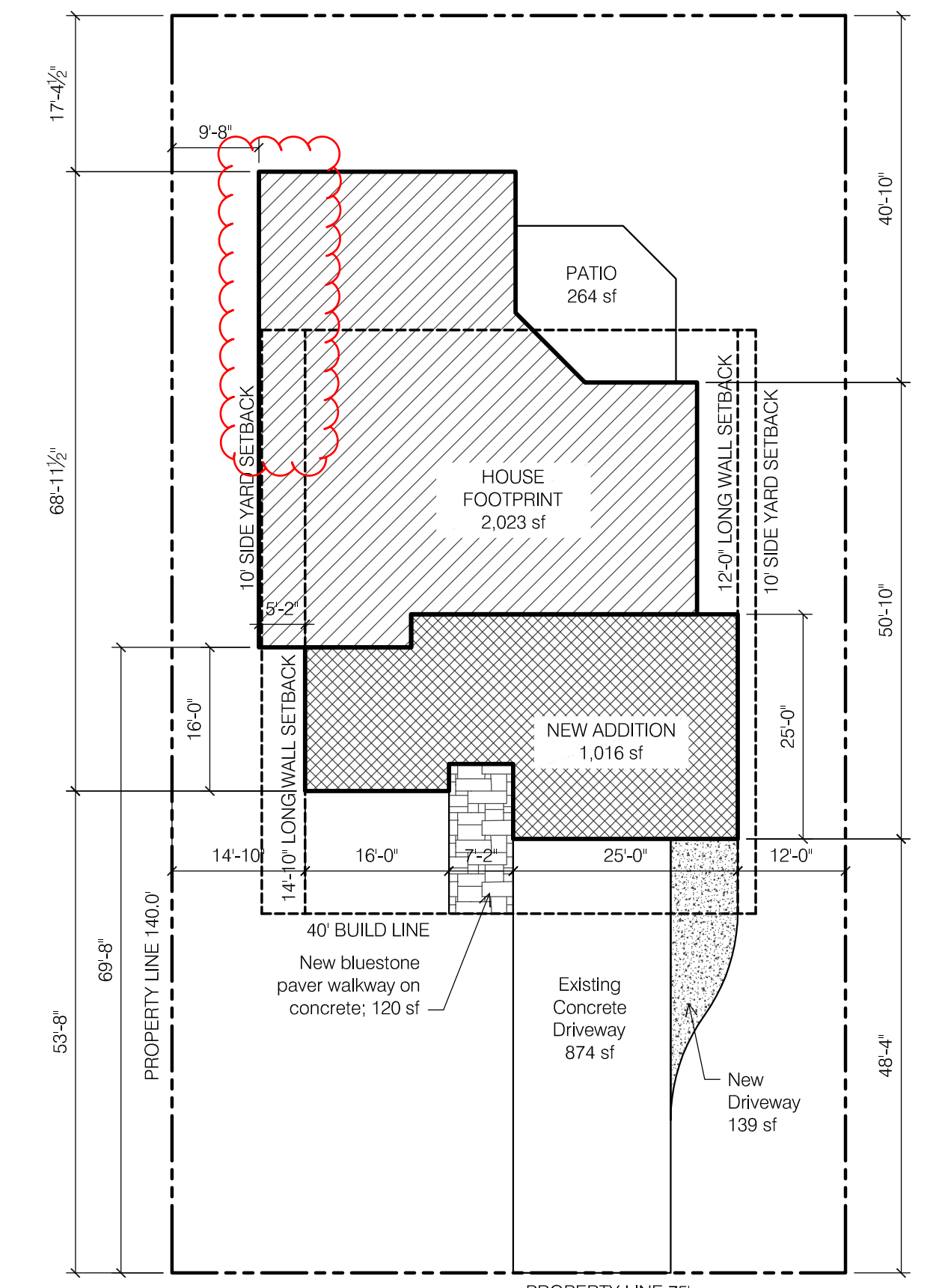
DESIGN CRITERIA

Design Criteria:
Wind Speed = 115 mph
Seismic Category = A
Weathering = Severe
Frost Line Depth = 36"
Termite = Moderate to Heavy
Ice Barrier Underlayment = Yes, Required.
Floor Live Load = 40 psf
Snow Load Roof = 20 psf
Foundation Concrete Compressive Strength = 2,500
Slab Concrete Compressive Strength = 3,000; air-entrained 5%-7%



MOUNT HOLYOKE ROAD

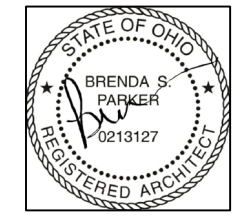
1 SITE PLAN - DEMO
SCALE: 1/16" = 1'-0"



MOUNT HOLYOKE ROAD

2 SITE PLAN - NEW WORK
SCALE: 1/16" = 1'-0"

signature



date

description

key plan

issue date: January 18, 2023

phase:

issued for: Permit Set

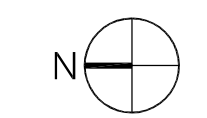
project number: 2698 MHR

sheet title:

SITE PLAN & GENERAL INFORMATION

sheet number:

A1.0



Owner:
Oshski Residence
2698 Mt Holyoke Road
Upper Arlington, Ohio 43221

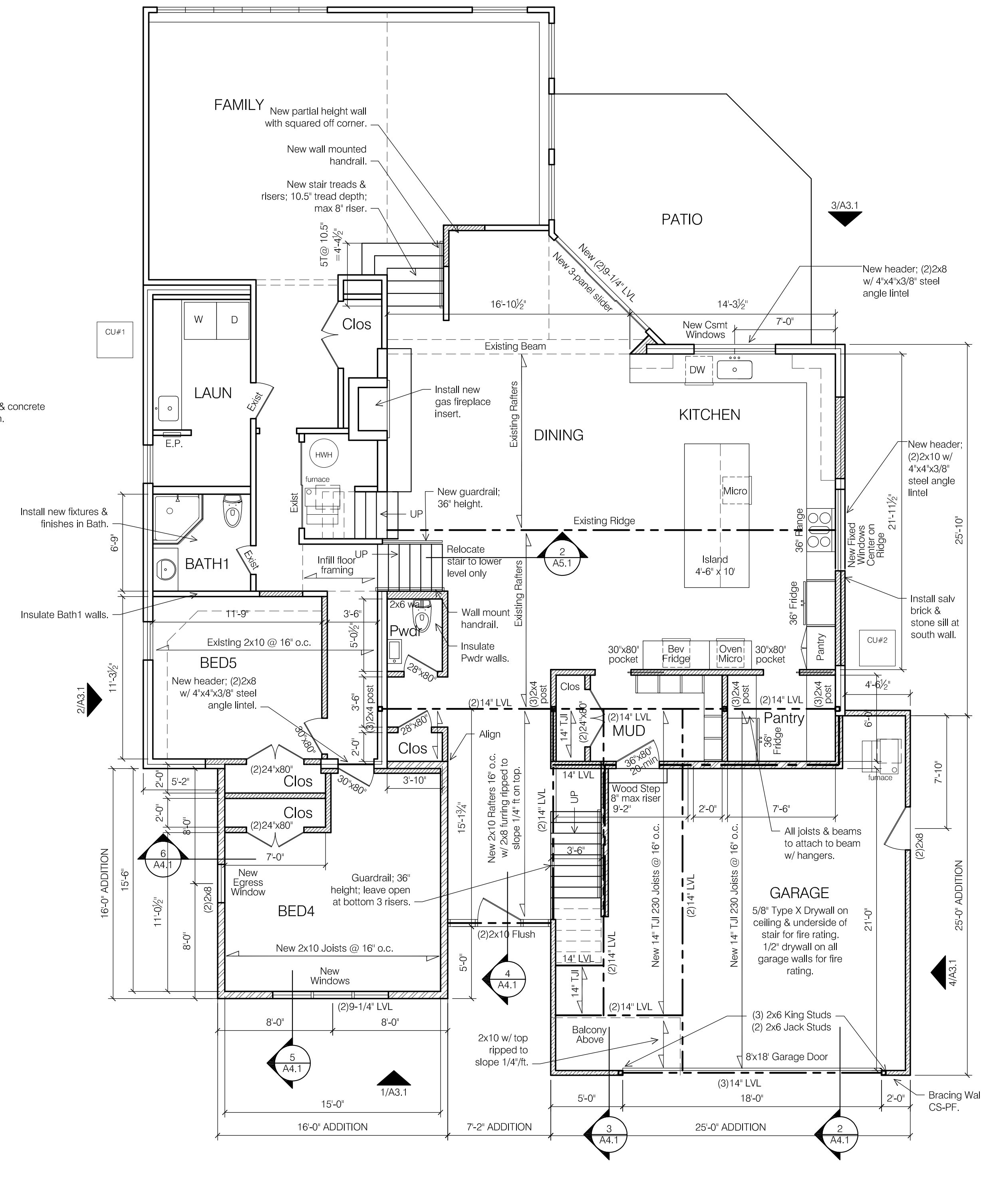
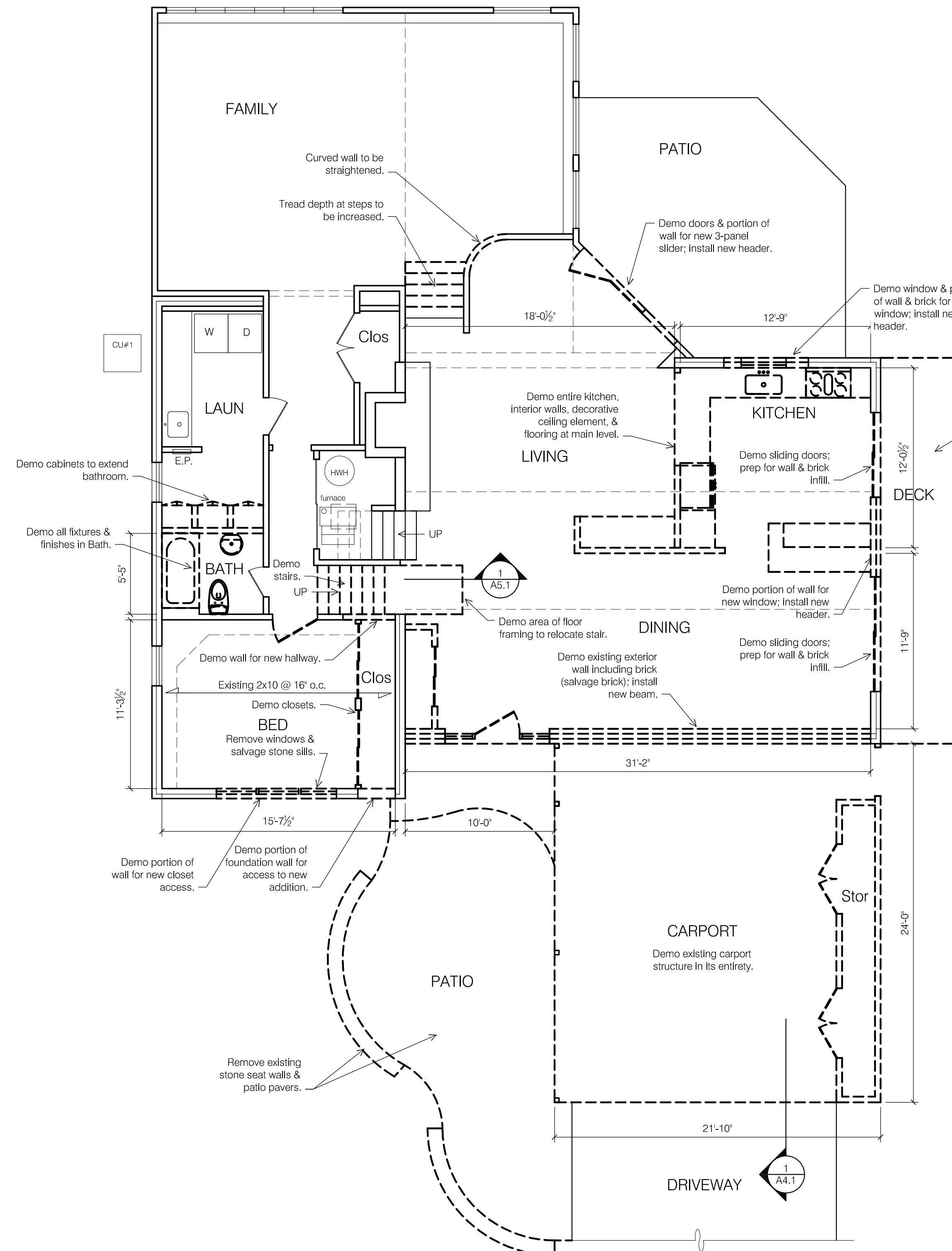
Architect:
Brenda Parker
The Columbus Architectural Studio
405 N Front Street
Columbus, Ohio 43215
t: 614.586.5514
brenda.parker@cbsarch.com

WALL LEGEND:

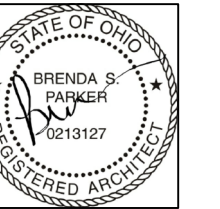
- Demo existing wall or component as noted.
- Existing masonry wall.
- New 8" CMU foundation wall.
- Existing 2x4 wood stud wall @ 16" o.c.
At exterior walls, fill exposed cavities w/ R13 kraft-faced fiberglass batt insulation. 1/2" gypsum wallboard at renovation side. (1/2" cement board at shower walls).
- New Exterior walls: 2x6 wood stud @ 16" o.c.; fill cavity with R19 kraft-faced fiberglass batt insulation; 1/2" gypsum wallboard at interior.
- New Garage walls: 2x4 wood studs (treated sill plate) @ 16" o.c. 1/2" drywall at interior.

GENERAL NOTES:

1. All dimensions are to finished face of drywall.
2. See Sheet A5.1 for Fireblocking requirements.
3. All structural framing members are to be fastened per RCO Table 602.3.
4. Where floor joists are spliced over beams & bearing walls, install solid blocking per RCO 502.7.
5. All stairs to comply with RCO 311.7.4. Maximum riser height is 8-1/4", minimum tread depth is 9", all risers to be uniform in height.
6. All handrails to comply with RCO 311.7.7. Height is to be 34"-36" above stair nosing. Handrails shall be continuous from top riser to lowest riser. Handrails shall return to the wall or newel post. Handrails shall be Type 1 (1-1/4"-1-1/2" circular) or Type 2 (Graspable finger recess).
7. Guardrails are required along walking surfaces 30" above the floor or grade. Guards shall be 36" height. Guards shall be configured to not allow passage of a sphere 4" in diameter. Triangular areas at bottom of rails can be 6" sphere.



signature



date

description

key plan

issue date: January 18, 2023

phase:

issued for: Permit Set

project number: 2698 MHR

sheet no:

LOWER & MAIN LEVEL PLANS

sheet number

A2.1



Owner:
Oshski Residence
2698 Mt Holyoke Road
Upper Arlington, Ohio 43221

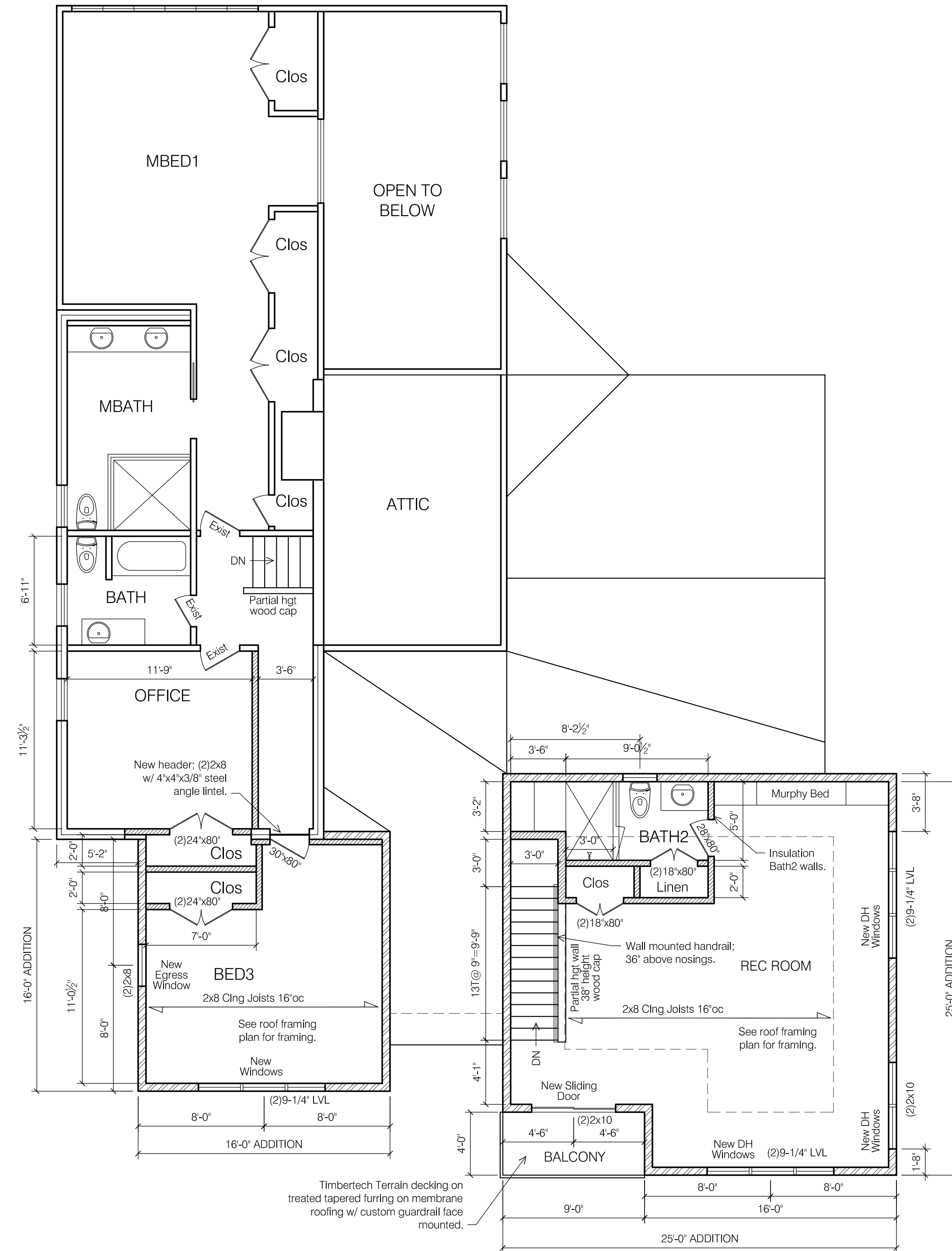
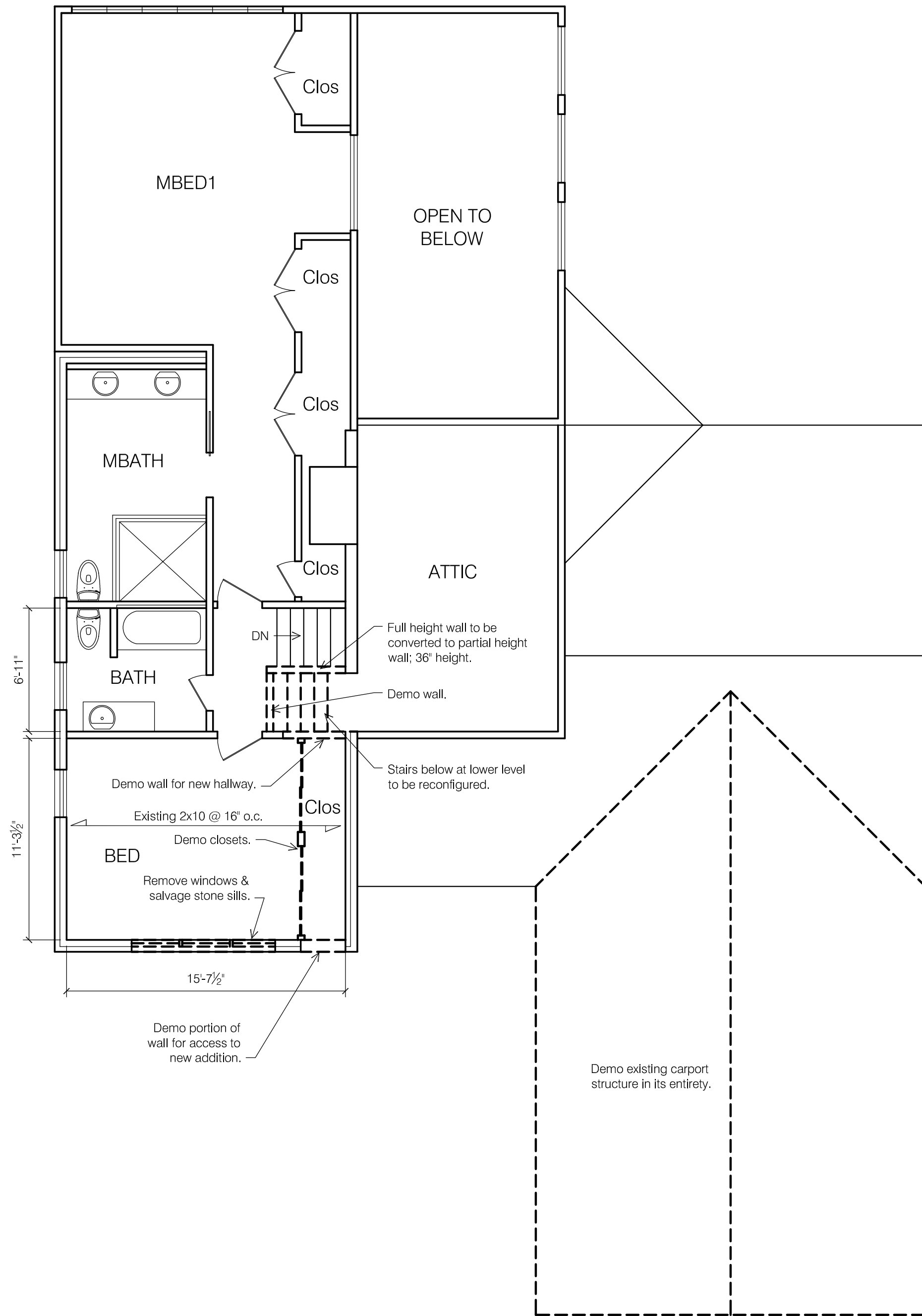
Architect:
Brenda Parker
The Columbus Architectural Studio
405 N Front Street
Columbus, Ohio 43215
t: 614.586.5514
brenda.parker@cbusarch.com

WALL LEGEND:

- Demo existing wall or component as noted.
- Existing masonry wall.
- New 8" CMU foundation wall.
- Existing 2x4 wood stud wall @ 16" o.c.
At exterior walls, fill exposed cavities w/ R13 kraft-faced fiberglass batt insulation. 1/2" gypsum wallboard at renovation side. (1/2" cement board at shower walls).
- New Exterior walls: 2x6 wood stud @ 16" o.c.; fill cavity with R19 kraft-faced fiberglass batt insulation; 1/2" gypsum wallboard at interior.
- New Garage walls: 2x4 wood studs (treated sill plate) @ 16" o.c. 1/2" drywall at interior.

GENERAL NOTES:

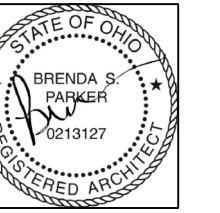
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5. All stairs to comply with RCO 311.7.4. Maximum riser height is 8-1/4", minimum tread depth is 9". All risers to be uniform in height.
6. All handrails to comply with RCO 311.7.7. Height is to be 34"-36" above stair nosing. Handrails shall be continuous from top riser to lowest riser. Handrails shall return to the wall or newel post. Handrails shall be Type 1 (1-1/4"-1-1/2" circular) or Type 2 (Graspable finger recess).
7. Guardrails are required along walking surfaces 30" above the floor or grade. Guards shall be 36" height. Guards shall be configured to not allow passage of a sphere 4" in diameter. Triangular areas at bottom of rails can be 6" sphere.



1 UPPER LEVEL PLAN - DEMO
SCALE: 3/16" = 1'-0"

2 UPPER LEVEL PLAN - NEW WORK
SCALE: 3/16" = 1'-0"

signature



date

description

key plan

issue date: January 18, 2023

phase:

issued for: Permit Set

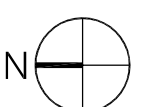
project number: 2698 MHR

sheet no:

UPPER LEVEL PLANS

sheet number

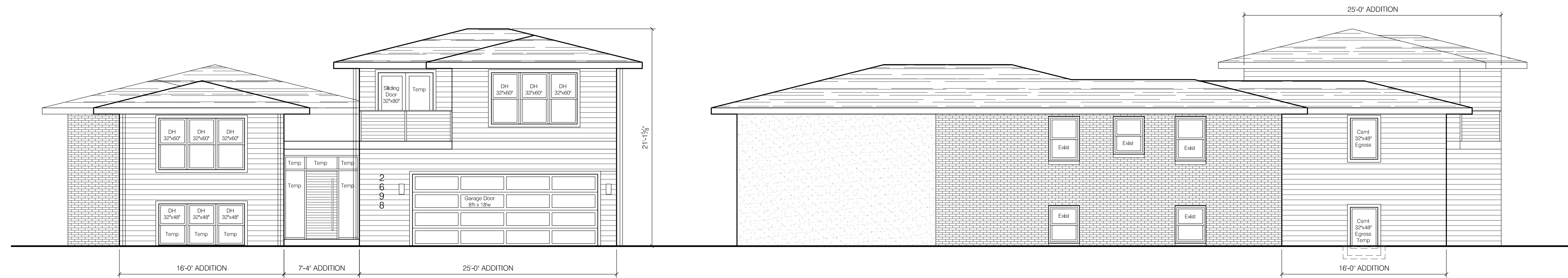
A2.2



Owner:
Oshinski Residence
2698 Mt Holyoke Road
Upper Arlington, Ohio 43221

Architect:
Brenda Parker
The Columbus Architectural Studio
405 N Front Street
Columbus, Ohio 43215
t: 614.586.5514
brenda.parker@cbusarch.com

EXTERIOR MATERIALS			
Body:	New siding to be Boral Nickel Gap Siding, installed horizontal, smooth, 6" exposure. Miter all corners. Paint in field with (1) coat primer + (2) coats high-quality acrylic.	Roof 3/12:	New asphalt shingle roofing to match existing on double underlayment for low slope 3/12 roof.
Trim (Windsor):	Corners to be mitered Boral siding. Casings: 5/4 x 4" full perimeter, smooth. Brick Mould: 3/4"x2" (flipped to fit). Fascia: 1x8 (match existing), aluminum-wrapped.	Roof Flat:	New EPDM membrane roofing on flat roof areas sloped 1/4"/ft.
Brick:	All existing brick to remain and is to be painted with (2) coats elastomeric masonry paint to match house.	Gutter:	New 5" aluminum ogee gutters to match existing with 3" downspouts.
Stucco:	All existing stucco to be painted to match siding.	Garage Door:	Install new modern style garage door to be selected by Owner. 8' height x 18' width.
Soffit:	New soffit to be aluminum vented to match existing.	Front Door:	Install new front door assembly; Modern style front door (3'-0" x 6'-8" height) with sidelight on each side and transom above (all windows in assembly to be tempered, labeled glass). Door to be standard style or pivot style. Tall door pull.
Windows:	New windows to be aluminum clad wood; stained wood interior (match existing).	Sliding Doors:	Aluminum-clad or fiberglass sliding doors; stained wood interior (All glass in doors to be tempered, labeled glass).



1 FRONT ELEVATION (WEST)
SCALE: 3/16" = 1'-0"

2 SIDE ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"



3 REAR ELEVATION (EAST)
SCALE: 3/16" = 1'-0"

4 SIDE ELEVATION (SOUTH)
SCALE: 3/16" = 1'-0"

signature



date

description

key plan

issue date: January 18, 2023

phase:

issued for: Permit Set

project number: 2698 MHR

sheet title:

EXTERIOR ELEVATIONS

sheet number:

A3.1



Body: RGB 111, 105, 96
Trim: RGB 111, 105, 96
Windows: SW Iron Ore
Front Door: Wood



NOTICE:

Date: March 13, 2023

To:

Please be advised that John & Ashley Osinski have applied to the City of Upper Arlington Board of Zoning & Planning requesting a zoning variance for the property at 2698 Mt Holyoke Road, Upper Arlington, Ohio 43221.

The zoning variance is to reduce the long wall side yard setback from 14'-10" to 9'-8".

The Upper Arlington Board of Zoning will hear this application at 6pm on Wednesday, April 19, 2023 at the Upper Arlington Municipal Services Center, 3600 Tremont Road, Upper Arlington, Ohio 43221. Meeting location details and additional instructions will be provided on the Agenda, which is posted on the City's website at docs.uaoh.net/AgendaOnline. For further information, please contact the Planning Division at planning@uaoh.net.

Sincerely,

A handwritten signature in black ink, appearing to read "B. Parker".

Brenda Parker (Architect)
On behalf of John & Ashley Osinski

Certification of Notice

Applicant Name: Brenda Parker

Location of property subject to BZAP request: 2698 Mt Holyoke Road

Describe activity which requires Board of Zoning and Planning review:

Request variance to reduce long wall side yard setback from 14'-10" to 9'-8".

This application will be heard by the Board of Zoning and Planning on: April 19, 2023

Board of Zoning and Planning (BZAP) meetings begin at 6 PM on Wednesdays and are held at the Upper Arlington Municipal Services Center, 3600 Tremont Road, Upper Arlington, Ohio, 43221. Due to the ongoing COVID-19 pandemic, meetings MAY be held remotely via video conference and telephone call-in. Meeting location details and additional instructions will be provided on the Agenda, which is posted on the City’s website at docs.uaoh.net/AgendaOnline. For further information, please contact the Planning Division at planning@uaoh.net.

*Your signature below **DOES NOT** constitute approval or disapproval of the request. Your signature only represents that you have been properly notified of the request. You are encouraged to attend any and all meetings regarding this matter.*

Address of Property to be notified:	Property Owner Name:	Property Owner Signature or Certified Mail No.:	Date obtained or Mail sent:
2677 Wellesley Dr	Greg & MaryLou Warndorf	70211970000071564820	3-22-23
2687 Wellesley Dr	Jack & Julia Wiseman	70211970000071564783	3-22-23
2697 Wellesley Dr	Michael & Jana-Marie Herzog	70211970000071564745	3-22-23
2709 Wellesley Dr	Sara & Zachary Risch	70211970000071564813	3-22-23
2718 Mt Holyoke Rd	Linda Kinsey	70211970000071564776	3-22-23
2708 Mt Holyoke Rd	Ashley Albertston & Job Lippincott	70211970000071564738	3-22-23
2688 Mt Holyoke Rd	Matthew & Shelby Gatzulis	70211970000071564806	3-22-23
2678 Mt Holyoke Rd	Linda Hennessy	70211970000071564769	3-22-23
2683 Mt Holyoke Rd	Kevin Craine	70211970000071564721	3-22-23
2693 Mt Holyoke Rd	Thomas & Julia White	70211970000071564790	3-22-23
2703 Mt Holyoke Rd	Kerger & Leda Truesdell	70211970000071564752	3-22-23
2711 Mt Holyoke Rd	Joshua Graber & Kelley Johnson	70211970000071564714	3-22-23
Applicant Signature:	Brenda Parker	<small>Digitally signed by Brenda Parker DN: C=US, E=brenda.parker@cbusarch.com, CN=Brenda Parker Date: 2023.03.21 22:05:05-04'00'</small>	Date: 3/13/23



WEST CITY
 850 TWIN RIVERS DR
 COLUMBUS, OH 43216-9532
 (800)275-8777

03/29/2023

12:19 PM

Product	Qty	Unit Price	Price
First-Class Mail® Letter	1		\$0.63
Columbus, OH 43221			
Weight: 0 lb 0.30 oz			
Estimated Delivery Date			
Fri 03/31/2023			
Certified Mail®			\$4.15
Tracking #:			
70223330000047902350			
Total			\$4.78

Grand Total: \$4.78

Credit Card Remit \$4.78

Card Name: VISA
 Account #: XXXXXXXXXXXXX7906
 Approval #: 029115
 Transaction #: 348
 AID: A0000000031010 Contactless
 AL: VISA CREDIT

Text your tracking number to 28777 (2USPS) to get the latest status. Standard Message and Data rates may apply. You may also visit www.usps.com USPS Tracking or call 1-800-222-1811.

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CERTIFIED MAIL® RECEIPT
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For delivery information, visit our website at www.usps.com®.

Columbus, OH 43221

Certified Mail Fee	\$4.15
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage \$0.63

Total Postage and Fees \$4.78



Sent To Michael & Jana-Marie Herzog
 Street and Apt. No., or PO Box No. 1400 Cardrift Road
 City, State, ZIP+4® Upper Arlington, Ohio 43221

7022 3330 0000 4790 2350



To: Upper Arlington Board of Zoning & Planning (BZAP)

From: Chad D. Gibson, AICP, Community Development Director
Justin Milam, AICP, Senior Planner

BZAP Meeting Date: Wednesday, April 19, 2023

Subject: BZAP review of a proposal to convert an existing Avis car rental facility to a dental clinic (Hart Dental, 1917 Northwest Boulevard).

Action Requested: Approval of an Amended Major Site Plan application and variances (*Application DEV-01-23*)

Key Master Plan Objective: *Economy D3 – Enhance redevelopment and revitalization that is appropriate to Upper Arlington.*

Update

At the March 22, 2023 BZAP meeting, this application was postponed without discussion. There were a number of issues which needed additional time to more fully evaluate, and Staff appreciates the applicant's cooperation in this regard. The applicant attended the April 5, 2023 Work Session and presented a revised landscape plan and building elevations. Board feedback was largely positive, and it was noted that the application would likely be placed on the April 19, 2023 consent agenda.

The proposal for this 0.33-acre site remains largely the same as originally submitted – renovation of an existing one-story 3,600 SF commercial building (currently an Avis car rental) to a dental office with 23 on-site parking spaces. Revised building elevations and an updated landscape plan have been submitted which both indicate positive changes. The proposed exterior ratio of synthetic stone veneer is now close to 47 percent, a significant upgrade over existing conditions where there is currently none. The landscape plan is much improved and provides adequate plantings on a challenging site. Additional changes will likely be needed based on the ultimate layout of the Stanford Road sidewalk and potential relocation of the AEP pole/guy wires along Stanford Road. The proposed plan reduces existing development cover from 91 percent to 88 percent; while a variance to the 80 percent maximum is noted later in this report, the addition of greenspace is appreciated.



Figure 1: Revised color building rendering

On April 11, 2023 City Staff from multiple departments met on-site with the property owners to discuss sidewalk placement, landscaping and related issues. A summary of this meeting has been provided below:

- The existing five-foot wide sidewalk along Northwest Boulevard will remain ‘as-is’ with the exception of a minor modification resulting from the narrowing of the existing driveway; this sidewalk does not provide the standard tree lawn width, but there are large deciduous trees located in City R/W between the sidewalk and the parking lot; this sidewalk transitions/narrows to an existing four-foot wide sidewalk to the northwest.
- The property owner would like the existing mature street trees along Northwest Boulevard to be pruned for enhanced site visibility; Staff explained that only minor pruning would be considered since the tree canopy and shade are the desired outcome.
- The five-foot wide Stanford Road sidewalk will be ‘moved back’ to the R/W line so that a five-foot wide tree lawn and an adjacent two-foot wide planting bed (for an evergreen hedge) can be established; a curb will be placed between the parking lot edge and the new sidewalk.
- To accommodate the Stanford Road sidewalk, a request will be submitted by the City to move the existing AEP pole and guy wire closer to the curb (into the tree lawn); the Stanford Road R/W width is only +/- 12 feet which limits options along this road frontage.
- Since the property owner is already being assessed for the cost of the Stanford Road sidewalk, the City will cover the cost of this sidewalk ‘relocation’. The existing Stanford Road driveway is being closed and a new one is being built near the west property line, so this reduces the lineal footage of actual independent sidewalk being built.

Updated Variance List

The following is a list of variances from the UDO being requested as part of this application. Because the property was developed long ago, under a previous zoning code, several variances are needed. In the early 1970s, the Board granted variances for storage, lot size, signage and outdoor lighting. A variance was conditionally approved for a side yard setback variance in 1979 (BZ 50-79) to allow for a four-foot encroachment into the ten-foot minimum side yard and is to remain; the approval condition was *that any change in ownership or use requires review by the Board as it relates to parking.*

- 1) *To UDO Article 5.03 to allow an increase in the maximum building setback from 10 feet to 40 feet along Northwest Boulevard and from 10 feet to 34 feet along Stanford Road (existing);*
- 2) *To UDO Article 5.03 to allow a reduction in the minimum floor area ratio from 0.50 to 0.23 (existing);*
- 3) *To UDO Article 5.03 to allow a reduction in the minimum number of stories from two to one (existing);*
- 4) *To UDO Article 5.03 to allow an increase in the maximum development cover from 80 percent to 88 (three percent reduction from current conditions, not previously granted by BZAP).*
- 5) *To UDO Article 7.06 to allow a reduction in the minimum percentage of brick and/or stone as exterior building materials from 50 percent to 47 percent (zero existing).*

UDO Standards of Approval

The Board must consider the UDO standards of approval in its review of this application. Staff has offered a response to each of these standards below:

- a) **That it fully complies with all applicable requirements of this Ordinance;** *The application largely complies with the requirements of the UDO. The variances requests are a result of existing site conditions, when the property was development under a different zoning code.*
- b) **That it adequately protects other property or residential uses located on the same property from the potential adverse effects of a non-residential use;** *A commercial use has occupied this site for more than 85 years as a gas station, garden/convenience store and rental car facility. The proposed use is significantly less intense than the current use.*
- c) **That it is consistent with the use and character of surrounding properties;** *The proposed use is less intense than the current use, as traffic generation, parking, noise and hours of operation are less than what exists today. The proposed building façade better blends with the area than the existing building.*
- d) **That it provides safe conditions for pedestrians or motorists and prevents the dangerous arrangement of pedestrian and vehicular ways; and** *The proposed site plan has been conditionally approved by the City Engineer for site access.*
- e) **That it provides safe ingress and egress for emergency services.** *Ingress and egress have been approved by the Fire Division. Shifting the Stanford Road access away from the intersection is a positive for the site.*

Summary/Recommendation

Staff has reviewed the revised application and plans, visited the site and met with the applicant. While the code calls for a multi-story, mixed-use building to be located closer to the two street frontages, it is simply not practical given the intended reuse of the existing building, size of the parcel, and other site constraints. The proposal provides much needed improvements to an older building and includes a use that is significantly less impactful on the immediate neighborhood than a car rental facility. Also, the proposed building elevations represent a significant aesthetic upgrade for this prominent ‘parade route’ corner. For these reasons, Staff recommends approval of this application subject to the following conditions:

- 1) That a final landscaping plan be submitted for review and approval by the City Forester during Building Permit review; and
- 2) That the applicant coordinate improvements within the City right-of-way (driveways, sidewalk, plantings, etc.) with the City’s Engineering Division.

Attachments

1. Revised building elevations
2. Updated site/landscape plan
3. Aerial photo from UA GIS
4. Google Street Views (Stanford Road and Northwest Boulevard)

Hart Dental Group 1917 Northwest Boulevard

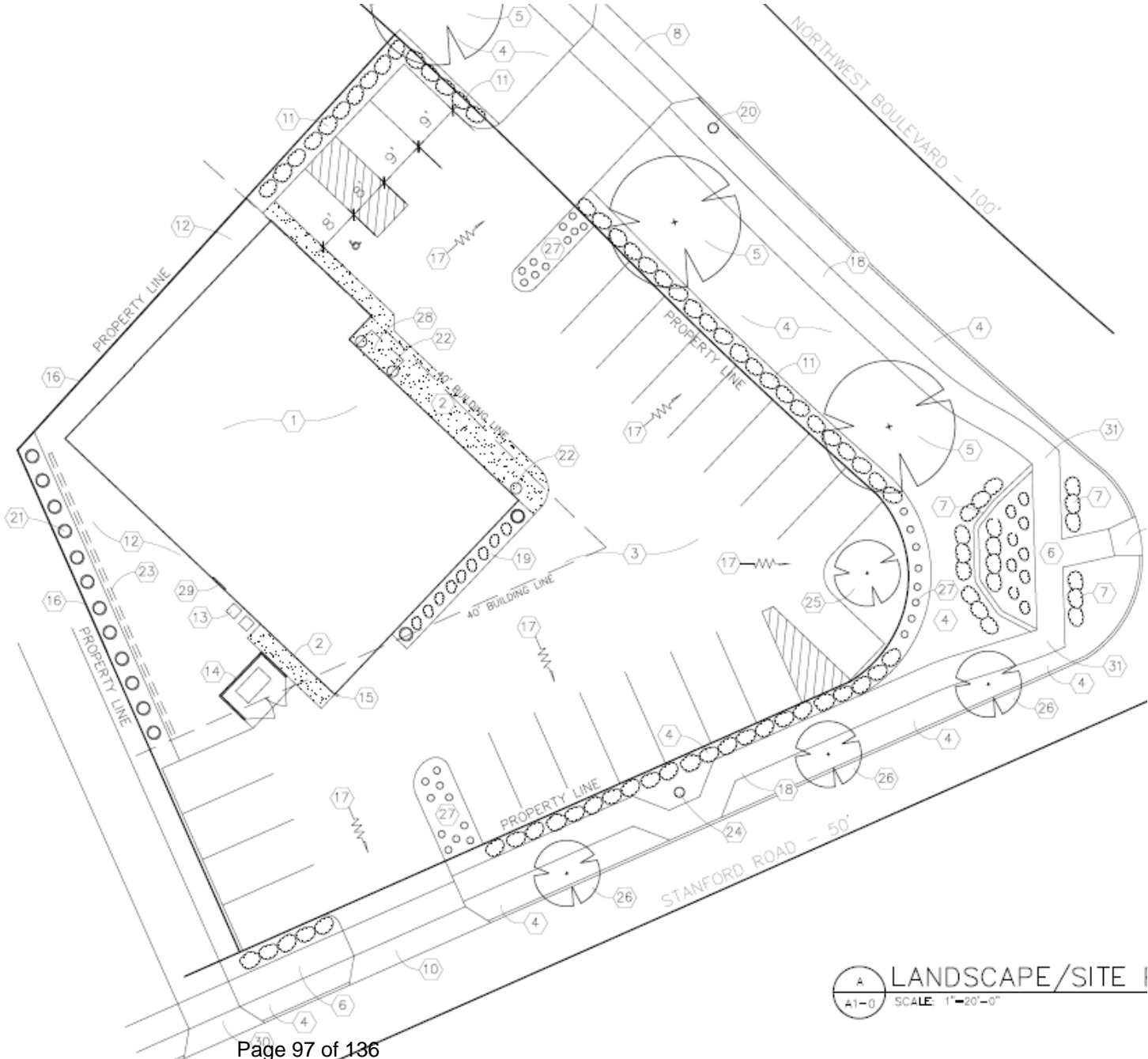
BZAP Staff Report Pictures



Google Maps ® Aerial – Looking North



Proposed Site Plan



A LANDSCAPE/SITE I
A1-0 SCALE: 1"=20'-0"

Proposed and Existing Northwest Boulevard Elevation



Existing Views along Stanford Road





Author: Chad D. Gibson, AICP, Community Development Director

BZAP Meeting Date: Wednesday, April 5, 2023

Subject: Second informal review of a proposed dental office (Hart)

Property Owner/Address: SJH93 LLC, 1917 Northwest Boulevard (zoned B-1)

Proposal

Architect Mr. Tom Pendery will be present to review an updated proposal for a dental office at 1917 Northwest Boulevard, where Avis Car Rental is currently located. The Board may recall this project being introduced at the January 4, 2023 Work Session. Since that time, Amended Major Site Plan Application DEV-01-23 has been filed and plan adjustments have been made. This application was postponed from the March 22, 2023 BZAP agenda so that several details could be finalized including landscaping, sidewalk placement and building design.

A landscape plan has been submitted and reviewed by the City Forester; it includes foundation plantings, parking lot screening and street trees; minor adjustments are needed, and Staff is scheduled to meet on-site with the applicant prior to the Work Session to collaborate.

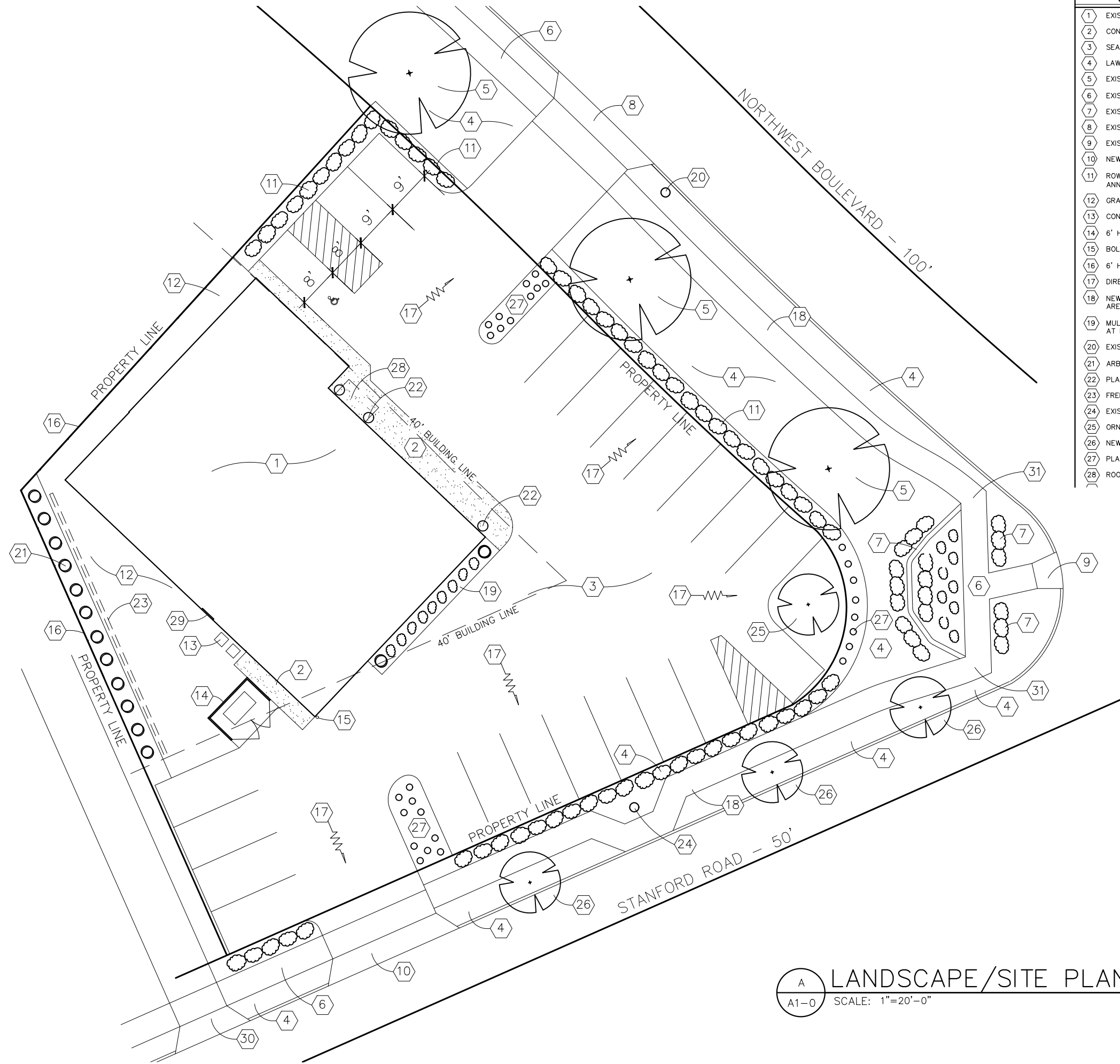
Revised building elevations have been submitted which are a major improvement for this structure and include synthetic stone and painted composite fascia board with dimensional shingles. Two externally illuminated, building-mounted signs are proposed facing each road frontage. A small dumpster enclosure is shown near the southern corner of the building. An old chain-link fence along the southwest property line is being removed and replaced with a six-foot tall privacy fence and landscaping. The Stanford Road driveway is being relocated further from the intersection, and on-site parking for 23 vehicles is now provided.

The applicant is seeking feedback on the revised proposal in advance of a review and vote at the April 19 BZAP meeting. Staff appreciates the applicant's responsiveness to feedback provided by the City team. *[Should all outstanding issues be resolved prior to the Work Session, the application could go directly to the April 19, 2023 BZAP agenda as a consent item.]*

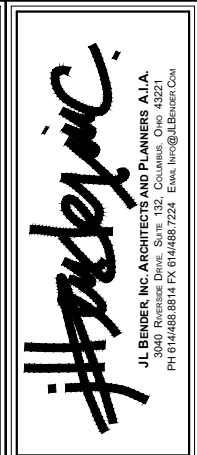
Attachments

1. Updated site and landscape plans with sidewalk layout adjustments
 2. Aerial photo from UA GIS and Google Street Views (Stanford Rd. and Northwest Blvd.)
 3. Revised building elevations
-





- CODED NOTES - LANDSCAPING**
- 1 EXISTING BUILDING.
 - 2 CONCRETE SIDEWALK.
 - 3 SEALED ASPHALT SURFACE WITH STRIPPING.
 - 4 LAWN.
 - 5 EXISTING MATURE DECIDUOUS TREES.
 - 6 EXISTING 5' WIDE CITY SIDEWALK.
 - 7 EXISTING LANDSCAPE AREA WITH STONE WALL BY CITY.
 - 8 EXISTING CURB CUT
 - 9 EXISTING CURB RAMP.
 - 10 NEW CURB CUT.
 - 11 ROW OF BOXWOOD IN 4' WIDE MULCH BED. PROVIDE ANNUAL BULB GROUPING AT 10' O.C. ON STREET SIDE.
 - 12 GRAVEL FILL THIS AREA.
 - 13 CONDENSING UNITS.
 - 14 6' HIGH WOODEN DUMPSTER ENCLOSURE.
 - 15 BOLLARD.
 - 16 6' HIGH WOODEN PRIVACY FENCE TO BUILDING SETBACK
 - 17 DIRECTION OF RUNOFF.
 - 18 NEW 5' WIDE CONCRETE SIDEWALK WITH 5' WIDE GRASS AREA TO CURB.
 - 19 MULCHED BED WITH BOXWOODS AND (1) ARBORETUM AT EACH END.
 - 20 EXISTING CITY POLE MOUNTED LIGHT.
 - 21 ARBORETUM AT 5' O.C. IN 24" WIDE MULCH BED.
 - 22 PLANTERS.
 - 23 FREE STANDING BLOCK WALL TO BE REMOVED.
 - 24 EXISTING POWER POLE.
 - 25 ORNAMENTAL DOGWOOD TREE IN MULCH BED.
 - 26 NEW SUGAR MAPLE TREE.
 - 27 PLANTING BED WITH PURRSIAN BLUE CATMINT.
 - 28 ROOF ABOVE AT ENTRY.



BUILDING AND SITE RENOVATION
STEVEN HART, DDS
 1917 NORTHWEST BOULEVARD
 COLUMBUS, OHIO 43212

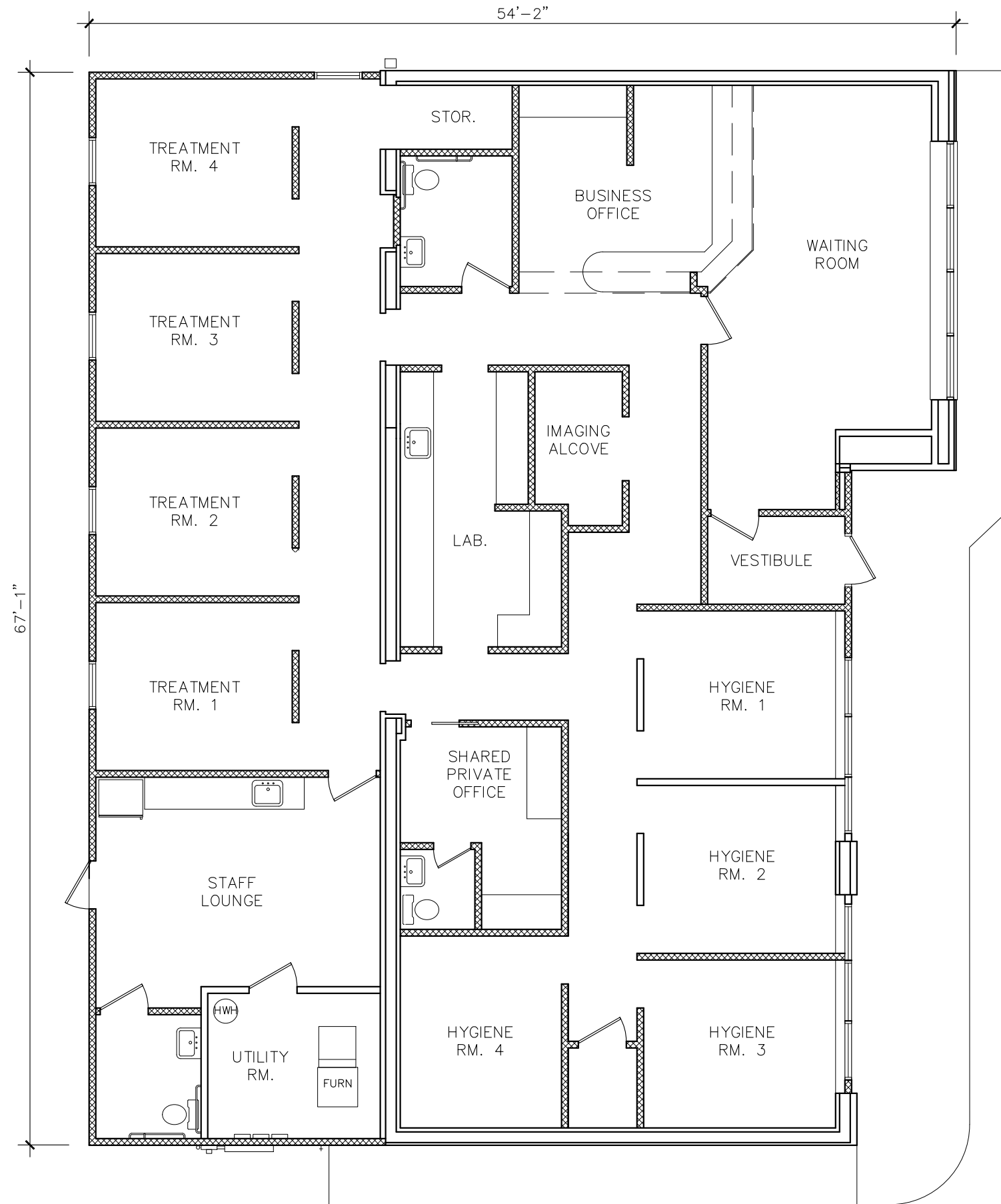
REV.	ISSUE	DATE

A
LANDSCAPE/SITE PLAN

 N

A1-0 SCALE: 1"=20'-0"

DATE
 29 MARCH 2023
 DRAWING
LANDSCAPE
/SITE PLAN
 SHEET NUMBER
A1-0
 JLB PROJECT #22012



FLOOR PLAN
 SCALE: 1/8"=1'-0"



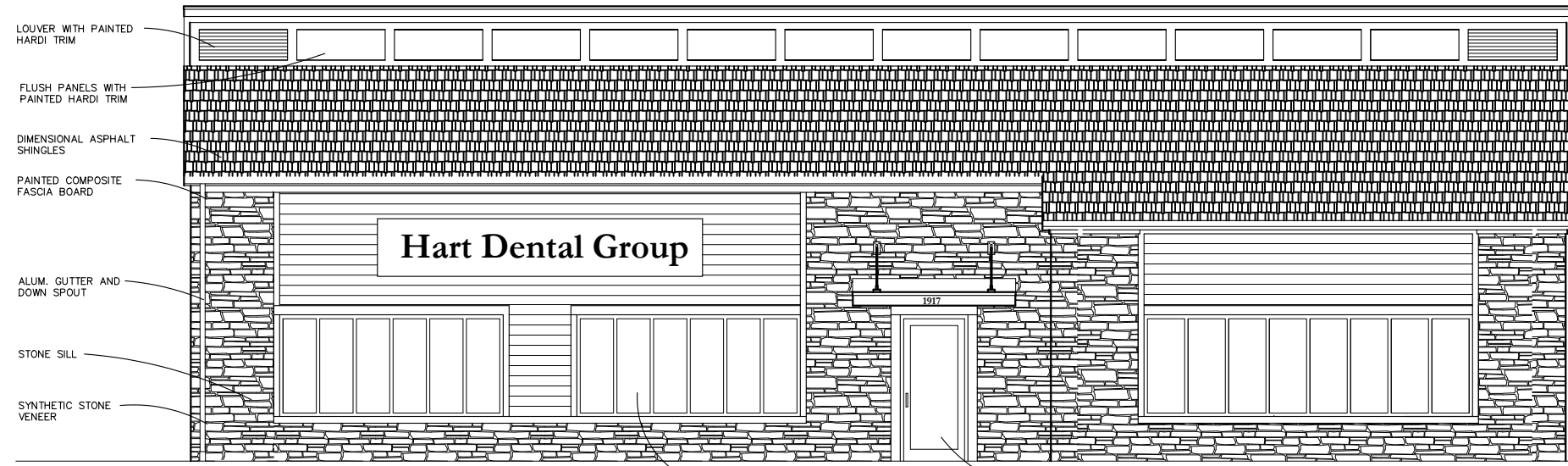
WALL LEGEND	
	EXISTING MASONRY OR FRAMED WALLS
	NEW OR ALTERED FRAMED WALLS

JL Bender Inc.
 ARCHITECTS AND PLANNERS A LA
 3040 Riverside Drive, Suite 132, Columbus, Ohio 43221
 PH 614/488-8814 FX 614/488-7224 EMail jlb@jlbender.com

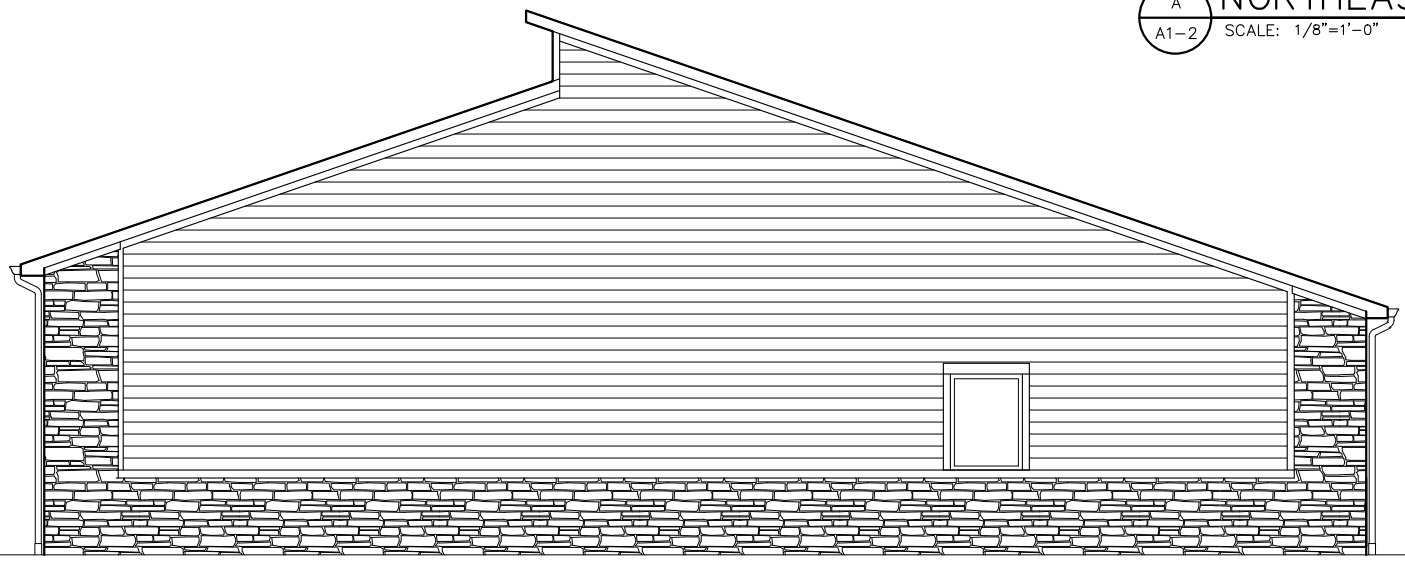
BUILDING AND SITE RENOVATION
STEVEN HART, DDS
 1917 NORTHWEST BOULEVARD
 COLUMBUS, OHIO 43212

REV.	ISSUE	DATE

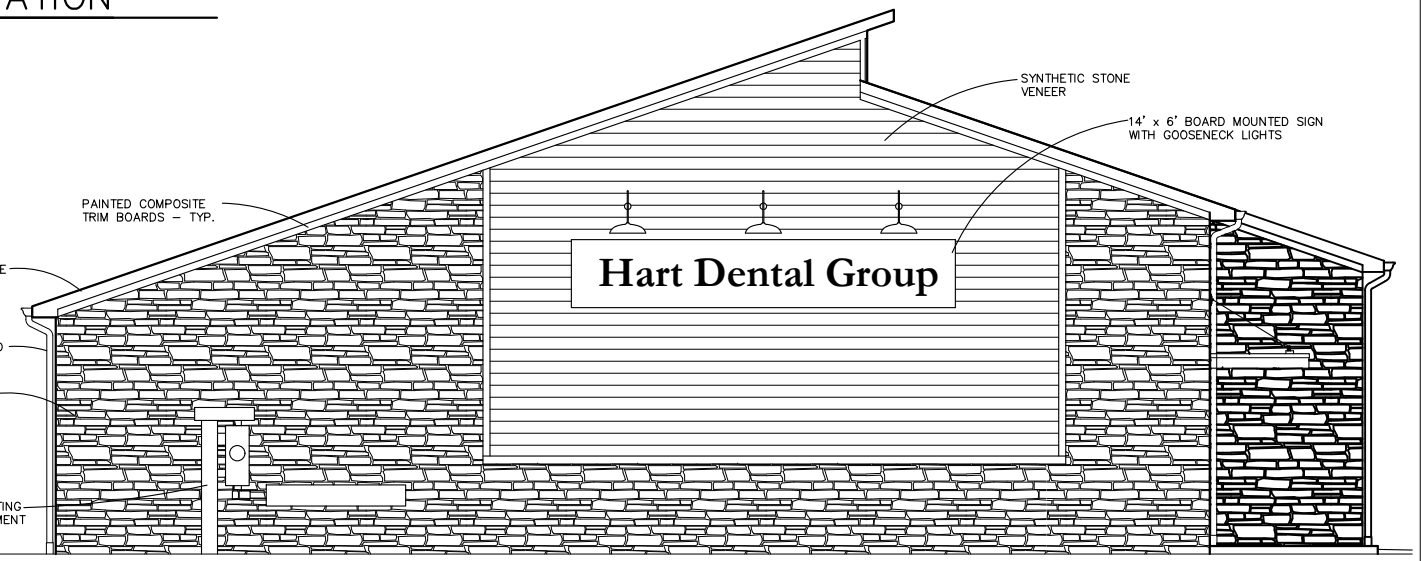
DATE
 29 MARCH 2023
 DRAWING
FLOOR PLAN
 SHEET NUMBER
A1-1
 JLB PROJECT #22012



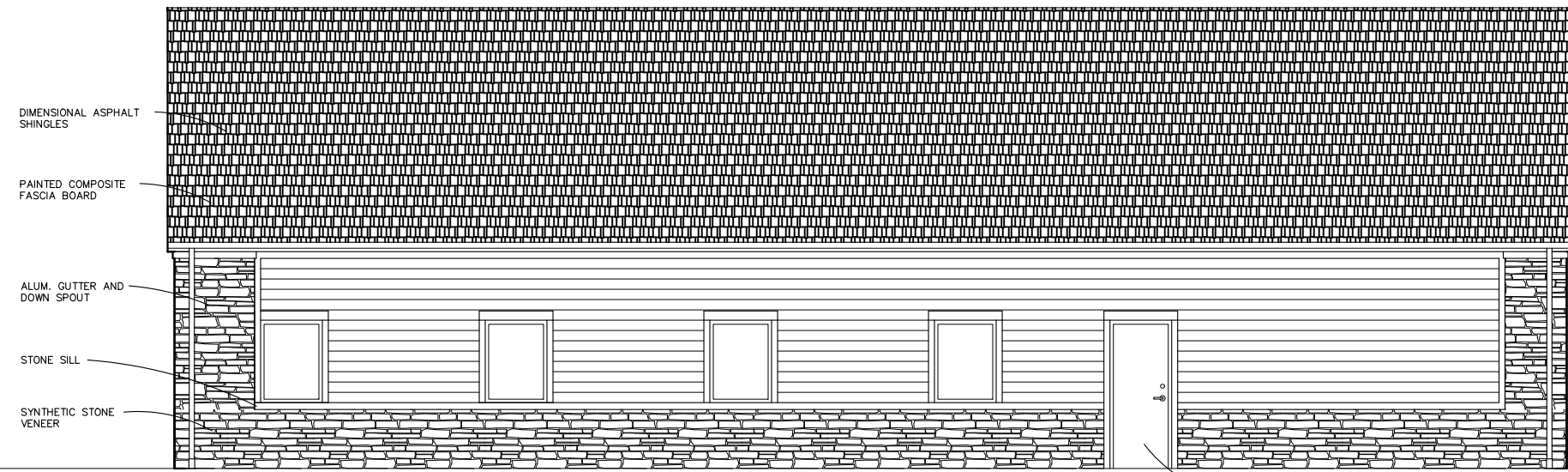
A **NORTHEAST ELEVATION**
 A1-2 SCALE: 1/8"=1'-0"



C **NORTHWEST ELEVATION**
 A1-2 SCALE: 1/8"=1'-0"



B **SOUTHEAST ELEVATION**
 A1-2 SCALE: 1/8"=1'-0"



D **SOUTHWEST ELEVATION**
 A1-2 SCALE: 1/8"=1'-0"

EXTERIOR FINISH MATERIALS					
ELEVATION	TOTAL SF	STONE SF	SIDING SF	GLAZING SF	% STONE
NORTHEAST	880	471	219	190	53.5
NORTHWEST	854	241	601	12	28.6
SOUTHEAST	764	382	382	0	50
SOUTHWEST	690	277	336	77	41.1
BUILDING	3,188	1,371	1,548	279	43

NOTES: 1. INCLUDES STEEL DOOR.

REV.	ISSUE	DATE



A RENDERING
A0-1 SCALE: NA

JL Bender Inc.
 J.L. BENDER, INC. ARCHITECTS AND PLANNERS, A.L.A.
 3040 Riverside Drive, Suite 132, Columbus, Ohio 43221
 PH 614/488-8814 FX 614/488-7224 EMail: jlb@jlbender.com

BUILDING AND SITE RENOVATION
STEVEN HART, DDS
 1917 NORTHWEST BOULEVARD
 COLUMBUS, OHIO 43212

REV.	ISSUE	DATE

DATE
 29 MARCH 2023
 DRAWING
 RENDERING
 SHEET NUMBER
A0-1
 JLB PROJECT #22012

February 15, 2023



JL Bender, Inc Architects And Planners, A.I.A.
3040 Riverside Dr. Suite 132 Columbus, Ohio 43221
P.614/488.8814 F.614/488.7224 E.info@JLBender.com

Property Owner

Re: Proposed Renovation at 1917 Northwest Boulevard

Attn Property Owner:

Dr. Steven Hart, property owner at 1917 Northwest Blvd. is proposing to renovate and upgrade the site and building that is currently being used as a rental car agency. The proposed plan is a dental clinic for Dr. Hart.

- A. The building is remaining the same size, profile and location on the size.
- B. The building will receive new exterior wall finishes of stone and Hardie siding and new windows.
- C. The building will receive a new shake shingle roof.
- D. Parking will be altered and increased to approximately twenty-two spaces; the urb cut on Northwest Blvd. will remain as existing but will be modified and the Stanford curb cut will be relocated further to the west, away from the main intersection
- E. Areas of perimeter bushes will be removed and replaced with some that have a lower profile and are more up to date to present the upgraded building in a better neighborhood setting.
- F. The project, as designed, will not require any variances from the building or zoning code.
- G. The "no parking" signs along Stanford will remain in place.

An open hearing regarding the project and proposed changes will be held on Wednesday, March 22, 2023 at 6:00 p.m. in the council chamber of the Upper Arlington Municipal Building at 3600 Tremont Road Upper Arlington, Ohio 43221. The project will be an asset to the local area and will be a benefit to the City of Upper Arlington.

Sincerely,

Jim Bender, President, AIA, NCARB and Agent for Dr. Steven Hart

JB:bw



Heather A. Gillie
Timothy K. Ball
1934 Elmwood Avenue
Columbus, Ohio 43212

JL Bender, Inc.
3040 Riverside Dr. #132
Columbus, Ohio 43221

J-Mar Properties Ltd.
1901-1905 Northwest Blvd.
Columbus, Ohio 43212

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Donald V. Frizzell
5804 Corte Mente
Pleasanton, CA 94566

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Columbus, Ohio 43221

Kimberly Cuccia
1630 W. 3rd Avenue
Columbus, Ohio 43212

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Columbus, Ohio 43221

Samuel S. Nemer
2412 Wenbury Road
Columbus, Ohio 43220



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US Flags Bklt/20 1 \$12.60 \$12.60

 Grand Total: \$50.84

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 Approval #: 021050
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Certified Mail®			\$4.15
Tracking #: 70222410000026977421			
Total			\$4.78

First-Class Mail® Letter	1		\$0.63
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Placenton, CA 94566

23-333

Site Plan Application

Status: Active

Date Created: Jan 23, 2023

Applicant

Jim Bender
jlbender@jlbender.com
3040 Riverside Drive -suite 132
upper arlington, ohio 43221
6145607020

Primary Location

1917 NORTHWEST BL
UPPER ARLINGTON, OH 43212

Owner:

MERULLO REALTY CO INC
0 0

BZAP Information

BZAP Case

DEV-01-23

BZAP Review Date

03/22/2023

Status

Pending

Development Information

Development Name

Hart Dental

Proposed Tenants (if available)

Hart Dental

Description of Development

Redevelopment of an existing car rental business for a proposed dental office.

Site Area (in SF)

14,890

Total Development Size (in SF)

14,890

of Stories

1

Building Height (from grade)

24

of Parking Spaces

22

Total Development Coverage (in %)

83

Application Information

Application Type

Amended

How will this development comply with the zoning standards found in the City's Unified Development Ordinance?

How will this development comply with the goals and objectives listed in the City's Master Plan?

This building will be an asset to the community for years to come.

Briefly explain how potential impacts on the adjoining neighborhood will be mitigated.







We feel the enhancements shown on this building will greatly improve the look of the neighborhood. It completely renovates the exterior of the existing building and site which has been in need of upgrades for years. It will also serve the neighborhood in a much more useful way as a dentist's office as opposed to a car rental business.

what are the primary goals and objectives for this development.

History

Date	Activity
Jan 23, 2023 at 3:49 pm	Jim Bender started a draft of Record 23-333
Jan 23, 2023 at 4:21 pm	Jim Bender submitted Record 23-333
Jan 23, 2023 at 4:21 pm	Justin Milam altered approval step Send Plans to COTA & UA Schools, changed status from Inactive to Skipped on Record 23-333
Jan 27, 2023 at 10:08 am	Justin Milam assigned approval step Application Complete & Scheduled for BZAP Review to Justin Milam on Record 23-333
Mar 7, 2023 at 10:21 am	Justin Milam changed BZAP Review Date from "02/15/2023" to "03/22/2023" on Record 23-333
Mar 8, 2023 at 12:12 pm	Justin Milam added a guest: bwinter5@att.net to Record 23-333
Mar 8, 2023 at 12:12 pm	Justin Milam added a guest: tpendery@jlbender.com to Record 23-333
Mar 10, 2023 at 3:40 pm	Justin Milam added attachment Hart Dental notice.pdf to Record 23-333
Mar 10, 2023 at 3:40 pm	Justin Milam added attachment 22012 A1-1 Rendering.pdf to Record 23-333
Mar 10, 2023 at 3:41 pm	Justin Milam changed Description of Development from "N/A" to "Redevelopment of an existing car rental business for a proposed dental office." on Record 23-333
Mar 10, 2023 at 3:42 pm	Justin Milam changed Briefly explain how potential impacts on the adjoining neighborhood will be mitigated. from "See attached." to "We feel the enhancements shown on this building will greatly improve the look of the neighborhood" on Record 23-333
Mar 10, 2023 at 3:42 pm	Justin Milam changed What are the primary goals and objectives for this development. from "See attached." to " " on Record 23-333
Mar 10, 2023 at 3:42 pm	Justin Milam changed How will this development comply with the goals and objectives listed in the City's Master Plan? from "See attached." to "This building will be an asset to the community for years to come." on Record 23-333
Mar 10, 2023 at 3:42 pm	Justin Milam changed How will this development comply with the zoning standards found in the City's Unified Developmen from "See attached." to " " on Record 23-333

Timeline

Label	Status	Activated	Completed	Assignee	Due Date
 Send Plans to COTA & UA Schools	Skipped	-	Jan 23, 2023 at 4:21 pm	-	-
 Application Fees	Active	Jan 23, 2023 at 4:21 pm	-	-	-
 Application Complete & Scheduled for BZAP Review	Inactive	-	-	Justin Milam	-
 Board of Zoning & Planning Review	Inactive	-	-	-	-
 BZAP Result	Inactive	-	-	-	-
 No Appeals	Inactive	-	-	-	-

February 15, 2023



JL Bender, Inc Architects And Planners, A.I.A.
3040 Riverside Dr. Suite 132 Columbus, Ohio 43221
P.614/488.8814 F.614/488.7224 E.info@JLBender.com

Property Owner

Re: Proposed Renovation at 1917 Northwest Boulevard

Attn Property Owner:

Dr. Steven Hart, property owner at 1917 Northwest Blvd. is proposing to renovate and upgrade the site and building that is currently being used as a rental car agency. The proposed plan is a dental clinic for Dr. Hart.

- A. The building is remaining the same size, profile and location on the size.
- B. The building will receive new exterior wall finishes of stone and Hardie siding and new windows.
- C. The building will receive a new shake shingle roof.
- D. Parking will be altered and increased to approximately twenty-two spaces; the urb cut on Northwest Blvd. will remain as existing but will be modified and the Stanford curb cut will be relocated further to the west, away from the main intersection
- E. Areas of perimeter bushes will be removed and replaced with some that have a lower profile and are more up to date to present the upgraded building in a better neighborhood setting.
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Tracking #: 70222410000026977421			

Total \$4.78

First-Class Mail® Letter	1		\$0.63
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J.L. BENDER, INC. ARCHITECTS AND PLANNERS A.I.A.
 3040 Reswood Drive, Suite 102, Columbus, Ohio 43221
 PH 614-862-8914 FX 614-462-7224 EMail: jlb@jlbinc.com

BUILDING AND SITE RENOVATION
STEVEN HART, DDS
 1917 NORTHWEST BOULEVARD
 COLUMBUS, OHIO 43212

REV.	ISSUE	DATE

A RENDERING
 A1-1 SCALE: NA

DATE
 14 NOVEMBER 2022
 DRAWING
 PRELIMINARY
 RENDERING
 SHEET NUMBER
A1-1
 JLB PROJECT #22012



Steven E. Hart, DDS

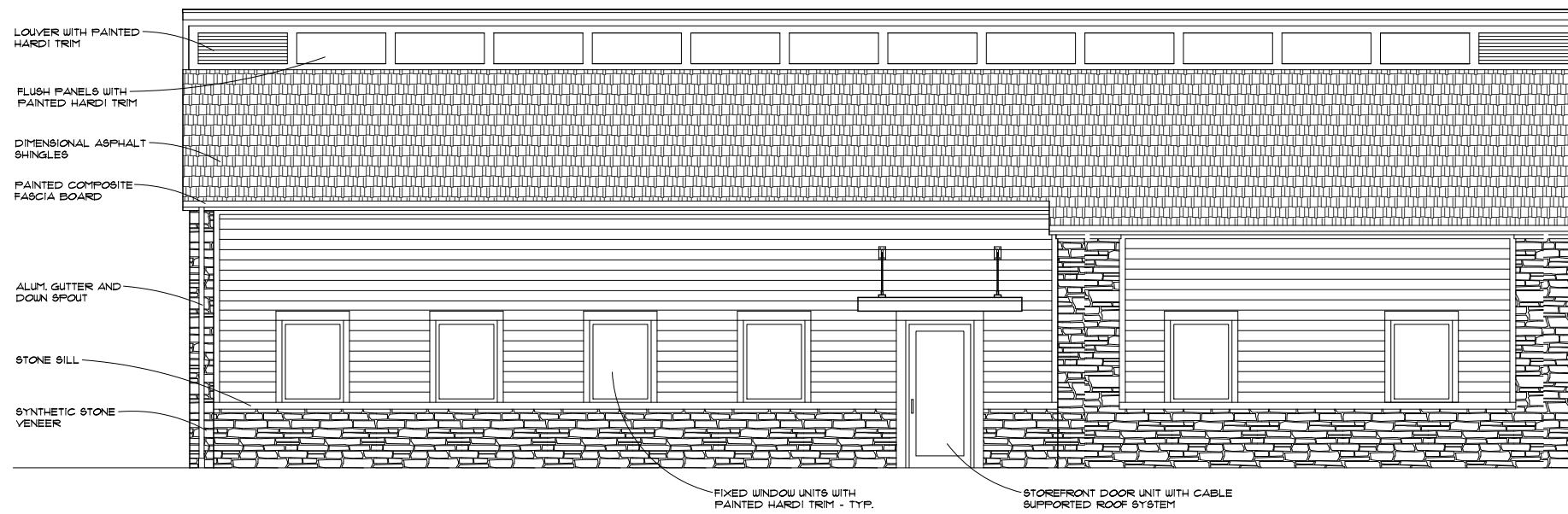
A RENDERING
A0-1 SCALE: NA

JLB
JL BENDER, INC. ARCHITECTS AND PLANNERS A.I.A.
3040 Riverside Drive, Suite 132, Columbus, Ohio 43221
PH 614-468-8814 FAX 614-468-7224 Email: jrb@jlbender.com

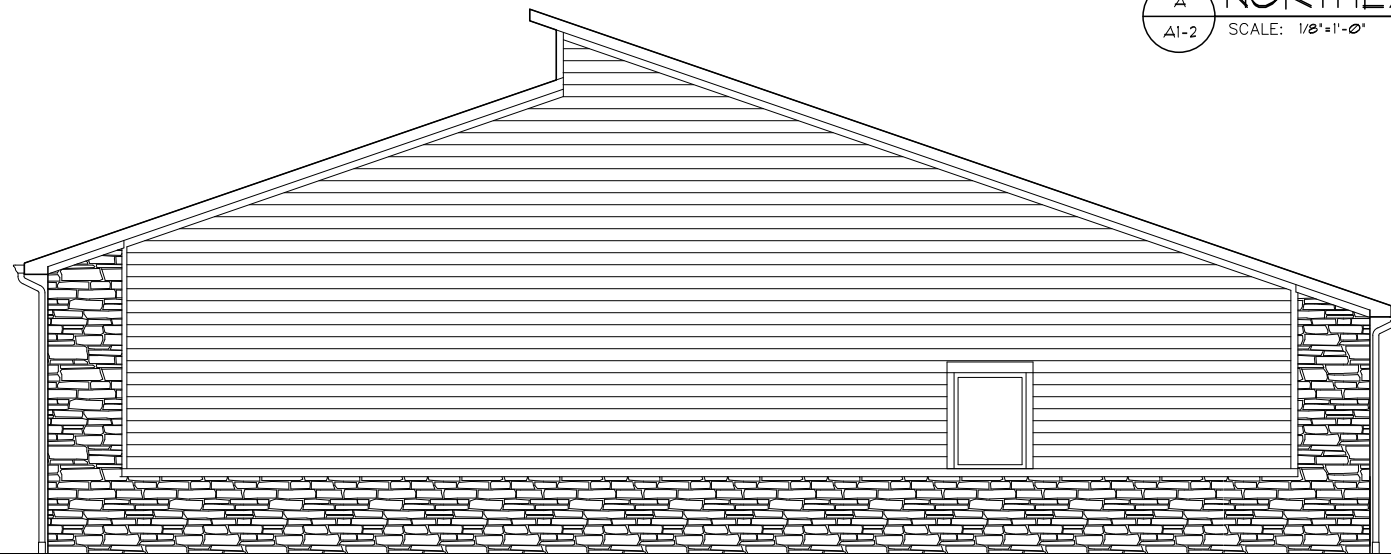
BUILDING AND SITE RENOVATION
STEVEN HART, DDS
1917 NORTHWEST BOULEVARD
COLUMBUS, OHIO 43212

REV.	ISSUE	DATE

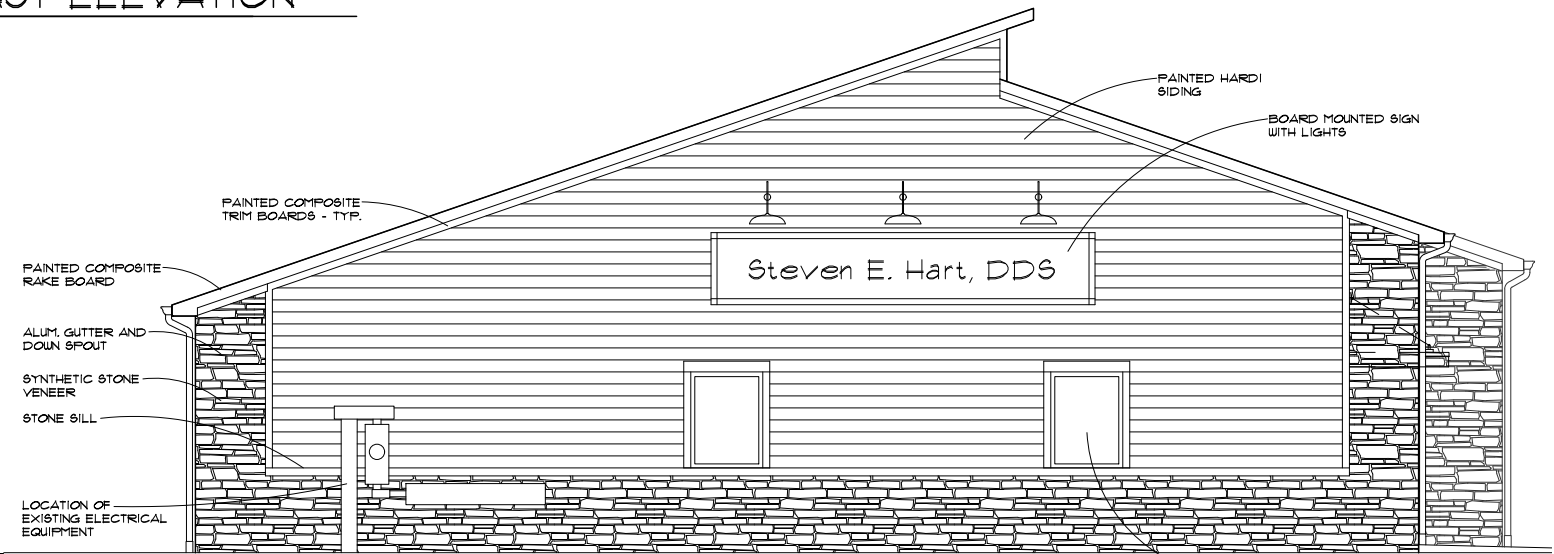
DATE
1 MARCH 2023
DRAWING
RENDERING
SHEET NUMBER
A0-1
JLB PROJECT #22012



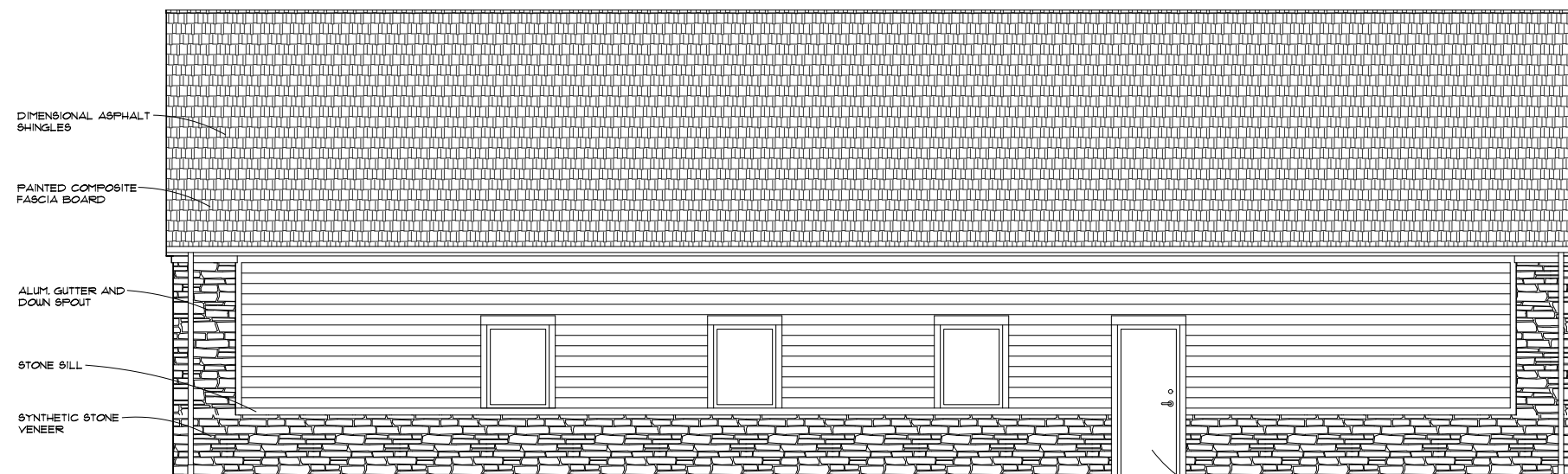
A **NORTHEAST ELEVATION**
 A1-2 SCALE: 1/8"=1'-0"



C **NORTHWEST ELEVATION**
 A1-2 SCALE: 1/8"=1'-0"



B **SOUTHEAST ELEVATION**
 A1-2 SCALE: 1/8"=1'-0"



D **SOUTHWEST ELEVATION**
 A1-2 SCALE: 1/8"=1'-0"

EXTERIOR FINISH MATERIALS					
ELEVATION	TOTAL SF	STONE SF	SIDING SF	GLAZING SF	% STONE
NORTHEAST	901	264	540	96	30
NORTHWEST	870	243	615	12	28
SOUTHEAST	818	230	564	24	28
SOUTHWEST	712	249	406	57	35

NOTES: 1. INCLUDES STEEL DOOR.



JL BENDER, INC. ARCHITECTS AND PLANNERS A.I.A.
 3640 Riverside Drive, Suite 132, Columbus, Ohio 43221
 PH 614-462-8914 FAX 614-462-7224 EMail jlb@jlbinc.com

BUILDING AND SITE RENOVATION
STEVEN HART, DDS
 1917 NORTHWEST BOULEVARD
 COLUMBUS, OHIO 43212

REV.	ISSUE	DATE

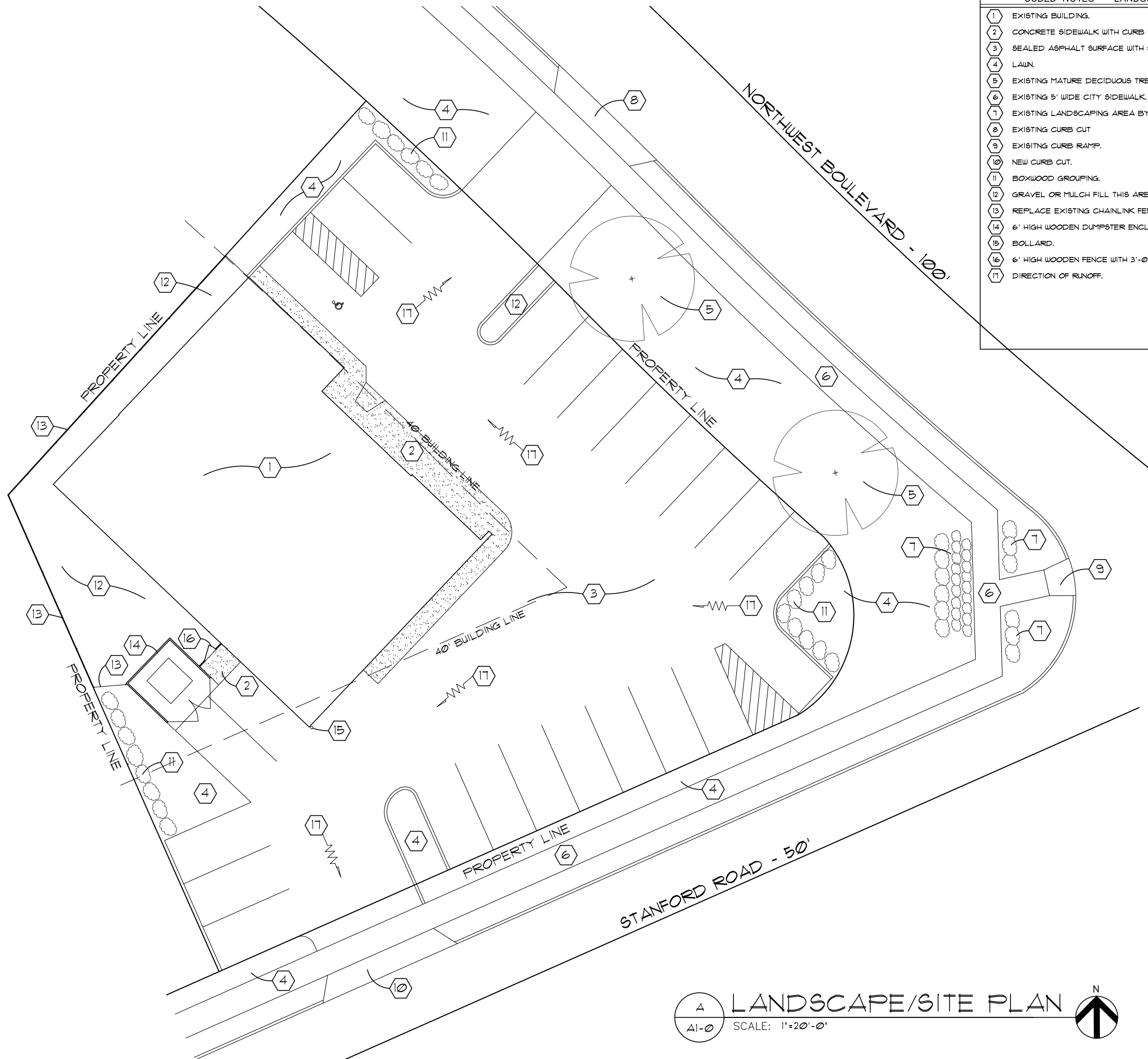
DATE
 1 MARCH 2023
 DRAWING

EXTERIOR
 ELEVATIONS

SHEET NUMBER

A1-2

JLB PROJECT #22012



CODED NOTES - LANDSCAPING

1	EXISTING BUILDING.
2	CONCRETE SIDEWALK WITH CURB RAMP.
3	SEALED ASPHALT SURFACE WITH STRIPPING.
4	LAWN.
5	EXISTING MATURE DECIDUOUS TREES.
6	EXISTING 5' WIDE CITY SIDEWALK.
7	EXISTING LANDSCAPING AREA BY CITY.
8	EXISTING CURB CUT.
9	EXISTING CURB RAMP.
10	NEW CURB CUT.
11	BOXWOOD GROUPING.
12	GRAVEL OR MULCH FILL THIS AREA.
13	REPLACE EXISTING CHAINLINK FENCING.
14	6' HIGH WOODEN DUMPSTER ENCLOSURE.
15	BOLLARD.
16	6' HIGH WOODEN FENCE WITH 3'-0" WIDE GATE.
17	DIRECTION OF RUNOFF.

A LANDSCAPE/SITE PLAN
 A1-0 SCALE: 1"=20'-0"
 N

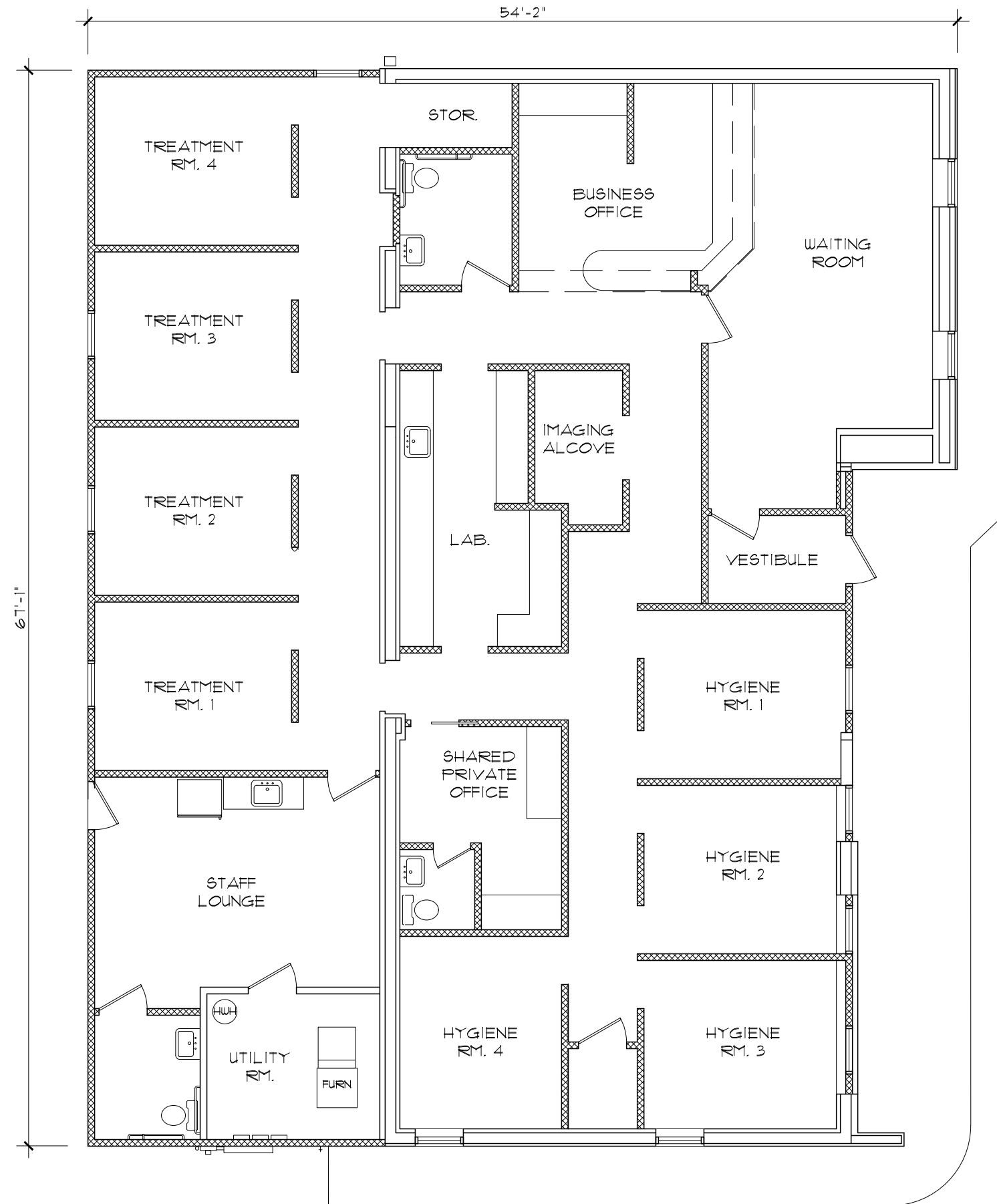


JLB ASSOCIATES, INC.
 ARCHITECTS AND PLANNERS A.I.A.
 3040 Riverside Drive, Suite 132, Columbus, Ohio 43221
 PH 614-462-8914 FX 614-462-7224 E-MAIL info@jlbassoc.com

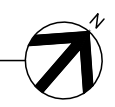
BUILDING AND SITE RENOVATION
STEVEN HART, DDS
 1917 NORTHWEST BOULEVARD
 COLUMBUS, OHIO 43212

REV.	ISSUE	DATE

DATE
 1 MARCH 2023
 DRAWING
 LANDSCAPE
 /SITE PLAN
 SHEET NUMBER
A1-0
 JLB PROJECT #22012



FLOOR PLAN
 SCALE: 1/8"=1'-0"



WALL LEGEND	
	EXISTING MASONRY OR FRAMED WALLS
	NEW OR ALTERED FRAMED WALLS

REV.	ISSUE	DATE

DATE
1 MARCH 2023
DRAWING

FLOOR PLAN

SHEET NUMBER
A1-1
JLB PROJECT #22012

BUILDING AND SITE RENOVATION
STEVEN HART, DDS
 1917 NORTHWEST BOULEVARD
 COLUMBUS, OHIO 43212

JLB

JL BENDER, INC. ARCHITECTS AND PLANNERS A.I.A.
 3040 Riverside Drive, Suite 132, Columbus, Ohio 43221
 PH 614-462-8914 FAX 614-462-7224 Email: jlb@jlbinc.com



Authors: Alyssa Kelly, AICP, Planning Officer

BZAP Meeting Date: April 17, 2024

Subject: 2253 Arlington Avenue (VAR-14-23) - To allow a two-story addition to encroach up to 4'-10" into the eight-foot minimum side yard setback and that results in a side yard sum of 12'-10", when 16 feet is the minimum requirement.

Site Description/History

The subject property, [2253 Arlington Avenue](#), is located mid-block between Tewksbury and Westover Roads, in the [Upper Arlington subdivision](#) (Block #75, Lot #13). The irregularly shaped property has 60 feet of frontage and 140 feet of depth (average); the property tapers to just 47 feet in width at the rear property line; it is zoned R-1c, One-Family Residence District. The 2,093-square foot, two-story home is a Contributing Structure in the Historic District. The main section of the home encroaches four inches into the front yard setback and an attached screened porch encroaches 4'-10" into the side yard setback. The property received a variance in 1994 for the two-car detached garage to be rebuilt, following a fire, 1.5 feet from the south (side) property line, when three feet is the minimum setback required ([BZ-91-94](#)). The home was built in 1928 and purchased by the applicant in 2020.

Proposal

The applicant is requesting to replace an existing, attached screened porch with a two-story addition in the same footprint to accommodate a conditioned sunroom on the first-floor and owner's bathroom on the second floor. The existing screened porch encroaches into the side yard setback (existing non-conforming). The addition would be 8'-4" in width by 18 feet in depth (150 square feet) and located nearly three feet from the side property line- nearly a five-foot encroachment. The addition would be 21'-11" in height and finished with a hipped shingle roof, composite board panels, and a CMU block foundation wall. The front and side elevations include windows on the first and second floor, while the rear includes a door and stairs to access the backyard. There are some shrubs along the existing addition that would likely need to be removed during construction.

Zoning Code Requirements

- To UDO Article 5.02(C) to permit a two-story addition to encroach up to 4'-10" into the eight-foot minimum side yard setback;
- To UDO Article 5.02(C) to permit a two-story addition that results in a side yard sum of 12'-10", when 16 feet is the minimum requirement.



In reviewing variance history in the area, there have been approved requests for side yard encroachments. However, Staff could not identify similar variances in the area for a two-story addition so close to the property line. 2255 Tremont Road was permitted to construct a 2.5-story addition that encroached up to 2.5 feet into the 10-foot minimum side yard setback (BZ-35-10), while 1956 Tewksbury Road received approval for a one-story room addition to encroach 1'-9" into the 8-foot minimum side yard setback.

Alternatives

Alternatives to the current plan include relocating the addition to the rear of the home, where there is additional space for a compliant, two-story addition. The addition could also be modified to reduce the side yard encroachment or removal of the second story, to reduce potential looming impacts on neighboring properties. However, the homeowner desires to construct a two-story addition within the existing footprint of the screened porch.

Requested Action and Findings

Staff has reviewed the application, discussed with the applicant, and visited the site. Although Staff understands the desire of the homeowner to expand living space where an enclosed porch already exists today (Finding #6), a two-story addition that is only 3'-2" from the side property line could have looming impacts on neighboring properties and leaves little space for landscaping or buffering the addition from the neighbor (Finding #4). While many homes in the Historic District have nonconforming additions, including covered porches, this proposal would result in one of the narrowest side yard setbacks around. Being adjacent to the neighbor's driveway is helpful, but the encroachment at two stories could still be impactful on neighboring properties.

Therefore, Staff remains neutral on this application as submitted and would encourage the homeowner to review alternative options that reduce and/or eliminate variances for the proposal. Should the Board choose to support the application, Staff would recommend that fencing and/or landscaping be considered.

Attachments

1.	BZAP Staff Report Pics - 2253 Arlington Ave
2.	2253 Arlington Ave Variance App



2253 Arlington Avenue

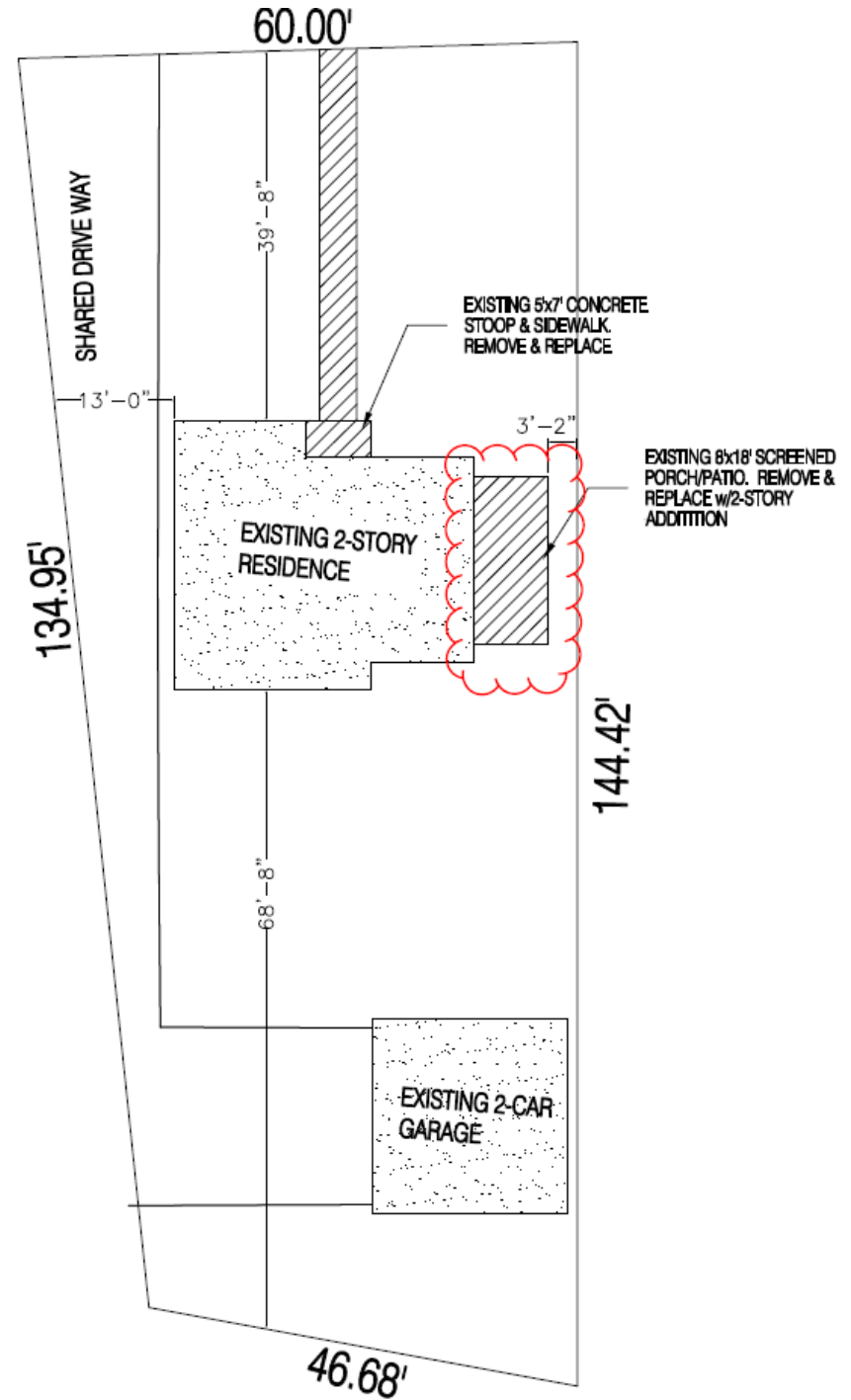
BZAP Staff Report Pictures



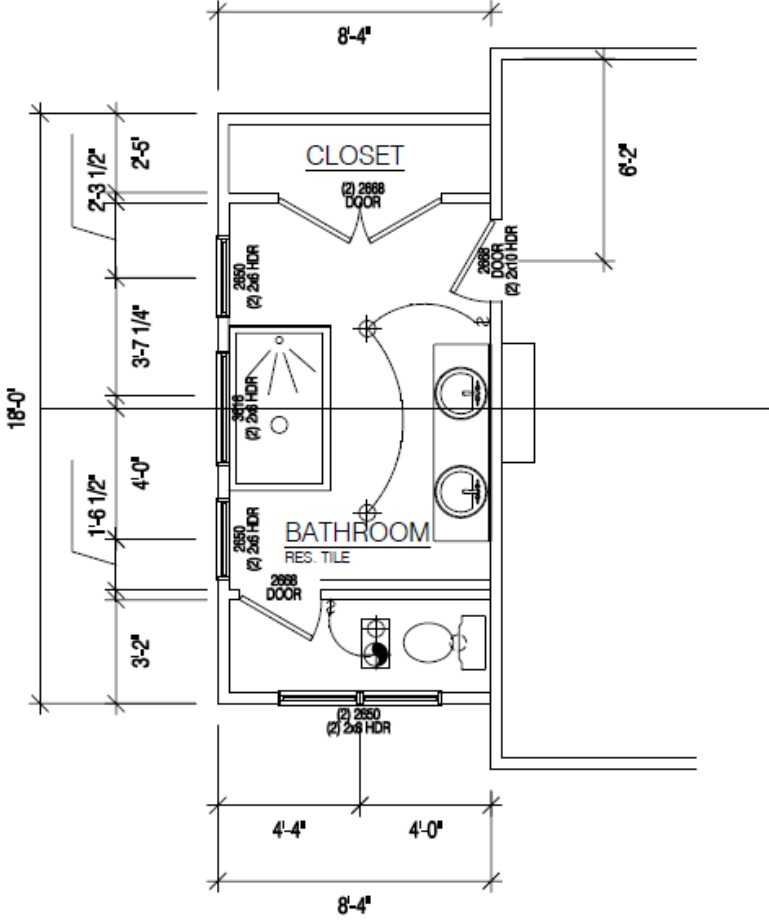
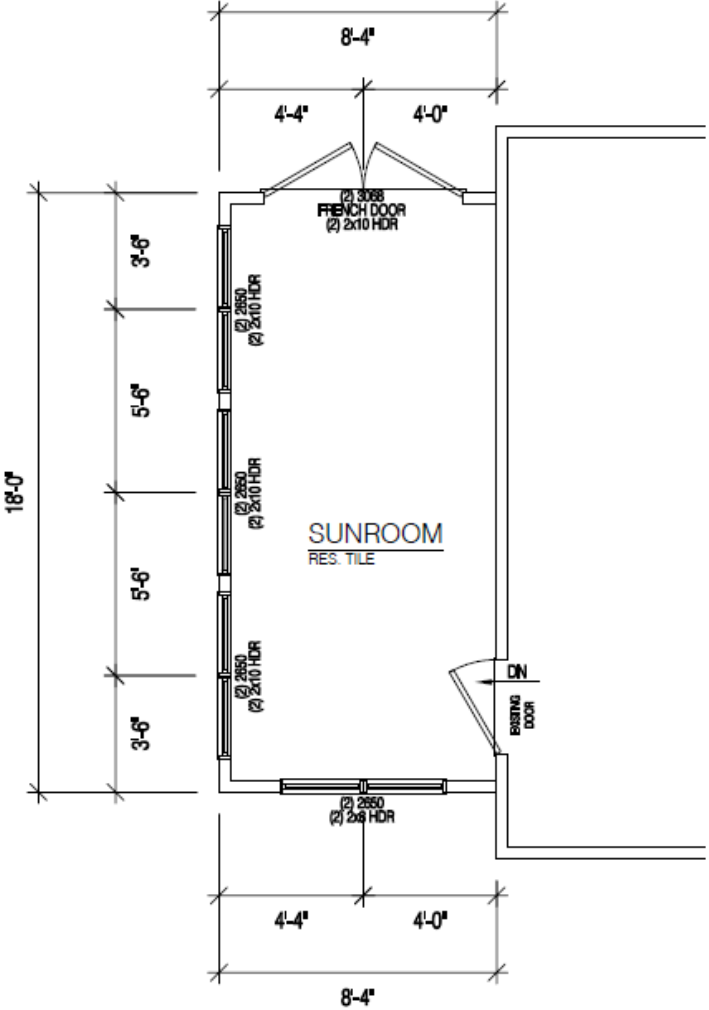
Google Maps ® Aerial – Looking North



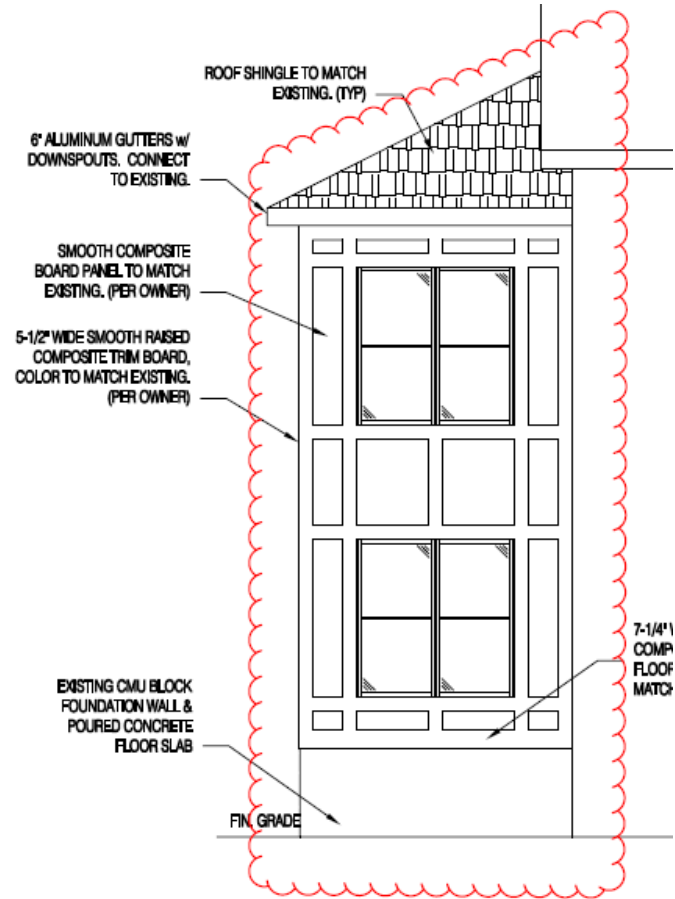
Proposed Site Plan



Proposed Floor Plans



Proposed Front/Side Elevation



Existing Arlington Avenue Elevation



Existing Screened Porch





23-1095

Variance Application

Status: Active

Date Created: Mar 20, 2023

Applicant

Melissa Davis
melissa.mullett@gmail.com
2253 Arlington Avenue
Columbus, OH 43221
6146687749

Primary Location

2253 ARLINGTON AV
UPPER ARLINGTON, OH 43221

Owner:

DAVIS THADDEUS
2253 ARLINGTON COLUMBUS, OH 43221

BZAP Information

BZAP Case

VAR-14-23

Status

Pending

BZAP Determination Date

04/19/2023

Vote Tally

--

Primary Variance

Side yard setback

Findings of Fact for Approval/Denial

--

Variance Request

To allow a two-story addition to encroach 4'-10" into the 8-foot minimum side yard setback.

BZAP conditions

--

Variance Information

Describe Variance Request

Construct full bath on top of existing screened in porch structure (finish out the structure w/ room) on south side of home; existing structure encroaches on set back. We are NOT changing the existing footprint of the home.

What practical difficulty, special conditions and/or circumstances exist that are peculiar to the land or structure involved and which are not generally applicable to other lands or structures in the same zoning districts?

None - current structure already encroaches set back like many historic homes in the South of Lane neighborhood.

Will granting the variance confer a special privilege that is denied by this regulation to other lands, structures, or buildings in the same district?

No - we aren't changing the existing footprint of the home.

Will the essential character of the neighborhood area be substantially altered or will adjoining properties suffer substantial detriment as a result of the variance?

No - we aren't changing the existing footprint of the home and the design of the "addition" matches the current look of the home.

Have all reasonable alternatives been investigated or exhausted to find that this variance request is the minimum necessary to make reasonable use of land and structures?

Yes.

Can this property yield a reasonable return or can there be any beneficial use of the property without the variance?

Yes.

2253 ARLINGTON AVENUE - DAVIS RESIDENCE

ROOM ADDITION - LEFT SIDE

UPPER ARLINGTON, OHIO

1.00 GENERAL NOTES

- 1.01 GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS BETWEEN THE GENERAL STRUCTURAL AND/OR ARCHITECTURAL NOTES OR DRAWINGS EXIST, THE STRICTEST PROVISION SHALL GOVERN.
- 1.02 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO ERECTION.
- 1.03 ADEQUACY OF THE PRIMARY/ORIGINAL STRUCTURE FOR THE IMPOSED LOADS IS NOT THE RESPONSIBILITY OF LEGACY ENGINEERING, LLC.
- 1.04 THE CONTENTS OF THIS SUBMITTAL ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE OWNER AND GENERAL CONTRACTOR. MATERIAL SELECTION AND CONNECTION DETAILS SHOWN HEREIN, MAY DIFFER FROM THOSE SHOWN IN THE CONTRACT DOCUMENTS. THE PROJECT SUBCONTRACTORS SHOULD NOT ORDER MATERIAL BEFORE RECEIVING APPROVED DRAWINGS FROM THE PROJECT OFFICIALS.
- 1.05 FOR SPECIFIC INSTALLATION REQUIREMENTS AND WARRANTY INFORMATION ON SYSTEMS OR MATERIALS INSTALLED, REFER TO THE MANUFACTURER'S INFORMATION. LEGACY ENGINEERING, LLC. ASSUMES NO RESPONSIBILITY FOR THE PROPER CONSTRUCTION, INSTALLATION, OR FUNCTION OF THE TOTAL ARCHITECTURAL ASSEMBLY.
- 1.06 FOR SPECIFIC INSTALLATION REQUIREMENTS AND WARRANTY INFORMATION ON SYSTEMS OR MATERIALS INSTALLED, REFER TO THE MANUFACTURER'S INFORMATION. LEGACY ENGINEERING, LLC. ASSUMES NO RESPONSIBILITY FOR THE PROPER CONSTRUCTION, INSTALLATION, OR FUNCTION OF THE TOTAL ARCHITECTURAL ASSEMBLY.
- 1.07 THE ARCHITECTURAL DRAWINGS INCLUDED IN THIS CONSTRUCTION RECOMMENDATION DO NOT TAKE INTO CONSIDERATION THE OVERALL STRUCTURAL STABILITY OF THE STRUCTURE. THESE DRAWINGS ARE SUPPLIED AS AN AID IN THE GENERAL CONSTRUCTION/LAYOUT OF THE WORK TO BE PERFORMED. THEY DO NOT IN ANY WAY IMPLY THE ASSUMPTION OF PROFESSIONAL RESPONSIBILITY BY LEGACY ENGINEERING, LLC.
- 1.08 NONSTRUCTURAL ALTERATIONS OR REPAIRS TO AN EXISTING BUILDING/STRUCTURE ARE PERMITTED TO BE MADE OF THE SAME MATERIALS OF WHICH THE BUILDING/STRUCTURE IS CONSTRUCTED.

2.00 INSTALLATION NOTES

- 2.01 THE ARCHITECTURAL DRAWINGS INCLUDED IN THIS CONSTRUCTION RECOMMENDATION DO NOT TAKE INTO CONSIDERATION THE OVERALL STRUCTURAL STABILITY OF THE STRUCTURE. THESE DRAWINGS ARE SUPPLIED AS AN AID IN THE GENERAL CONSTRUCTION/LAYOUT OF THE WORK TO BE PERFORMED. THEY DO NOT IN ANY WAY IMPLY THE ASSUMPTION OF PROFESSIONAL RESPONSIBILITY BY LEGACY ENGINEERING, LLC.
- 2.02 THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, & EQUIPMENT NECESSARY TO COMPLETE THE CARPENTRY WORK AS SHOWN ON THE ARCHITECTURAL DRAWINGS AND/OR SPECIFIED HEREINAFTER.
- 2.03 NO CUTS, KNOTCHES, OR SPLICES IN STUDS, JOISTS OR OTHER LOAD CARRYING MEMBERS MAY BE MADE WITHOUT PRIOR ENGINEERING REVIEW/APPROVAL.
- 2.04 ALL FRAMING MEMBERS/COMPONENTS SHALL BE CUT SQUARELY FOR ATTACHMENT TO PERPENDICULAR MEMBERS, OR AS REQUIRED FOR ANGULAR FIT AGAINST ABUTTING MEMBERS. ALL MEMBERS SHALL BE HELD POSITIVELY IN PLACE UNTIL PROPERLY FASTENED.
- 2.05 THE INSTALLATION OF SHEATHING, WALLBOARD, OR ANY OTHER COLLATERAL MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S SPECIFICATIONS, THE CURRENT ASTM STANDARD AND/OR GUIDELINES OUTLINES IN THE CONTRACT DOCUMENTS OR PER THE GOVERNING BUILDING CODE.
- 2.06 WHEN ANGLES/STRUCTURAL CONNECTORS ARE USED TO ATTACH A COMPONENT TO THE PRIMARY STRUCTURE, THE SEQUENCE OF FASTENING IS THE PREFERENCE OF THE INSTALLER, UNLESS OTHERWISE NOTED ON THE CONSTRUCTION DRAWINGS.
- 2.07 WHEN ANGLES, HANGERS, AND/OR STRUCTURAL CONNECTORS ARE USED, THEY SHALL BE INSTALLED PER THE PRODUCT MANUFACTURER'S INSTRUCTIONS/SPECIFICATIONS.
- 2.08 ALL STRUCTURAL CONNECTORS, INCLUDING BUT NOT LIMITED TO FASTENERS, CONCRETE CONNECTORS, MASONRY CONNECTORS, HOLD-DOWNS, TRUSS & RAFTER TIE-DOWNS, POSTS CAPS & BASES, HANGERS, ANGLES AND STRAPS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE OR APPROVED EQUAL. THESE CONNECTORS SHALL BE EVALUATED AND APPROVED FOR USE BY ALL APPLICABLE CODES.

2.00 INSTALLATION NOTES (CONT.)

- 2.09 PROVIDE 1/4-INCH (MIN) UNDERLAYMENT UNDER CERAMIC TILE FLOORING, ON WOOD FRAMED FLOOR SYSTEMS.
- 2.10 FLOOR SHEATHING SHALL BE 3/4-INCH (MIN) TONGUE AND GROOVE ORIENTED STRAND BOARD (OSB), GLUED AND NAILS TO SUPPORTING STRUCTURE. PANEL SPAN RATING SHALL BE APA RATED 24/32, EXPOSURE 1 WITH SEALED EDGES. INSTALL/FASTEN PER THE MANUFACTURER'S INSTALLATION REQUIREMENTS.
- 2.11 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO ERECTION.
- 2.12 NO LESS THAN THREE (3) STUDS SHALL BE INSTALLED AT EACH CORNER OF A FRAMED WALL.
- 2.13 ALL WALL STUDS SHALL BE SPACED AT 16" O.C. (MAX) WITHIN FRAMED WALLS.
- 2.14 PROVIDE LUMBER BLOCKING AS REQUIRED IN FRAMED WALLS FOR ALL LIGHT FIXTURES, CABINETS, BRACKETS, HANDLES, GYPSUM BOARD, ETC.
- 2.15 FIRESTOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES AND ROOF SPACE.
- 2.16 FRAMING UNDER PARALLEL BEARING PARTITIONS SHALL BE ADEQUATELY SIZED TO SUPPORT THE REQUIRED LOADING. FLOOR FRAMING THAT IS SEPARATED TO ALLOW FOR THE INSTALLATION OF PIPING OR VENTS SHALL BE FULL DEPTH, BLOCKED SOLID WITH LUMBER NOT LESS THAN 2-INCHES THICK (NOMINAL), AND SPACED AT 4'-0" O.C. (MAX)
- 2.17 ALL FASTENERS FOR PRESSURE/PRESERVATIVELY TREATED LUMBER, SHALL BE HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER.
- 2.18 PROVIDE STUD GUARDS ON ALL WALL FRAMING WHERE PIPING IS LESS THAN 1-1/2 INCHES FROM THE FACE OF THE STUD.
- 2.19 ANY GUARDRAIL INSTALLED SHALL HAVE A HEIGHT OF 30 INCHES AT ALL STAIRS AND RAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR. SPINDLES SHALL BE INSTALLED/POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4-INCH SPHERE.
- 2.20 HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THEN 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HANDGRIP PORTION SHALL NOT BE MORE THAN 2-1/4 INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH WILL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- 2.21 ALL WOOD PRODUCTS, SAWN LUMBER, END-JOINTED LUMBER, FIBERBOARD SHEATHING, ETC., SHALL CONFORM TO THE MINIMUM STANDARDS AND QUALITY AS SET FORTH IN SECTION 2303.
- 2.22 THE DESIGN AND FASTENING OF ALL WOOD FRAMING MEMBERS SHALL CONFORM TO THE CONNECTIONS OF TABLE 2304.9.1 AS A MINIMUM.

3.00 STRUCTURAL REQUIREMENTS

- 3.01 DIMENSIONAL LUMBER FRAMING SHALL PROVIDE STRUCTURAL DESIGN VALUES EQUAL TO, OR EXCEEDING THE FOLLOWING:
 MODULUS OF ELASTICITY (E) = 1,400,000 psi
 FIBER BENDING STRESS (Fb) = 875 psi
 HORIZONTAL SHEAR (Fv) = 135 psi
- 3.02 LAMINATED VENEER LUMBER (LVL) FRAMING SHALL PROVIDE STRUCTURAL DESIGN VALUES EQUAL TO, OR EXCEEDING THE FOLLOWING:
 MODULUS OF ELASTICITY (E) = 1,900,000 psi
 FIBER BENDING STRESS (Fb) = 2,650 psi
 HORIZONTAL SHEAR (Fv) = 285 psi
- 3.03 PARALLEL STRAND LUMBER (PSL) FRAMING SHALL PROVIDE STRUCTURAL DESIGN VALUES EQUAL TO, OR EXCEEDING THE FOLLOWING:
 MODULUS OF ELASTICITY (E) = 2,000,000 psi
 FIBER BENDING STRESS (Fb) = 2,900 psi
 HORIZONTAL SHEAR (Fv) = 290 psi
- 3.04 THE FRAMING CONTRACTOR MAY SUBSTITUTE FRAMING MEMBERS AND/OR FASTENERS OF EQUIVALENT SPECIFICATIONS AND LOAD CARRYING CAPACITIES. PRIOR TO INSTALLATION, SUBMIT THE MANUFACTURER'S CURRENT PRODUCT LITERATURE TO THE ENGINEER OF RECORD FOR APPROVAL.

4.00 FOUNDATION/CONCRETE NOTES

- 4.01 ALL CONCRETE USED/INSTALLED FOR FOUNDATIONS/ FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (f'c) OF 2500psi, PER 2019 RCO TABLE R402.2, AFTER 28 DAYS.
 - 4.02 ALL FOUNDATIONS/FOOTINGS SHALL BE PLACED/INSTALLED ON UNDISTURBED SOIL 36-INCHES (3'-0") BELOW THE SURFACE GRADE, OR AS REQUIRED BY MUNICIPALITY TO MAINTAIN FROST DEPTH.
 - 4.03 THE MINIMUM FOUNDATION/FOOTING WIDTH SHALL COMPLY WITH THE RECOMMENDATIONS FOUND IN TABLE R403.1 OF THE 2019 RCO.
 - 4.04 ALL SPREAD FOUNDATIONS/FOOTINGS SHALL BE A MINIMUM OF 6-INCHES THICK PER SECTION R403.1.1 OF THE 2019 RCO.
- #### 5.00 INTERIOR FINISHES
- 5.01 ALL INTERIOR FINISHES SHALL MEET OR EXCEED THE REQUIREMENTS PROVIDED BY THE GOVERNING BUILDING CODE.
 - 5.02 INTERIOR FINISHES INCLUDE, BUT ARE NOT LIMITED TO, WALL, FLOOR AND CEILING FINISHES, DECORATIVE MATERIAL/TRIM, AND MOVABLE PARTITIONS.
 - 5.03 INTERIOR FLOOR FINISHES INCLUDE, BUT ARE NOT LIMITED TO, COMMERCIAL GRADE CARPET, SKID-PROOF LINOLEUM, VINYL, AND/OR ENGINEERED WOOD FLOORING PRODUCTS.

5.00 INTERIOR FINISHES (CONT.)

- 5.04 ALL INTERIOR FINISHES SHALL BE FASTENED/ADHERED TO SUPPORTING STRUCTURE/ELEMENTS AS PER THE MANUFACTURER'S SPECIFICATIONS OR AS DESCRIBED IN THE GOVERNING BUILDING CODE.
- #### 6.00 DOORS & WINDOWS
- 6.01 ALL OF THE DESIGN, CONSTRUCTION, AND PLACEMENT OF WINDOWS AND DOORS SHALL MEET OR EXCEED THE EGRESS REQUIREMENTS PROVIDED BY THE GOVERNING BUILDING CODE.
 - 6.02 ALL MEANS OF EGRESS IN THE STRUCTURE SHALL BE MAINTAINED ACCORDING TO THE REQUIREMENTS OF THE GOVERNING FIRE CODE.
 - 6.03 PROVIDE TEMPERED GLAZING ON WINDOWS/DOORS IN ALL AREAS DEEMED HAZARDOUS BY THE GOVERNING BUILDING CODE.
 - 6.04 ALL WINDOW SASHES, ENTRANCE/EXIT DOORS AND BOTTOM PLATES SHALL BE CAULKED/SEALED (ALL SIDES OF THE OPENING) AND ALL WINDOW/DOOR HEADERS SHALL BE FLASHED IN ACCORDANCE WITH THE GOVERNING BUILDING CODE.
 - 6.05 ALL EXISTS AND EXIT DOORS SHALL BE MARKED BY AN APPROVED, READILY VISIBLE, ILLUMINATED EXIT SIGN.

6.00 DOORS & WINDOWS (CONT.)

- 6.06 EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (0.46m). THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610mm). THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (508mm).
- 6.07 THE BOTTOM OF THE EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE LOCATED 44-INCHES (1118mm) MAXIMUM, FROM THE FINISHED FLOOR.

DESIGN CRITERIA

GOVERNING CODE: RESIDENTIAL CODE OF OHIO (2019)
 BUILDING CLASSIFICATION: N/A
 CONSTRUCTION TYPE: N/A
 OCCUPANCY LOAD: N/A

[Wind Loading]
 WIND SPEED (V): 90mph (3 second gust)
 IMPORTANCE FACTOR (I): 1.0
 EXPOSURE CATEGORY: C
 INTERNAL PRESSURE: +0.18 (-0.18)
 DESIGN WIND PRESSURE: +13.0psf (-14.0psf)

[Floor Loading]
 DEAD LOAD: 10psf
 LIVE LOAD: 40psf

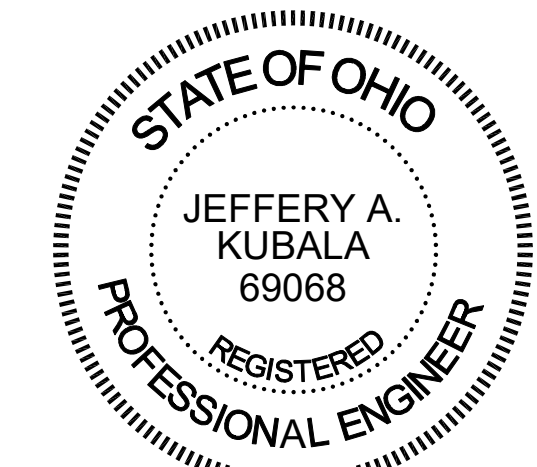
[Snow Loading]
 GROUND SNOW LOAD (Pg): 20psf
 IMPORTANCE FACTOR (I): 1.0
 EXPOSURE CATEGORY (Ce): 0.9
 THERMAL FACTOR (Ct): 1.0

[Roof Loading]
 LIVE LOAD: 20psf

CONTRACTOR INFORMATION	
GENERAL CONTRACTOR BEST OHIO REMODELING	
ELECTRICAL CONTRACTOR	
HVAC CONTRACTOR	

REVISION COMMENTS	
△	5/9/22 PRELIMINARY DRAWING SUBMITTAL
△	6/6/22 REVISED DRAWINGS
△	6/20/22 FINAL DRAWINGS

SHEET INDEX	
Page 1	COVER PAGE/GENERAL NOTES
Page 2	ELEVATIONS
Page 3	FRAMING PLANS



JEFFERY A. KUBALA #69068
 EXPIRATION DATE: 12-31-23

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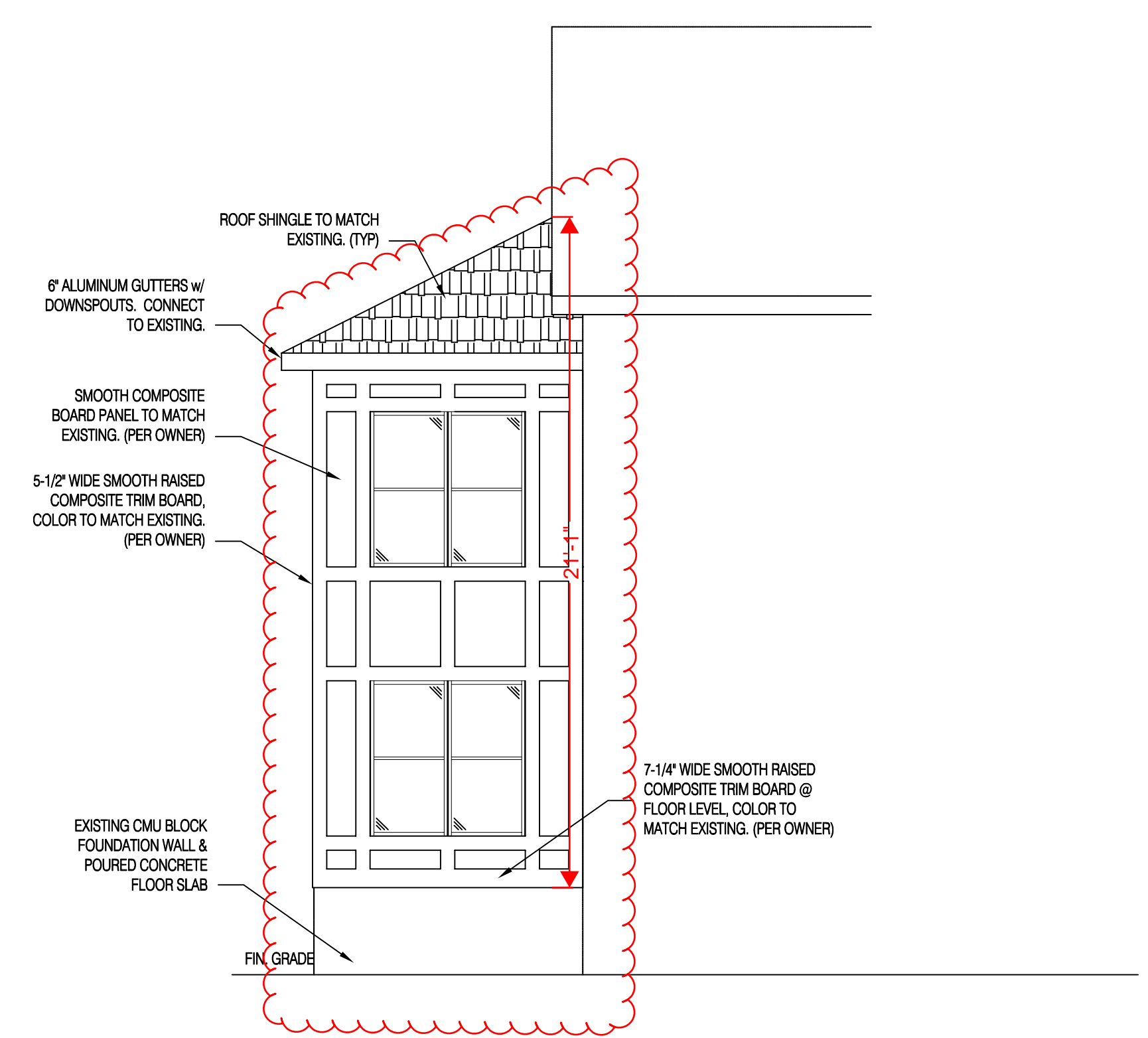


REVISIONS	
△	5/9/22 PRELIM DRAWINGS
△	6/6/22 REVISION #1
△	6/20/22 FINAL DRWS

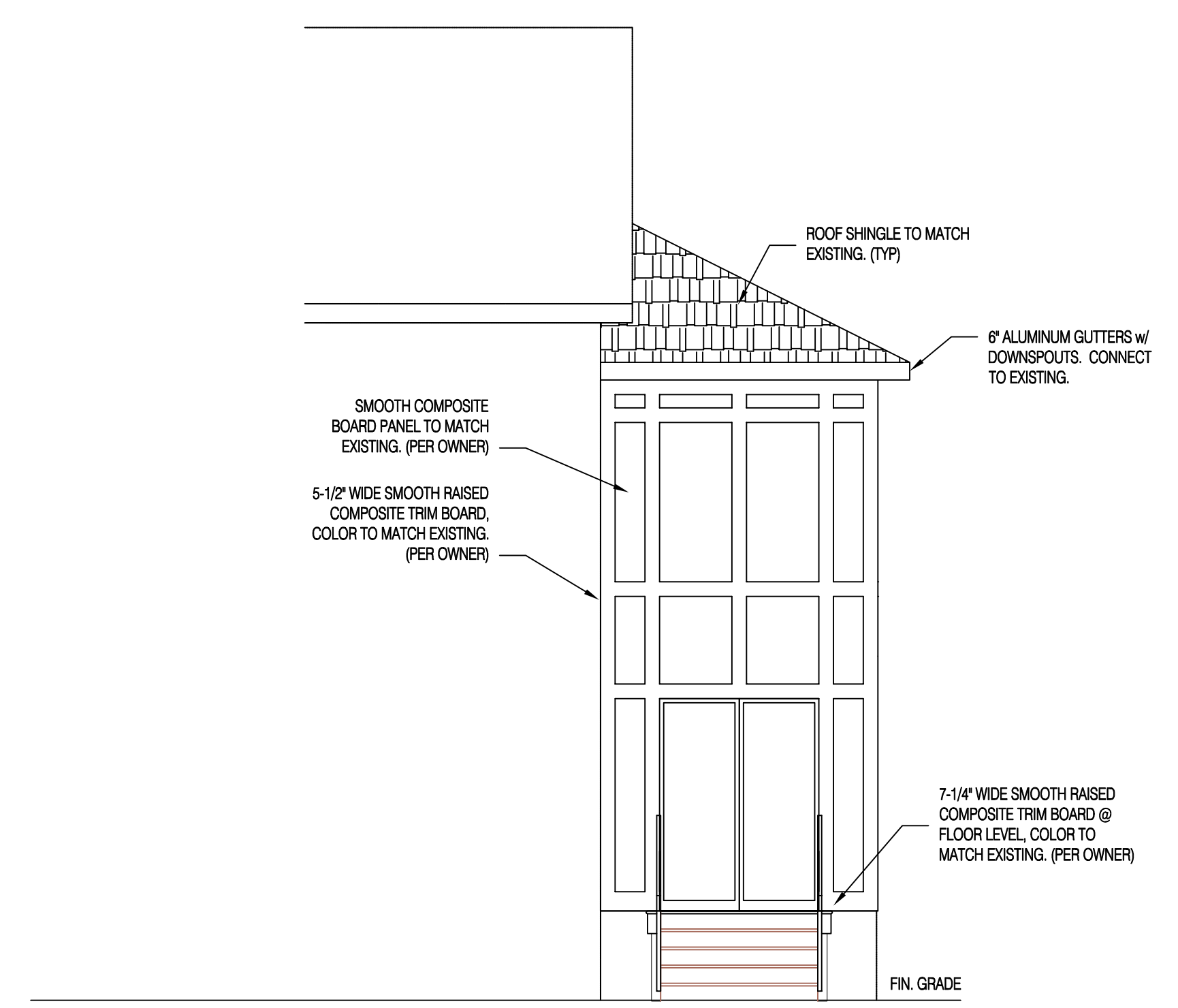
PROJECT:
 EXISTING SINGLE FAMILY RESIDENCE - ADDITION
 DAVIS RESIDENCE
 2253 ARLINGTON AVENUE
 UPPER ARLINGTON, OH
PREPARED FOR:
 MR. THAD DAVIS
 UPPER ARLINGTON, OHIO

SHEET TITLE	
COVER PAGE/ GENERAL NOTES	
PROJECT NO.	
69068-6069	
DATE:	
6/20/2022	
DRAWN BY	REVIEWED BY
DC	JAK
1 of 3	

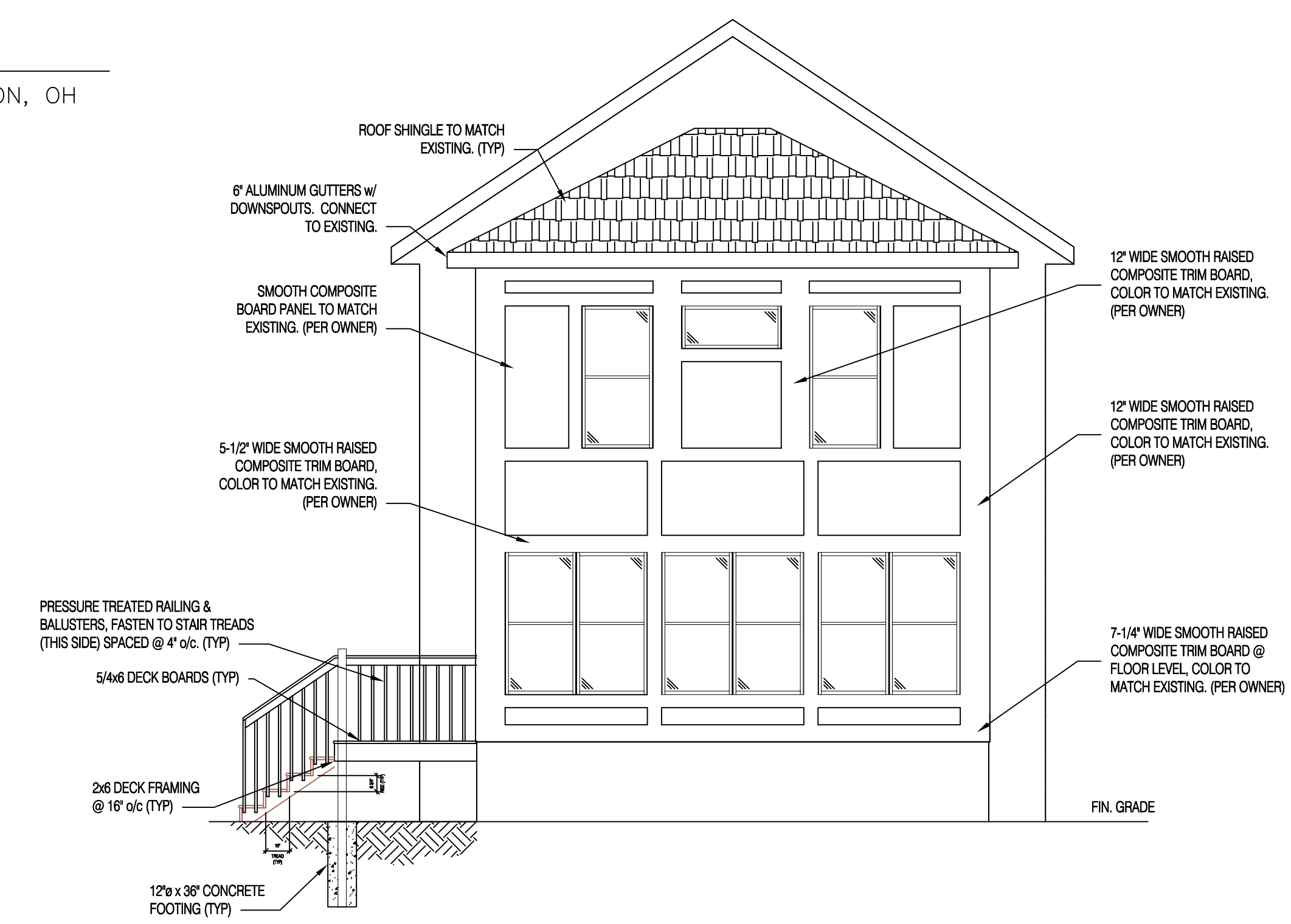
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△	6/6/22 REVISION #1
△	6/20/22 FINAL DRGWS



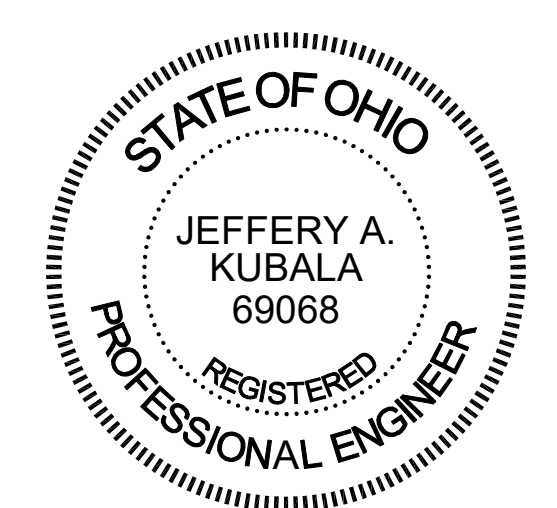
E2 FRONT ELEVATION
 2253 ARLINGTON AVENUE – UPPER ARLINGTON, OH
 SCALE: 1/4" = 1'-0"



E3 REAR ELEVATION
 2253 ARLINGTON AVENUE – UPPER ARLINGTON, OH
 SCALE: 1/4" = 1'-0"



E1 LEFT SIDE ELEVATION
 2253 ARLINGTON AVENUE – UPPER ARLINGTON, OH
 SCALE: 1/4" = 1'-0"

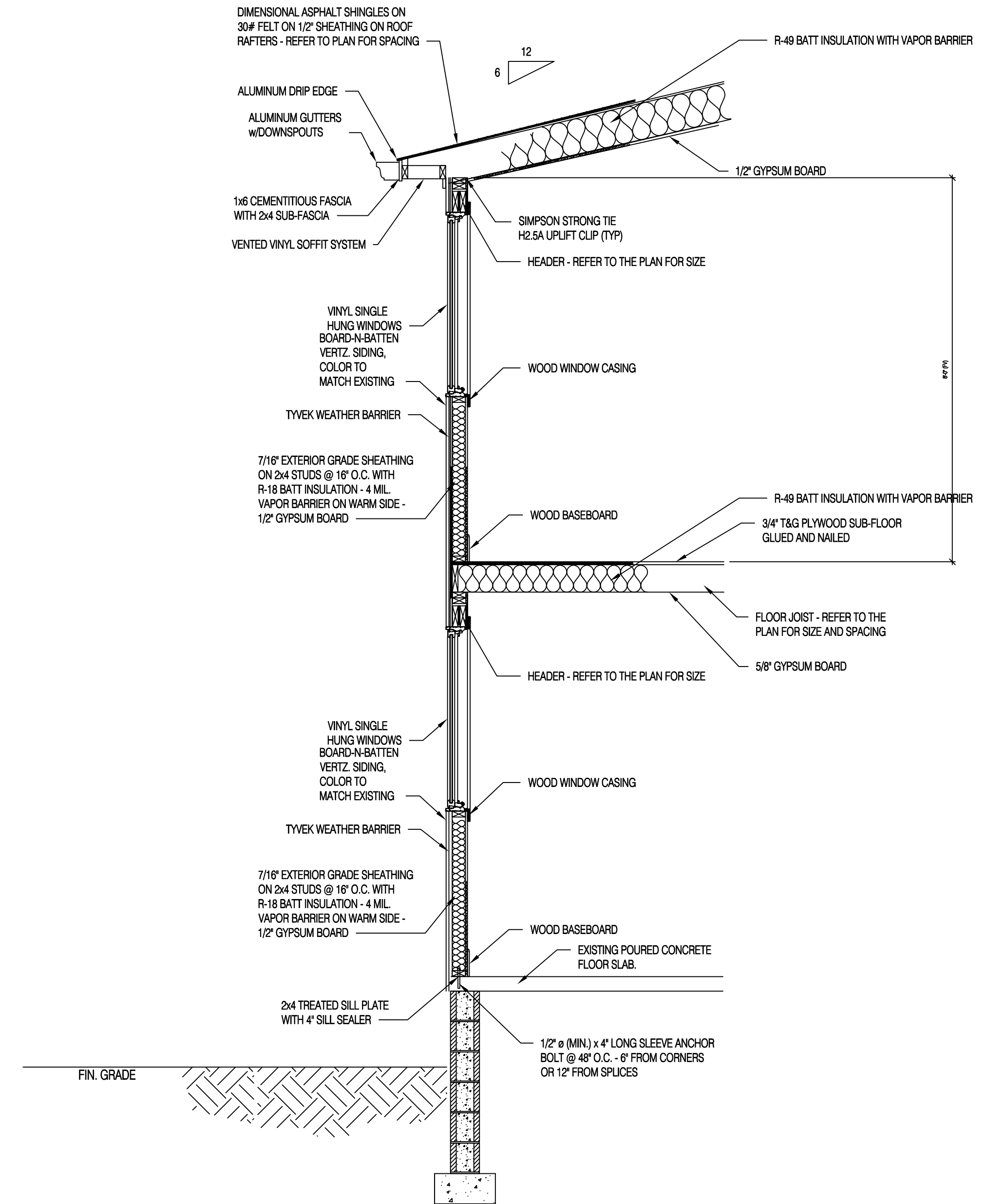
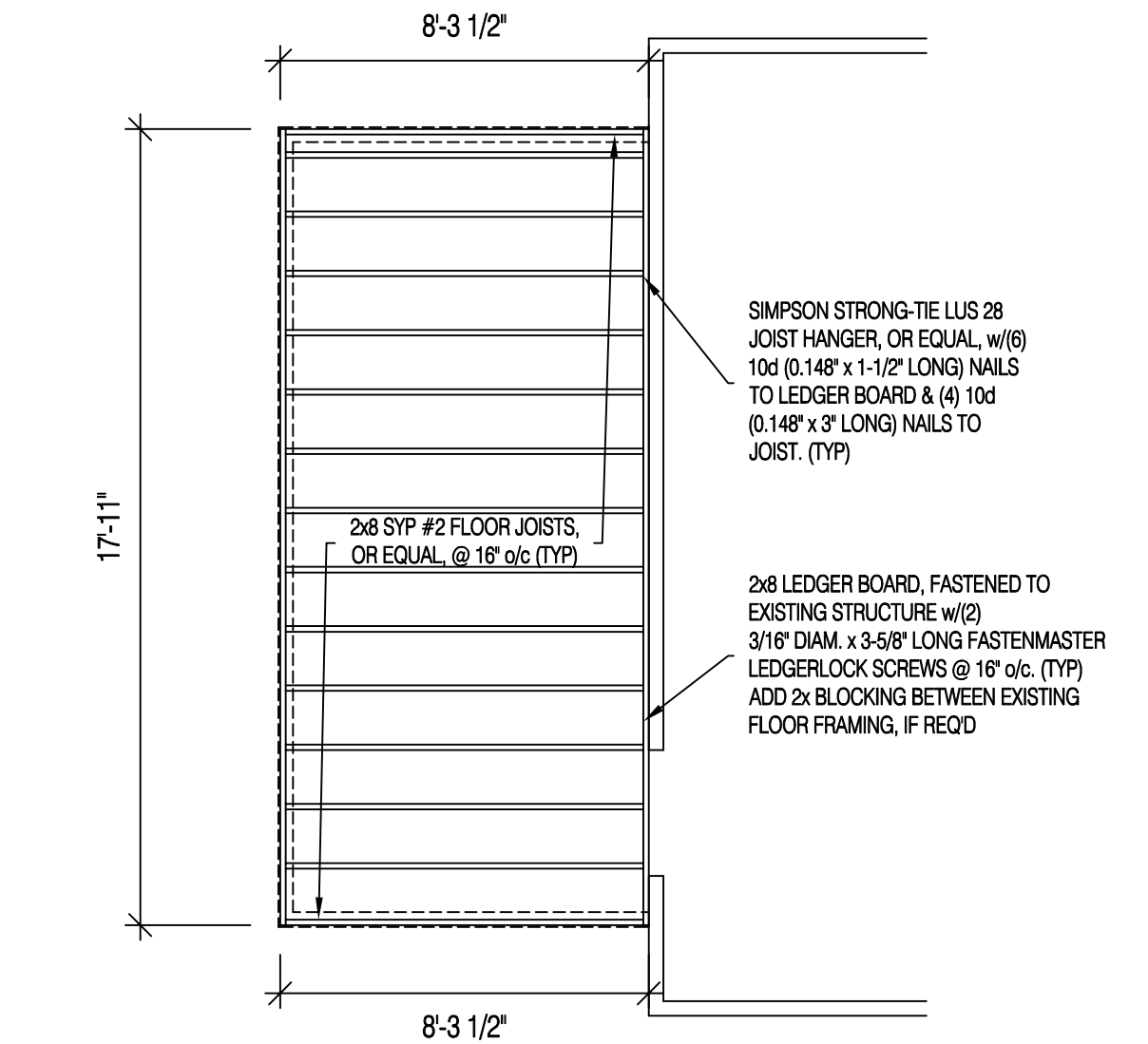
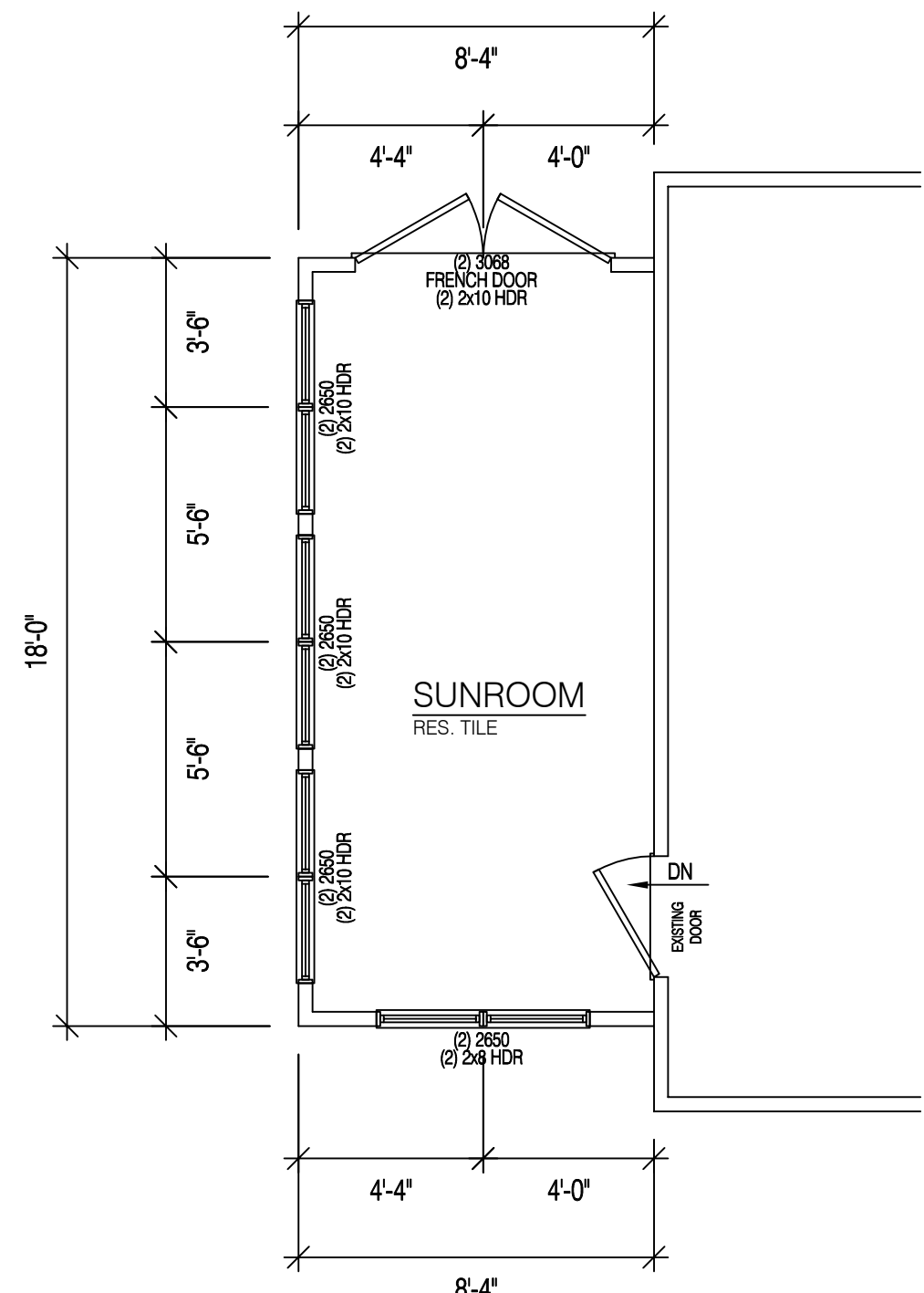
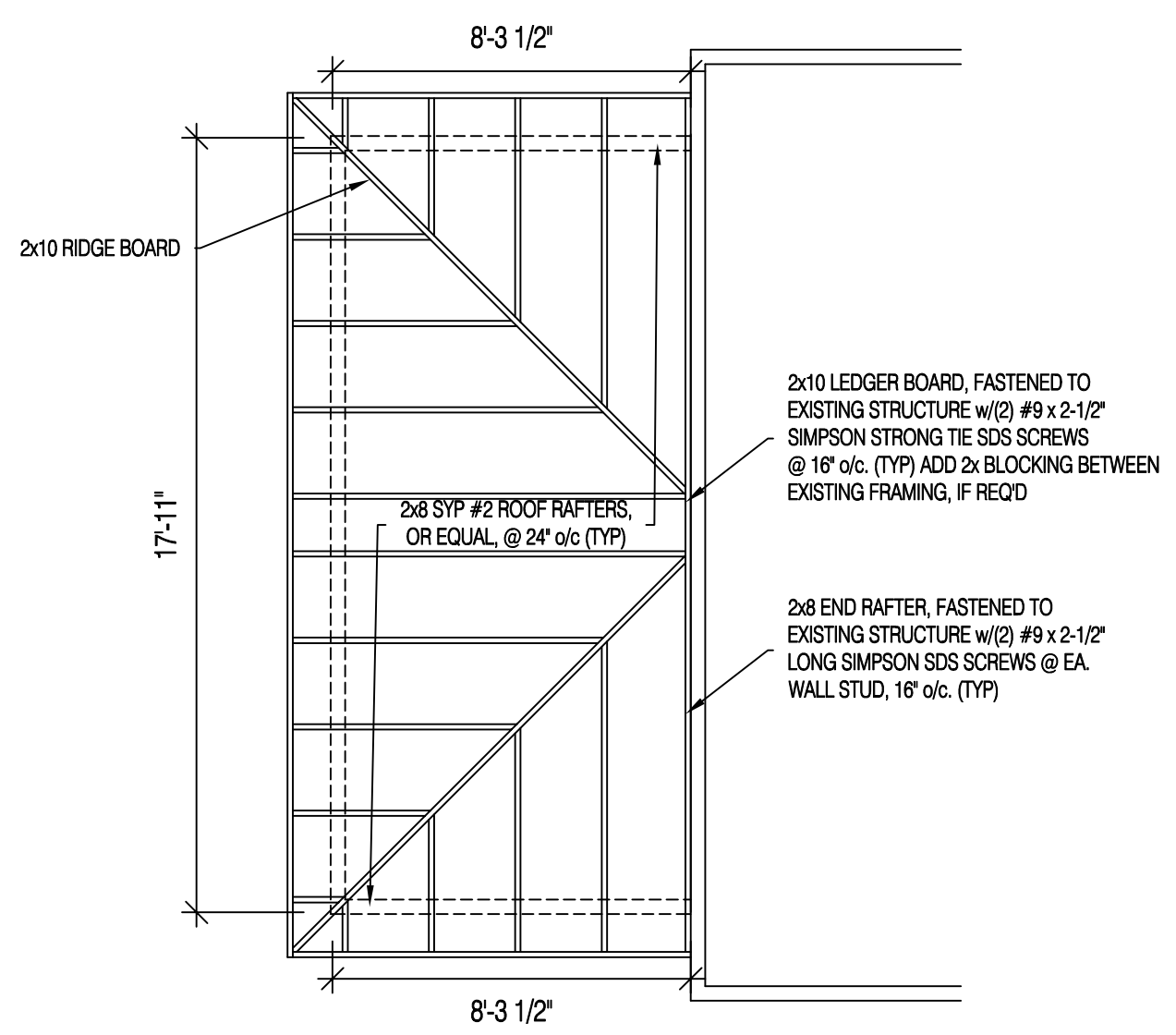
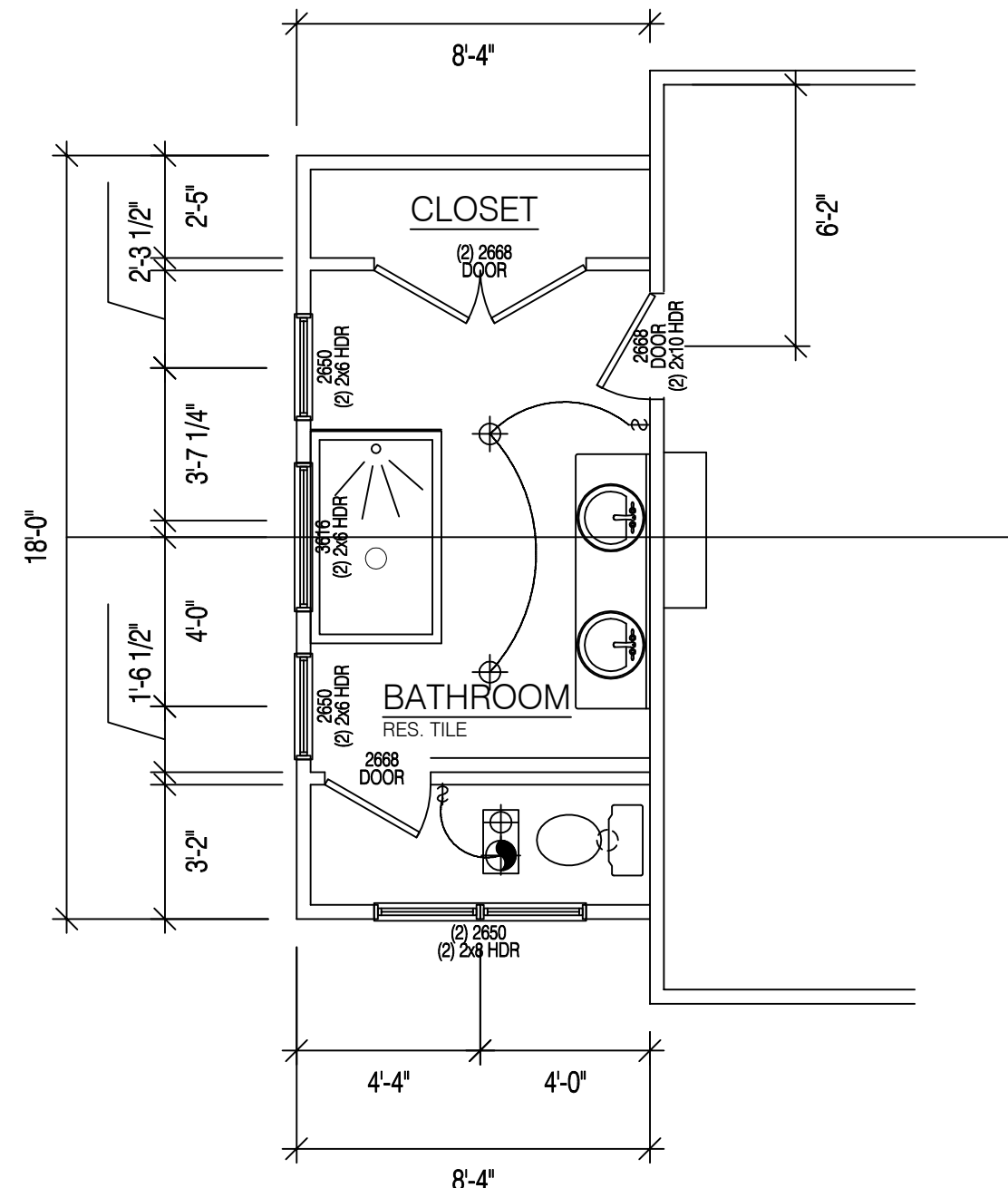


JEFFERY A. KUBALA #69068
 EXPIRATION DATE: 12-31-23

PROJECT:
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 DAVIS RESIDENCE
 2253 ARLINGTON AVENUE
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PREPARED FOR:
 MR. THAD DAVIS
 UPPER ARLINGTON, OH

SHEET TITLE	
ELEVATIONS	
PROJECT NO.	
69068-6069	
DATE:	
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DC	JAK
2 of 3	



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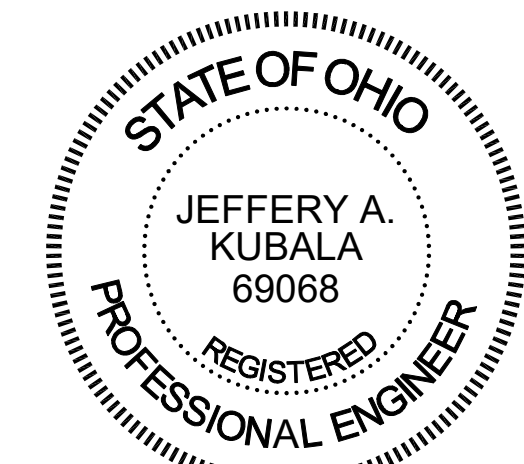
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REVISIONS	
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△	6/6/22 REVISION #1
△	6/20/22 FINAL DRGWS

PROJECT:
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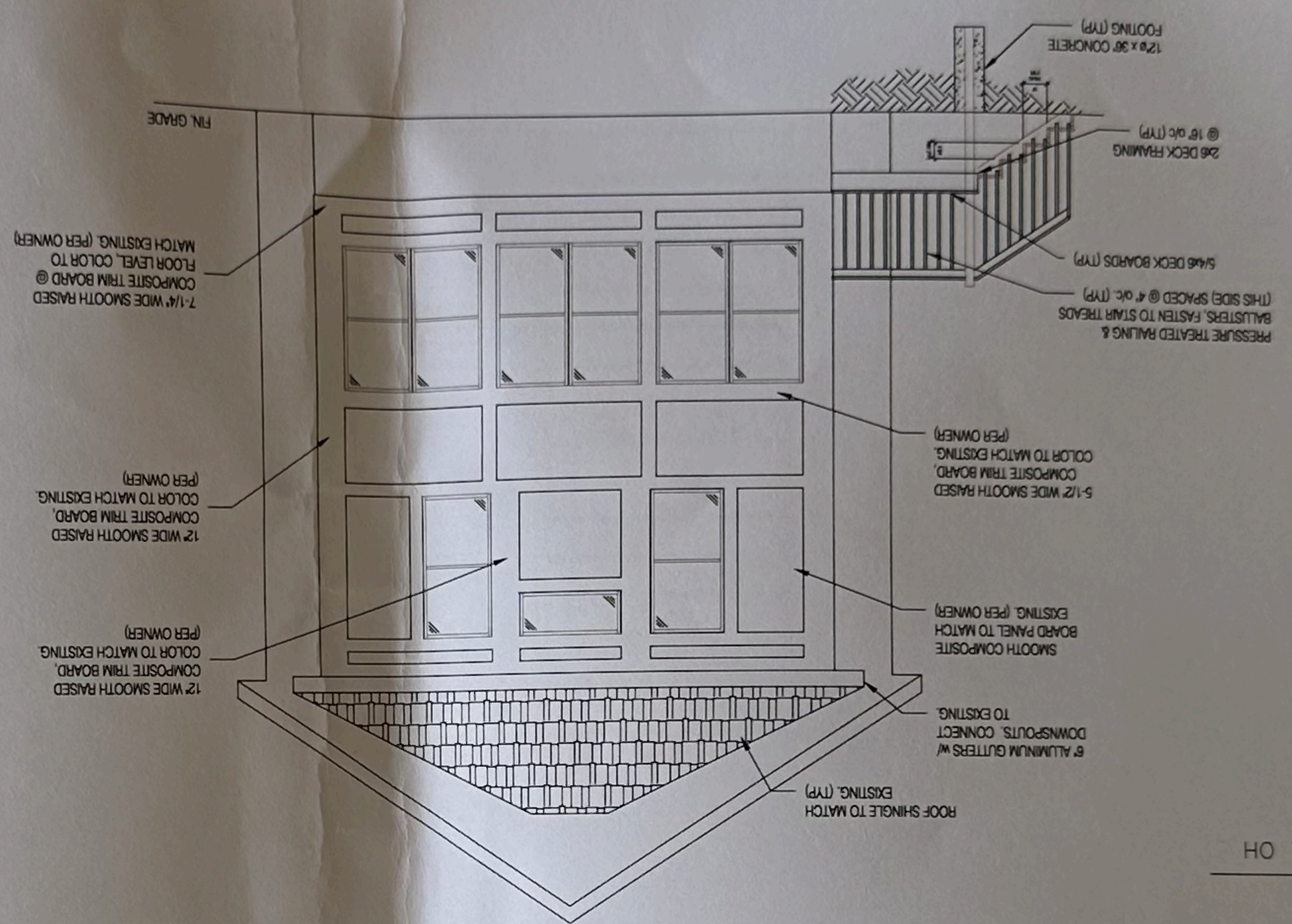
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FRAMING PLANS	
PROJECT NO.	
69068-6069	
DATE:	
6/20/2022	
DRAWN BY	REVIEWED BY
DC	JAK
3 of 3	

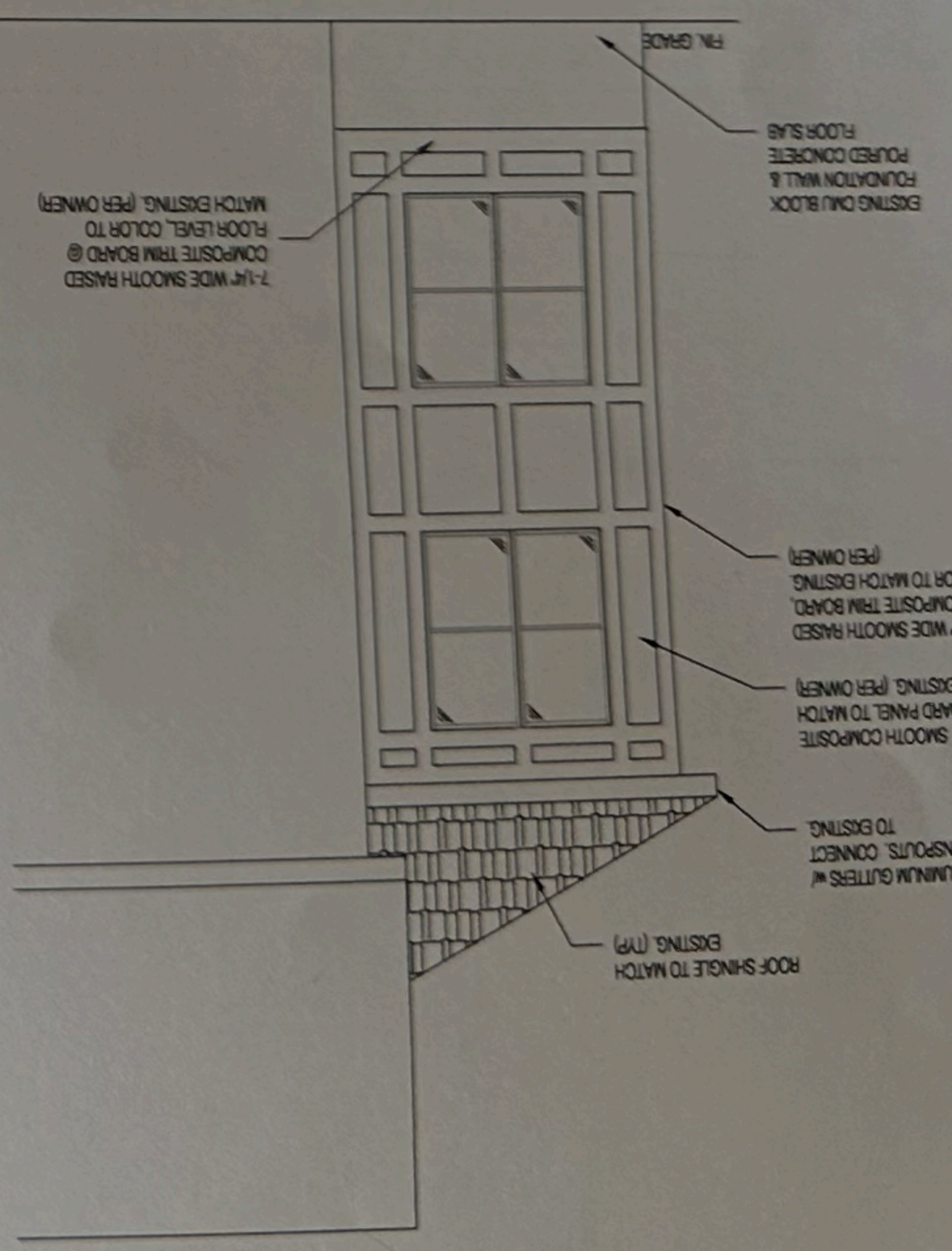


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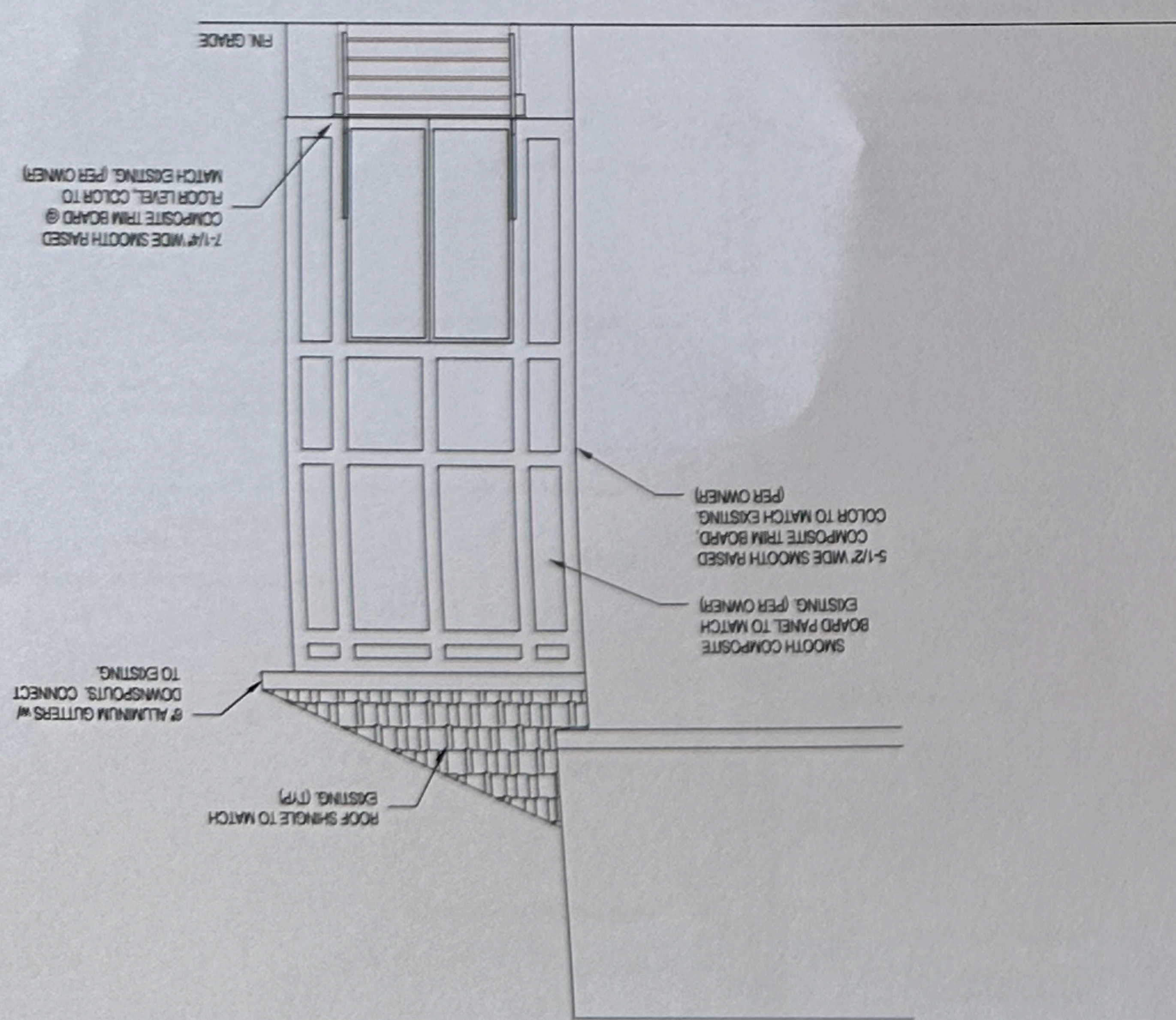
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JEFFERY A. KUBALA #69068
 EXPIRATION DATE: 12-31-23



2 of 3	
DC	JAK
BY	BY
REVIEWED	REVIEWED
DATE: 6/20/2022	
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ELEVATIONS	
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PROJECT:
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REVISIONS	DATE	BY	DESCRIPTION
1	5/9/22	PRELIM DRAWS	
2	5/20/22	FINAL DRAWS	

LEGACY ENGINEERING, LLC
 15000 W. LEGACY ENGINEERING, LLC
 COLUMBUS, OH 43224
 P.O. BOX 340282
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Certification of Notice

Applicant Name: Thaddeus & Melissa Davis

Location of property subject to BZAP request: 2253 Arlington, Oh 43221
Ave

Describe activity which requires Board of Zoning and Planning review:

Set-back variance exemption (2nd floor addition built on existing porch structure; no change in footprint)

This application will be heard by the Board of Zoning and Planning on: April 19, 2023

Board of Zoning and Planning (BZAP) meetings begin at 6 PM on Wednesdays and are held at the Upper Arlington Municipal Services Center, 3600 Tremont Road, Upper Arlington, Ohio, 43221. Due to the ongoing COVID-19 pandemic, meetings MAY be held remotely via video conference and telephone call-in. Meeting location details and additional instructions will be provided on the Agenda, which is posted on the City's website at docs.uaoh.net/AgendaOnline. For further information, please contact the Planning Division at planning@uaoh.net.

Your signature below **DOES NOT** constitute approval or disapproval of the request. Your signature only represents that you have been properly notified of the request. You are encouraged to attend any and all meetings regarding this matter.

no one living here →
no one living here →

Address of Property to be notified:	Property Owner Name:	Property Owner Signature or Certified Mail No.:	Date obtained or Mail sent:
2259 Arlington	Pat & Katie Hesketh	Katie Hesketh	3/6/23
2265 Arlington	Frances Cercek	10223330 0001 7187 5841	3/20/23
2254 Fairfax	Kurt Stuckenbrock	1022 3330 0001 7187 5834	↓
2246 Fairfax	Jason Sauer	1022 3330 0001 7187 5858	
2236 Fairfax	David Bloomfield	1022 3330 0001 7187 5865	
2228 Fairfax	Margaret Turpy	1022 3330 0001 7181 5872	
2222 Fairfax	Robert Carlisle	1022 3330 0001 7187 5889	
2233 Arlington	Robert Schlatter	Robert Schlatter	3-9-23
2241 Arlington	Nicholas Hazelbaker	[Signature]	3-9-23
2247 Arlington	Portia Hanson	102233300001 71873892	3/20/23
2210 Arlington	Christopher McClung	Rebecca McClung	3/16/23
2250 Arlington	Ruth Dangel	Ruth Dangel	3/6/23
Applicant Signature: <u>Melissa R Davis</u>			Date: <u>3/20/23</u>

Thaddeus & Melissa Davis
2253 Arlington Avenue
Columbus, OH 43221
(614) 558-2642 | (614) 668-7749

March 9, 2023

Dear Neighbor,

We are writing to inform you that, in our efforts to initiate a home improvement project, we will be applying for a variance exemption for our home located at 2253 Arlington Avenue. While we are not changing the footprint of our current structure, the existing screened-in porch-that will become finished and built upon encroaches on the set-back code for Upper Arlington.

Should you have concerns regarding this project, the UA Board of Zoning & Planning will review this application on April 19, 2023 at 6 pm at the UA Municipal Services Center (3600 Tremont Road, Upper Arlington, OH 43221) and you are encouraged to attend. You can find more details regarding this meeting on the city's website or you may contact the Planning Division at planning@uaoh.net.

Warm Regards,

The Davis Family