



4/3/2024 | 6:00 PM

**Municipal Services Center, Council Chamber
3600 Tremont Road**

If you are joining through Zoom, please click the link below to join the meeting:
<https://us06web.zoom.us/j/87960308160>

1. Old Business

- a. 2355 North Star Road/1480 W. Lane Avenue (#23-3185) - Review of an updated Certificate of Zoning Compliance application concerning access to/from North Star Road for OhioHealth. [This application was previously subject to an appeal.]

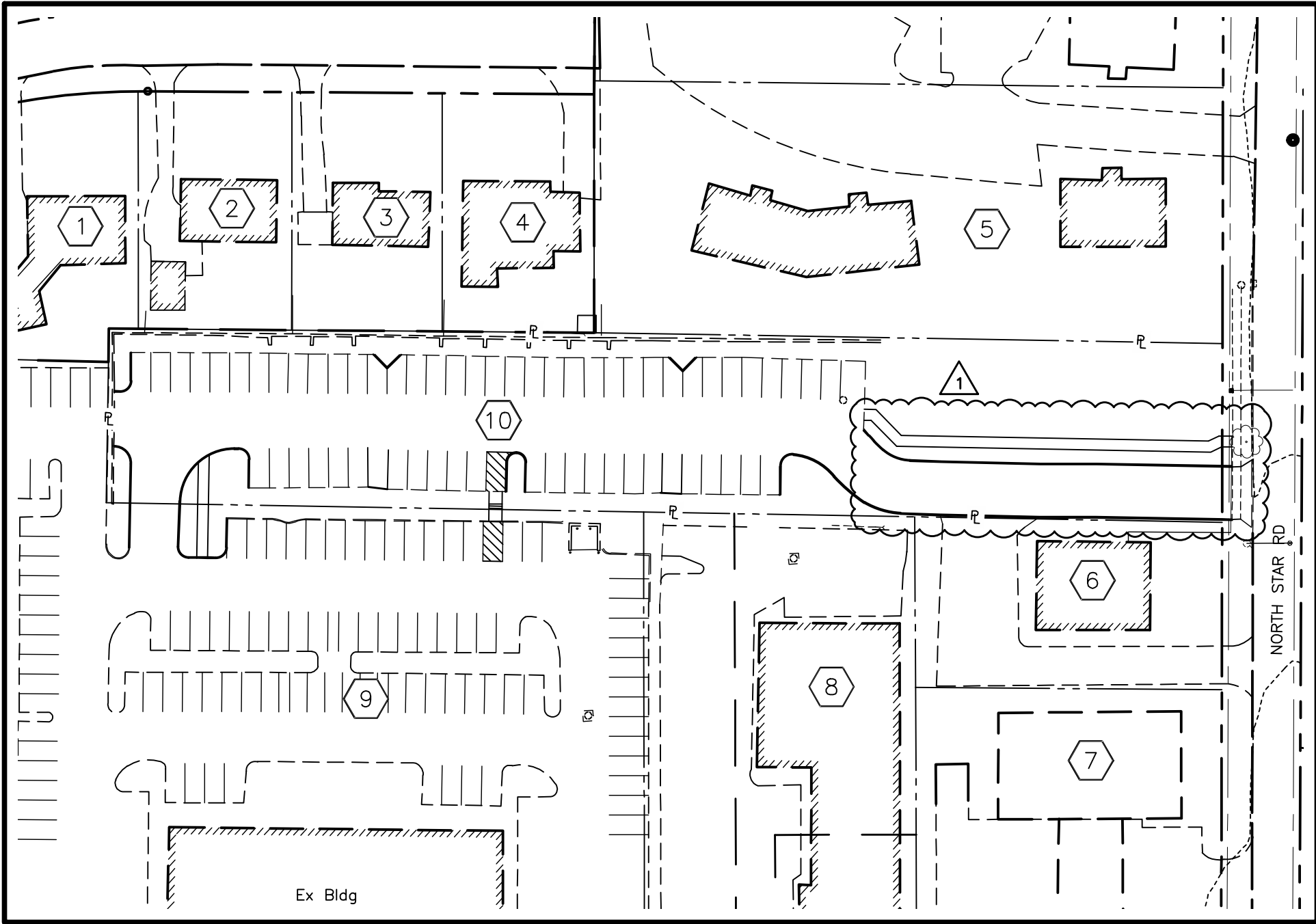
2. Informal Review

- a. 2001 Northwest Boulevard (DEV-01-24) - Review of an Amended Major Site Plan and Conditional Use with variances for exterior improvements and signage to Holy Trinity Lutheran Church.

CITY OF UPPER ARLINGTON, FRANKLIN COUNTY, OHIO
PRIVATE SITE IMPROVEMENT PLAN
FOR
OHIO HEALTH LANE
PARKING LOT MODIFICATIONS
2023

BENCH MARKS
(NAVD 1988)

- BM#41 Chiseled square on the north side of a concrete light pole base located
275 feet north of the northwest building corner of 1480 W. Lane Ave.
Elev. = 837.00
- BM#42 Chiseled square on the north side of a concrete light pole base located
275 feet north of the northeast corner of 1480 W. Lane Ave.
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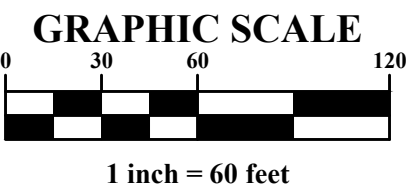


INDEX MAP
Scale: 1" = 60'

STANDARD CONSTRUCTION DRAWINGS

The Standard Construction Drawings listed on these plans are to be considered a part thereof.

- AA-S112
AA-S115
AA-S133B



SHEET INDEX

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PAVEMENT PLAN	5
UTILITY AND GRADING PLAN	6
EROSION CONTROL PLAN	7
LANDSCAPE PLAN	8
LANDSCAPE DETAILS AND NOTES	9

DEVELOPER/OWNER

Eiford
Ally Ritter
1220 Dublin Road
Columbus, Ohio 43215
Tel: (614) 315-4277



OWNERSHIP

- 1 Song Young
APN: 070-008041-00
Deed Acreage: 0.1863 ac
- 2 Sharon S Arnold
APN: 070-008040-00
Deed Acreage: 0.1752 ac
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PREPARED BY:



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Engineers • Surveyors • Planners • Scientists
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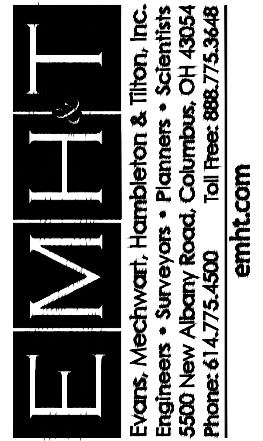
E-82869

8/22/2023
Date

MARK	DATE	DESCRIPTION
Δ	07/09/24	Revision 1 - Widened Entry Drive

Eiford

CITY OF UPPER ARLINGTON, FRANKLIN COUNTY, OHIO
PRIVATE SITE IMPROVEMENT PLAN
FOR
OHIO HEALTH LANE
TITLE SHEET



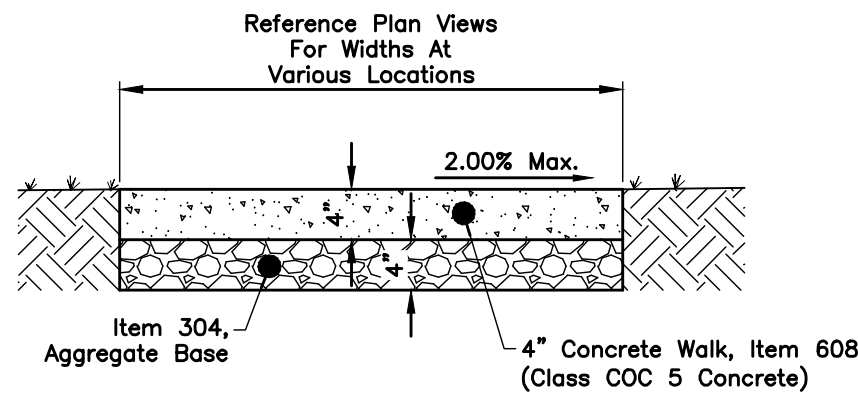
DATE
January 12, 2023

SCALE
1" = 60'

JOB NO.
20230106

SHEET
1/9

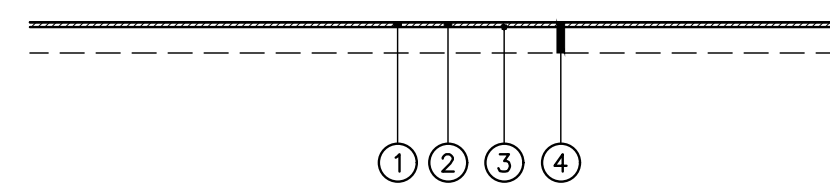
J:\20230106\Drawings\Site Improvement Plan\20230106 - General Notes & Details.dwg, Last Saved By: jwharton, 3/13/2024 7:33 PM Last Printed By: Wharton, Jordan, 3/14/2024 8:48 AM (No Xrefs)



NOTES

Sidewalk Joints Shall Be In Accordance With CMSC Item 608.03 Unless Otherwise Detailed As A Part Of The Building Or Landscape Architect Plans.

A **DETAIL**
CONCRETE SIDEWALK Not to Scale



- Item 254, 1-1/2" Pavement Planing, Asphalt Concrete
- Item 448, 1-1/2" Asphalt Concrete, Surface Course, Type 1 Medium Traffic, PG 64-22
- Item 407, Tack Coat (Applied @ A Rate Of 0.10 Gal./sq.yd.) Contractor Shall Clean Asphalt Surface Prior To Application.
- Existing Pavement Or Gravel

D **DETAIL**
ASPHALT OVERLAY WITH PAVEMENT PLANING Not to Scale

General Notes:

- The height of a silt fence shall not exceed 16-inches (higher fences may impound volumes of water sufficient to cause failure of the structure).
- The filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints. When joints are necessary, filter cloth shall be spliced together only at a support post, with a minimum of a 6 inch overlap, and securely sealed.
- Posts shall be spaced a maximum of 10 feet apart at the barrier location and driven securely into the ground (minimum of 12 inches).
- A trench shall be excavated approximately 4 inches wide and 6 inches deep along the line of posts and upslope from the barrier.
- The standard strength filter fabric shall be stapled or wired to the fence, and 8 inches of the fabric shall be extended into the trench. The fabric shall not extend more than 16 inches above the original ground surface. Filter fabric shall not be stapled to existing trees.
- The trench shall be backfilled and soil compacted over the filter fabric.
- Silt fences shall be removed when they have served their useful purpose, but not before the upslope area has been permanently stabilized.

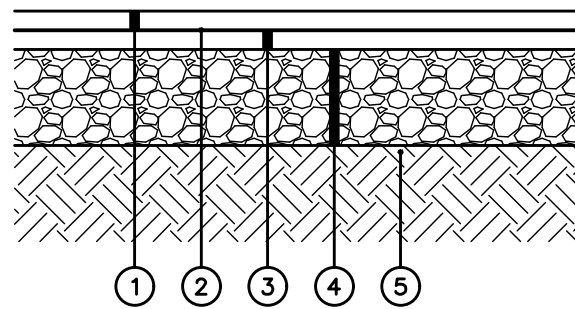
Maintenance Notes:

- Silt fences and filter barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately. Should the fabric on a silt fence or filter barrier decompose or become ineffective prior to the end of the expected usable life and the barrier is still necessary, the fabric shall be replaced promptly.
- Sediment deposits should be removed after each storm event. They must be removed when deposits reach approximately one-half the height of the barrier.
- Any sediment deposits remaining in place after the silt fence or filter barrier is no longer required shall be dressed to conform with the existing grade, prepared and seeded.

Notes:

-The use of straw wattles has proven to be a versatile and effective ESC BMP, especially in residential settings. Straw wattles may be substituted for silt fence.
-Additionally, the use of compost filter socks and compost blankets are gaining wider acceptance nationwide. They are now approved for use on all Columbus SWPPP plans and construction sites.

G **DETAIL**
SEDIMENT FENCE Not to Scale

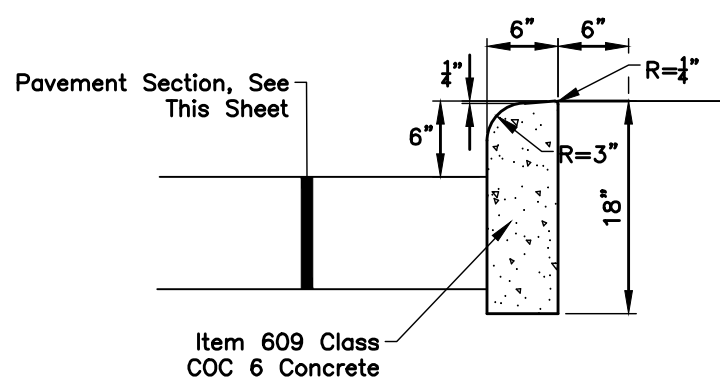


- CMSC Item 441, 1.5" Asphalt Concrete, Surface Course, Type 1, (448) PG 64-22
- CMSC Item 407, Tack Coat, Applied At A Rate Of 0.10 Gal. Per Sq. Yd.
- CMSC Item 441, 1.5" Asphalt Concrete, Intermediate Course, Type 2, (448)
- CMSC Item 304, 6" Aggregate Base
- CMSC Item 204, Subgrade Compaction

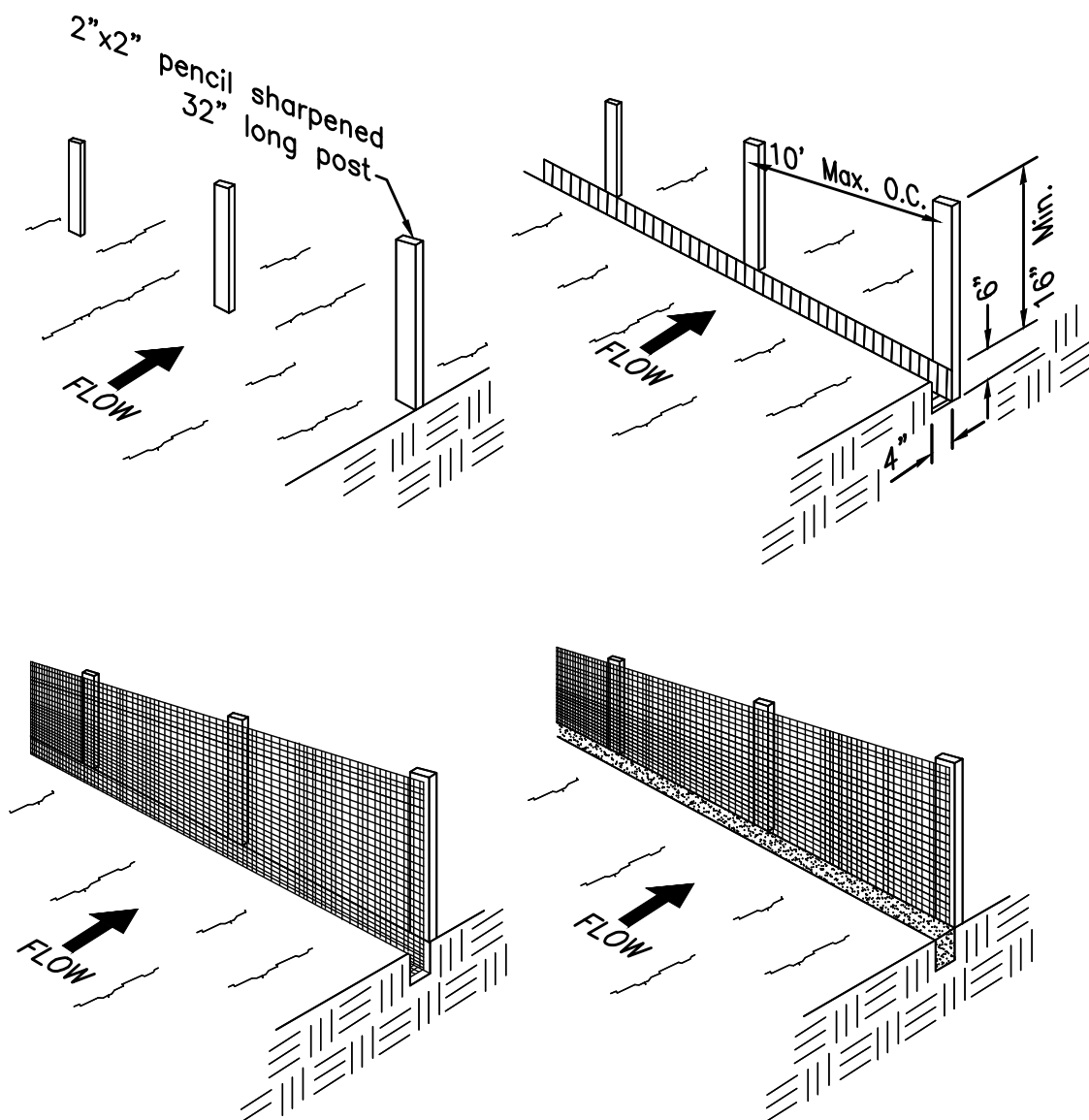
NOTES

- Pavement Recommendation Provided By [Geotechnical Consultant] EMH&T Assumes No Liability For Pavement Section

B **DETAIL**
STANDARD DUTY ASPHALT PAVEMENT Not to Scale

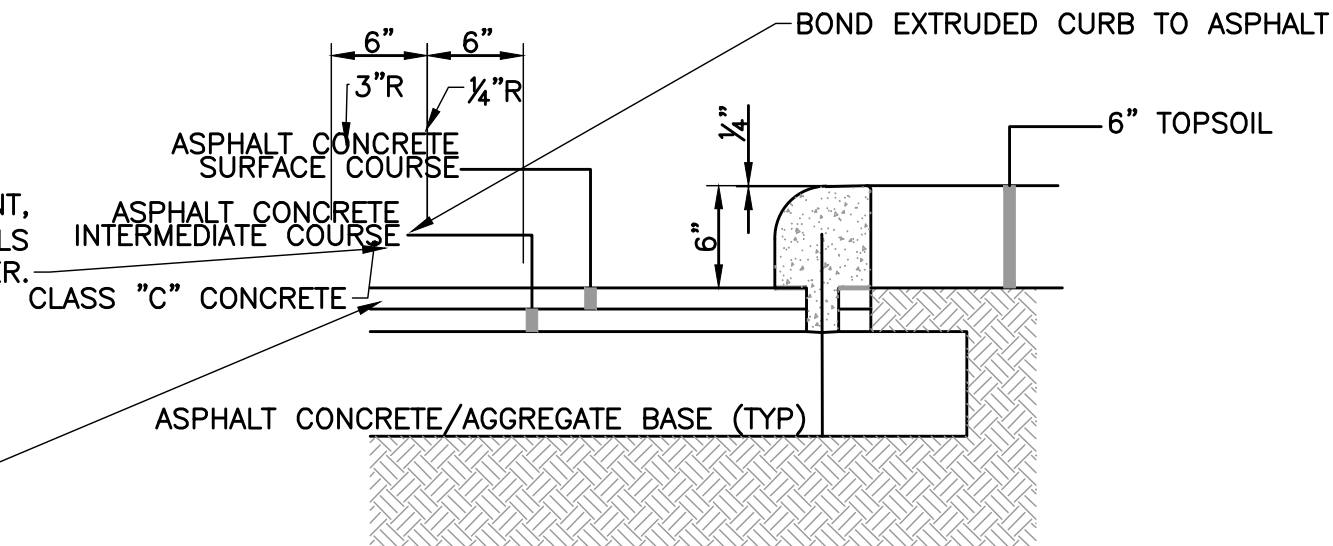


E **DETAIL**
CURB, 18" STRAIGHT WITHOUT UNDERDRAIN Not to Scale

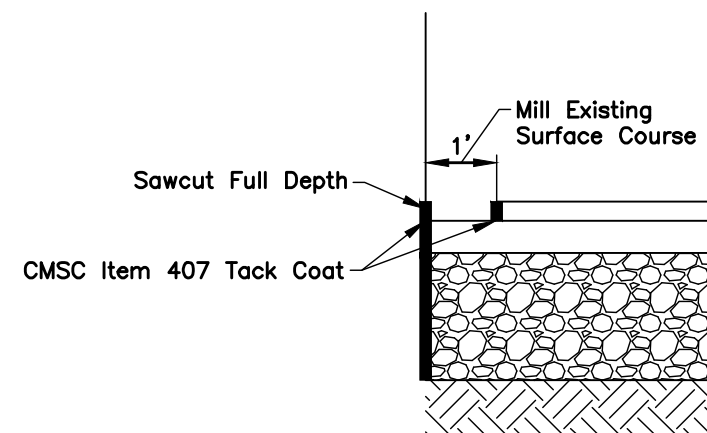


"KEY" CONCRETE CURB TO PAVEMENT, SPACE 3" HOLE AT 4' INTERVALS OR AS DIRECTED BY ENGINEER.

1/2" REBAR 12" LONG PLACED EVERY 8' IN EVERY OTHER "KEY". TOP OF REBAR TO BE PLACED THAT END OF REBAR IS 2" BELOW FINISHED TOP OF CURB.



C **DETAIL**
EXTRUDED CURB Not to Scale



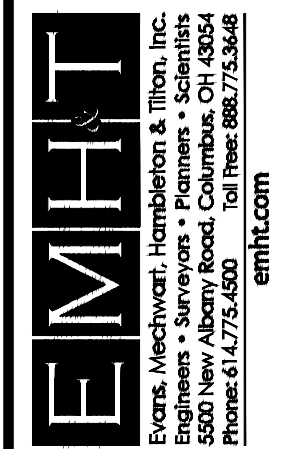
F **DETAIL**
SAWCUT JOINT DETAIL Not to Scale

REVISIONS

MARK	DATE	DESCRIPTION

Elford

CITY OF UPPER ARLINGTON, FRANKLIN COUNTY, OHIO
PRIVATE SITE IMPROVEMENT PLAN
FOR
OHIO HEALTH LANE
DETAILS



DATE

January 12, 2023

SCALE

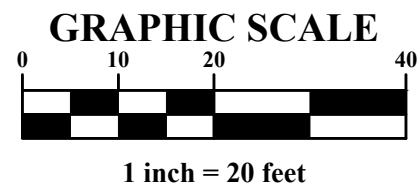
1" = 20'

JOB NO.

20230106

SHEET

3/9



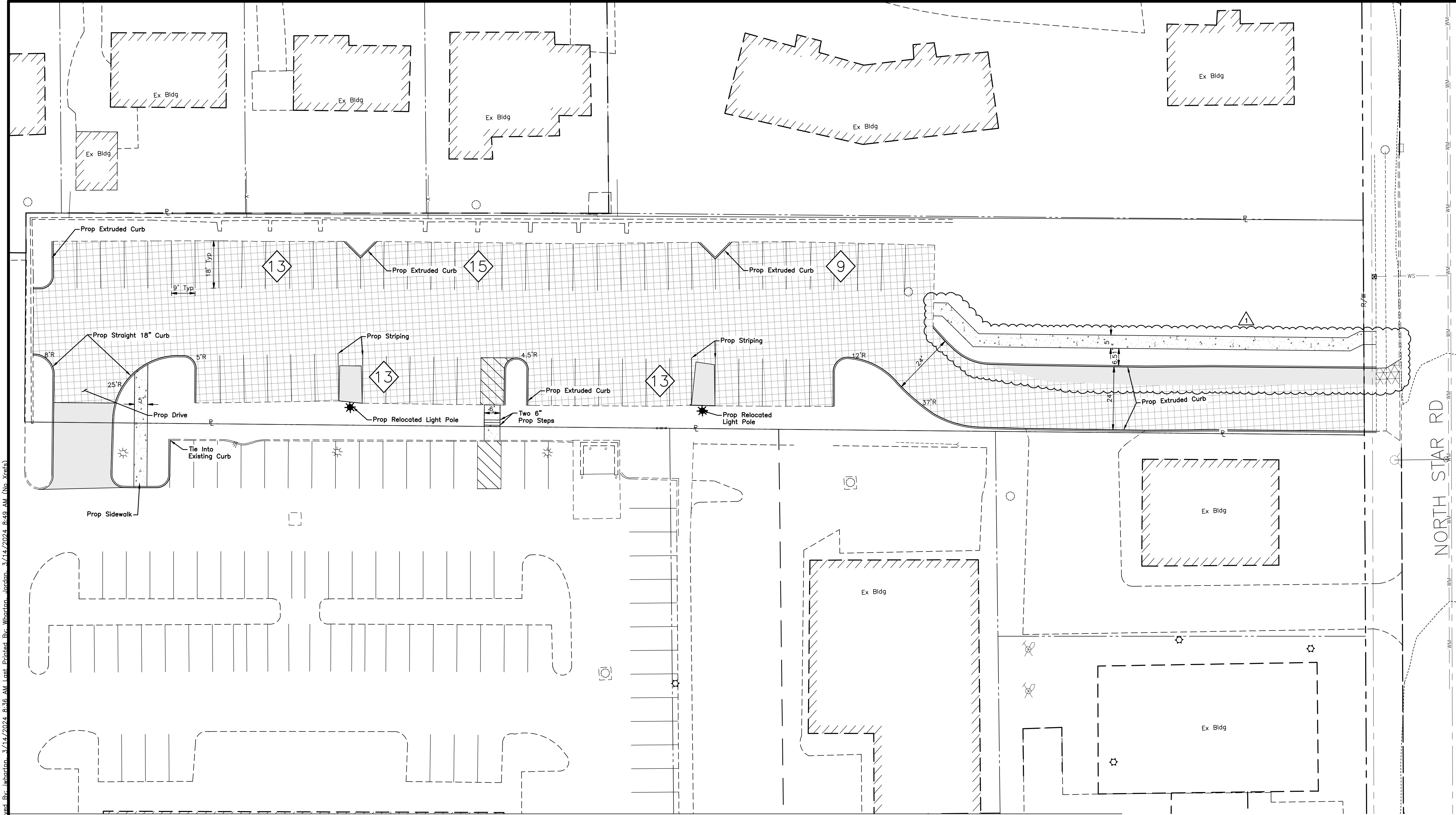
NOTES:

1. The existing conditions & demolition plan depict site conditions prior to any construction activity being performed within this area. The Contractor shall complete a field visit prior to starting construction to verify site conditions and demolition within the limits of disturbance.
2. CAUTION: The existing utilities on this plan are shown in their approximate location. The Contractor shall be responsible for contacting OUPS and to field locate existing utilities prior to construction.
3. Any existing inlets impacted by the new construction activity will need the appropriate inlet protection for sediment control.

SHEET

4/9

\\20230106\Drawings\Site Improvement\Plan\20230106 - Site Plan.dwg - Last Saved By: Wharton, Jordan - 3/14/2024 8:38 AM - Last Printed By: Wharton, Jordan - 3/14/2024 8:49 AM (No Xrefs)



LEGEND

	Proposed Light Duty Asphalt Pavement	B 3
	Mill/Overlay	D 3
	Proposed Concrete Sidewalk	A 3
	Proposed Concrete Approach (To Match Ex)	1 3
	Parking Count	C 3
	Curb	E 3

NOTES:

- All dimensions within parking lot pavement are given from face of curb. All other dimensions are given from back of curb or edge of sidewalk/pavement.
- All Radii on curb and sidewalk are 5' unless otherwise noted.
- Contractor to sawcut existing pavement to create clean edge for install of new pavement. Contractor shall dowel into ex pavement per ODOT Standard Drawing BP-2.2.
- Striping shall be applied to asphalt surfaces per ODOT Item 642-Traffic Paint.
- Lighting improvements are shown for reference only. See Site Electrical Plan, SE.01 for more information.

MARK	DATE	DESCRIPTION
Δ	01/09/24	Revision 1 - Widened Entry Drive

Elford

CITY OF UPPER ARLINGTON, FRANKLIN COUNTY, OHIO
PRIVATE SITE IMPROVEMENT PLAN
FOR
OHIO HEALTH LANE
PAVEMENT PLAN

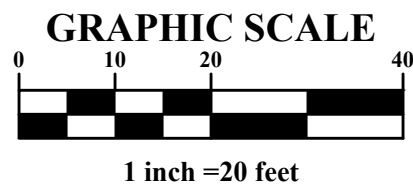
EMHT
E.M. HARTMAN & SONS, INC.
Engineers - Surveyors - Planners - Scientists
5500 New Albany Road, Columbus, OH 43254
Phone: 614.775.5500 Fax: 614.775.3468
emht.com

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20230106
SHEET
5/9

PARKING TABLE	
EX Spaces	73
Spaces Removed	11
Total Remaining	62

EXISTING LEGEND	
	Curb
	Sidewalk/Curb Ramp
	Fence
	Ditch
	Sanitary
	Sanitary Sewer Service
	Storm
	Gas
	Overhead Electric
	Existing Major Contours
	Existing Minor Contours
	Existing Tree Row
(TBRL)	To Be Relocated
(TBR)	To Be Removed
(DND)	Do Not Disturb
(ATG)	Adjusted To Grade
	Catch Basin
	Curb & Gutter Inlet
	Manhole
	Cleanout
	Fire Hydrant
	Valve
	Building
	Sign
	Ballard
	Light Pole
	Yard Light
	Flag Pole
	Transformer
	Pull Box
	Comm Box
	Fiber Optic
	Utility Pole
	Guy Anchor

LOT COVERAGE	
Total Acreage =	.95 ac
EX =	23,467 s.f.
PROP =	25,140 s.f.
Lot Coverage =	61%
Total change in impervious area	1,673 s.f.



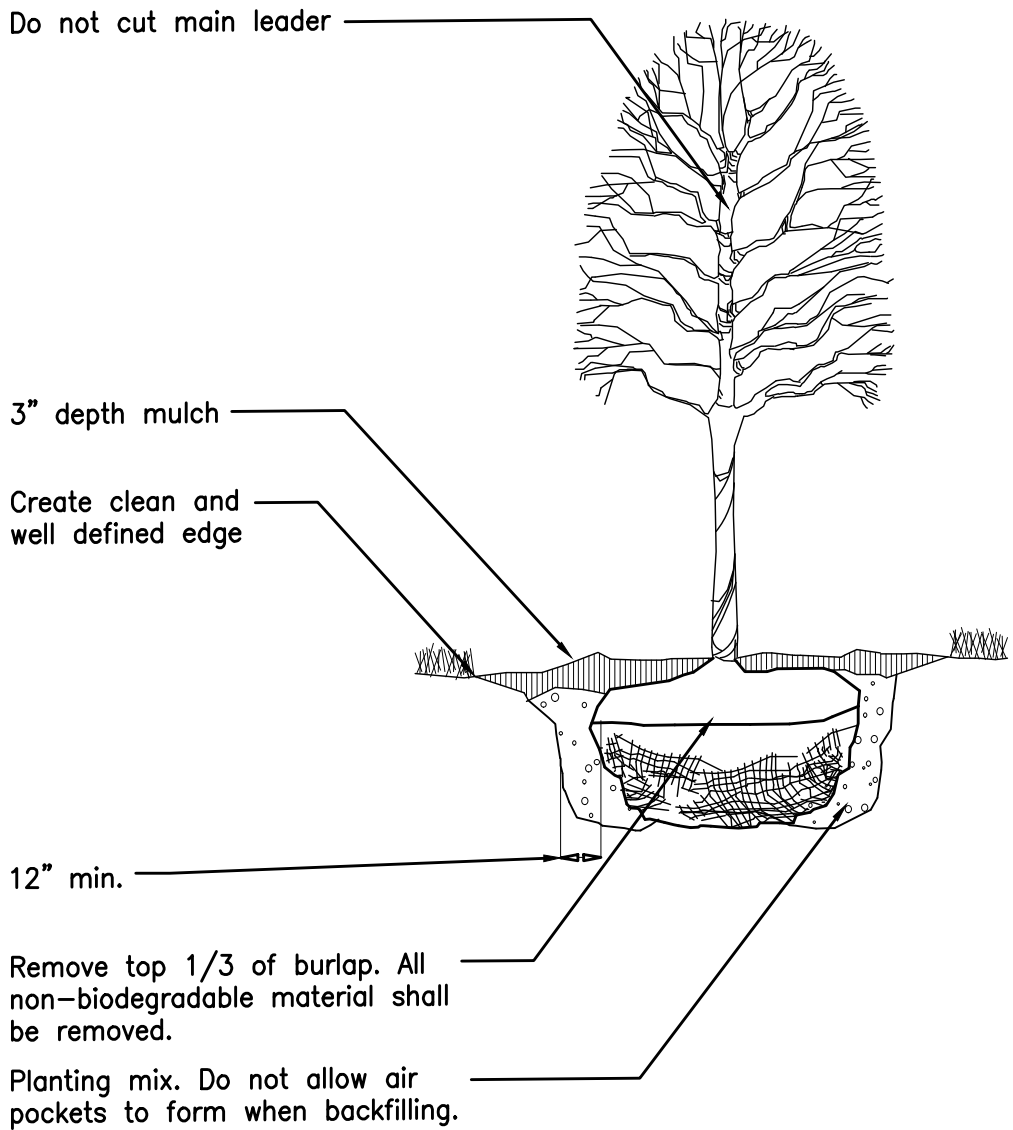


0 2.5 5 10

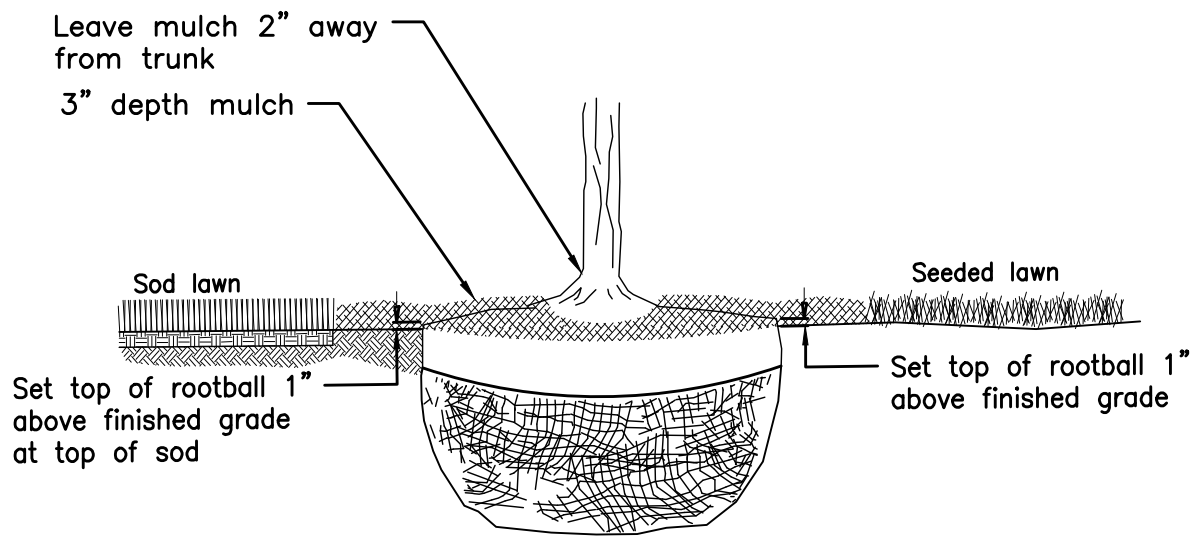
1 inch = 5 feet

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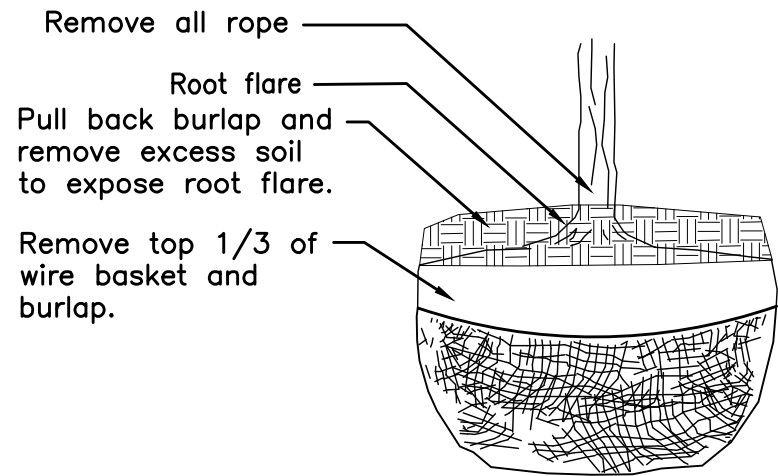
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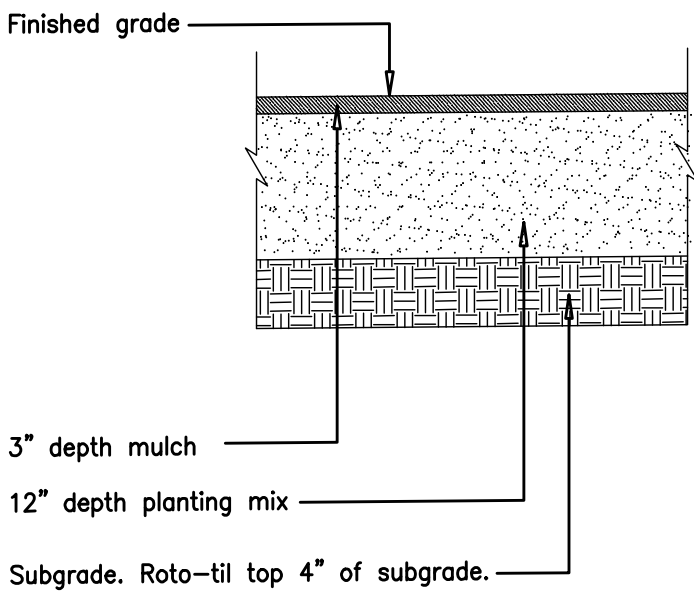
Deciduous Tree Planting
No Scale



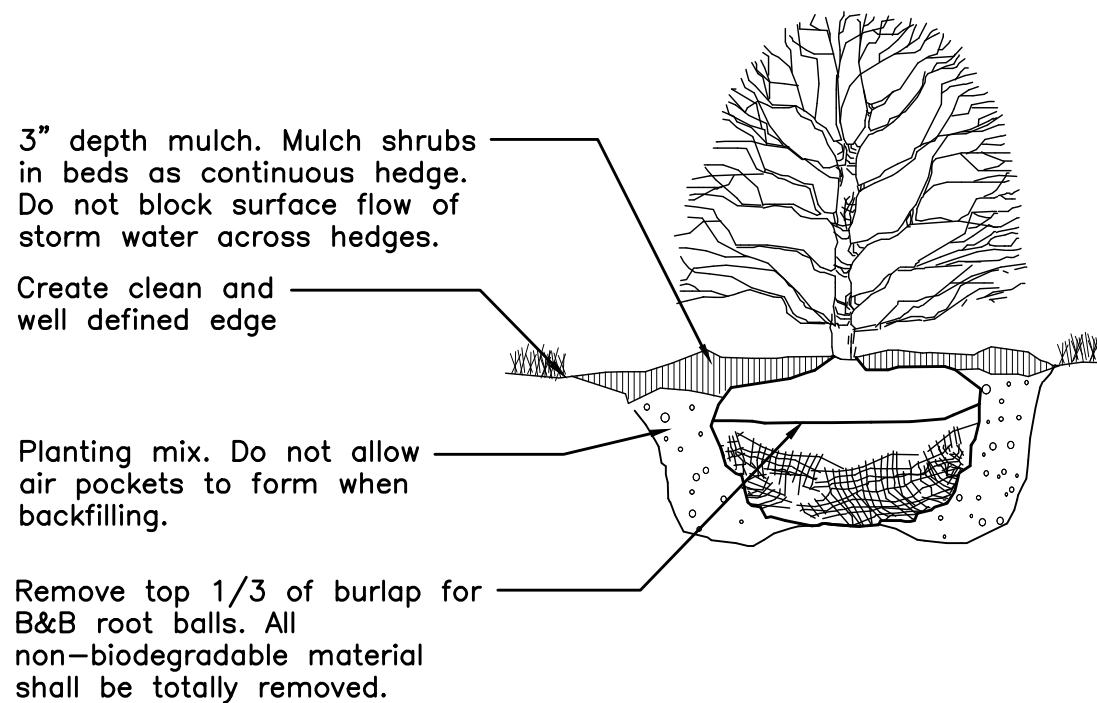
Rootball Setting
No Scale



Rootball Preparation
No Scale



Planting Area Establishment
No Scale



Shrub Planting
No Scale

GENERAL NOTES:

1. Prior to installation, the landscape contractor shall inspect the general site conditions and verify the subgrade, elevations, utility locations and topsoil provided by general contractor. The landscape contractor shall notify the general contractor of any unsatisfactory conditions and work shall not proceed until such conditions have been corrected and are acceptable to the landscape contractor.
2. All plants shall meet or exceed standards set in the American Standard for Nursery Stock, ANSI Z60.1, current edition. All plants shall equal or exceed the measurements and sizes specified in the schedule.
3. Substitutions shall only be permitted with notification and written approval from the Owner. Substituted material shall be equivalent or greater in size than the specified plant. Substituted plants shall have the same essential characteristics and growth habit of the specified plant.
4. Confirm location of all utilities and subsurface drain lines prior to plant installation.
5. A pre-installation conference shall be conducted prior to planting operations with Owner and Contractor present.
6. Contractor may slightly field adjust plant locations as necessary to avoid utilities. Finished planting beds shall be graded to provide positive drainage.
7. Irrigation system, if applicable, shall be complete and operational prior to landscape planting.
8. Contractor shall repair all lawn areas disturbed during construction with seed and warrant a healthy, weed free lawn prior to project acceptance.
9. Seed all areas within contract limits that are not covered by paving, buildings or planting beds unless otherwise noted. Seeding shall not begin until area has received topsoil and finished grade.
10. Mulch planting beds with shredded hardwood mulch of uniform dark brown color. It shall be free of twigs, leaves, disease, pest or other material unsightly or injurious to plants. Average applied thickness shall be 3" depth. Mulch hedges in a continuous bed.
11. Planting beds shall be covered with pre-emergent herbicide applied at product specified rate unless otherwise noted.
12. Bed edge shall be smooth, consistent, hand trenched 4" deep and "V" shaped unless otherwise noted. All excavated material shall be removed from the bed edge and planting bed.
13. All planting bed edges to be smooth flowing arcs or straight lines as shown on plan. Plant locations and layout of beds shall be located by Contractor and approved by Landscape Architect prior to planting.
14. Install all plants in accordance with planting details and specifications.
15. Parking lot and street trees shall have a clear canopy height of 6' min.
16. Trees shall be placed a minimum of 3' from sidewalks and curbs.
17. Planting Mix shall be blended, manufactured soil consisting of three (3) parts topsoil, one (1) part compost, one (1) part sand. Topsoil shall be per ASTM D5268, pH range of 5.5 to 7, min. 4 percent organic material, free of stones and soil clumps 3/4 inch and larger. Compost shall be yard waste compost from an EPA rated Class IV compost facility or Com-til compost from City of Columbus Department of Public Utilities. Sand shall be per Item ASTM C33. Proprietary manufactured Planting Mix such as Kurtz Bros. Professional Blend or Jones SuperSoil may be used. Submit product data for review by Owner. Place Planting Mix in settled 6 inch lifts.
18. Mix Mycorrhizal Fungi into Planting Mix during placement of Planting Mix. Application rate shall be according to manufacturer's written recommendations. Mycorrhizal Fungi shall be a dry, granular inoculant containing vesicular-arbuscular mycorrhizal fungi and ectomycorrhizal fungi.
19. Excavate planting beds to a depth of 12 inches, unless otherwise indicated. Roto-til subgrade of excavation to a depth of 4 inches, unless otherwise indicated. Incorporate a 6 inch lift of planting mix into subgrade. Place remaining Planting Mix in settled 6 inch lifts.
20. Planting beds, including mulch, shall be no higher than 6 inches above adjacent grade and shall not impede surface drainage.
21. Lawn areas shall be backfilled with Planting Mix to a minimum settled thickness of 6 inches. Roto-Til subgrade below lawns to a depth of 4 inches, unless otherwise indicated, prior to placement of Planting Mix.
22. All trees and shrubs shall be fertilized with controlled release tablets of 20-10-5 composition. Size and number of tablets shall be per manufacturer's instructions.
23. Composition and application rate of lawn fertilizer shall be sufficient to amend soil according to recommendations of a qualified soil testing agency. Submit soil test results and amendment recommendations to Owner. Lawn fertilizer shall be in a dry granular form.
24. Contractor to determine plant list quantities from the plan. Graphic representation on plan supersedes in case of discrepancy with quantities on schedule.
25. Any item or areas damaged during construction shall be repaired or replaced to its original condition at the contractor expense.
26. Contractor shall thoroughly water all plants at time of installation and as needed until project acceptance by owner. Contractor shall guarantee all plants installed (except annuals) for one full year from date of acceptance by the Owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period.
27. All annuals to be provided by Contractor from available seasonal stock.
28. Lawn seed mix shall proportioned by weight as follows: 10 percent NuBlue or Blue Chip Kentucky Bluegrass; 10 percent Coddieshack or Coolkeeper Perennial Ryegrass; 80 percent Quest, Inferno, Arid 3 and/or Pixie Tall Fescue (select 2). Sodded lawns shall match seeded lawns. Seeding rate shall be 8 to 10 pounds per 1000 square feet.
29. Lawn seed shall not have less than 98 percent purity and shall not have less than 90 percent germination.

REVISIONS

MARK	DATE	DESCRIPTION

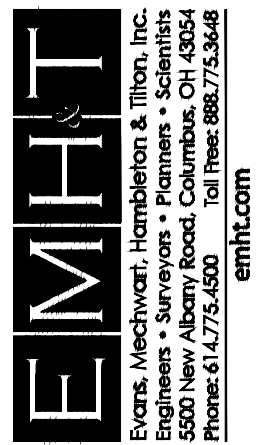
ELFORD

CITY OF UPPER ARLINGTON, FRANKLIN COUNTY, OHIO
PRIVATE SITE IMPROVEMENT PLAN

FOR

OHIO HEALTH LANE

LANDSCAPE DETAILS AND NOTES



DATE

JANUARY 12, 2023

SCALE

1" = 20'

JOB NO.

20230106

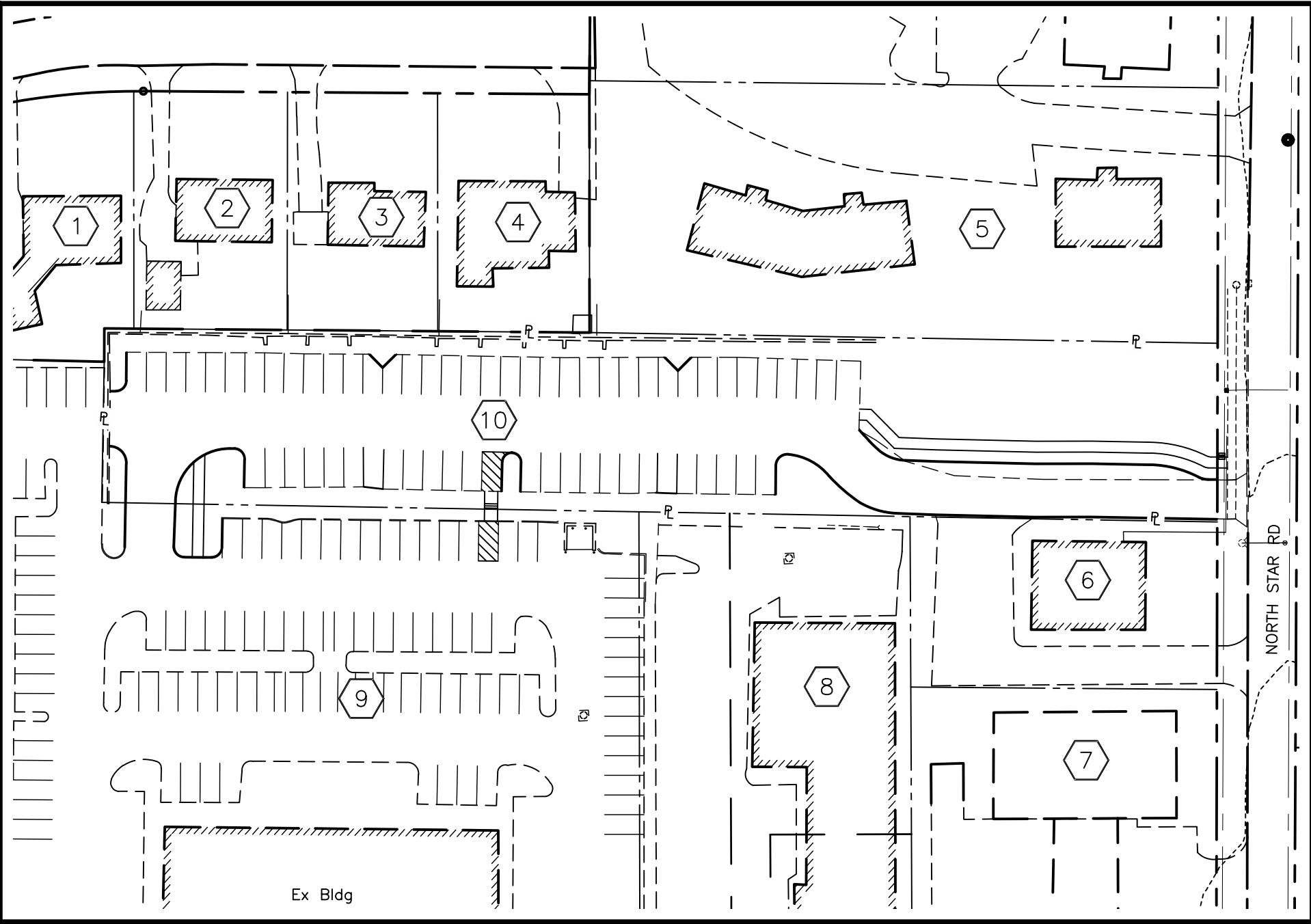
SHEET

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CITY OF UPPER ARLINGTON, FRANKLIN COUNTY, OHIO
PRIVATE SITE IMPROVEMENT PLAN
FOR
OHIO HEALTH LANE
PARKING LOT MODIFICATIONS
2023

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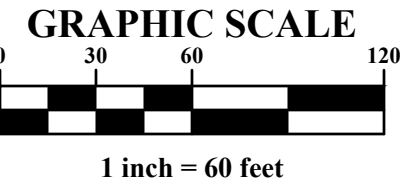


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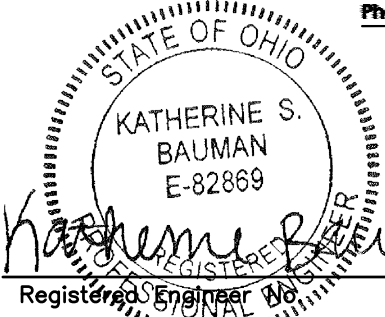
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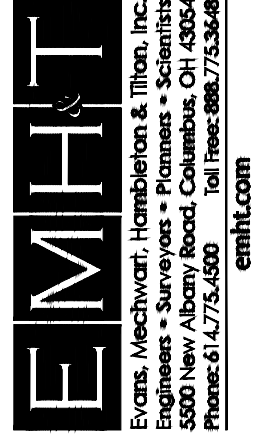
8/22/2023
Date

REVISIONS

MARK	DATE	DESCRIPTION

Elford

CITY OF UPPER ARLINGTON, FRANKLIN COUNTY, OHIO
PRIVATE SITE IMPROVEMENT PLAN
FOR
OHIO HEALTH LANE
TITLE SHEET



DATE

October 17, 2023

SCALE

1" = 60'

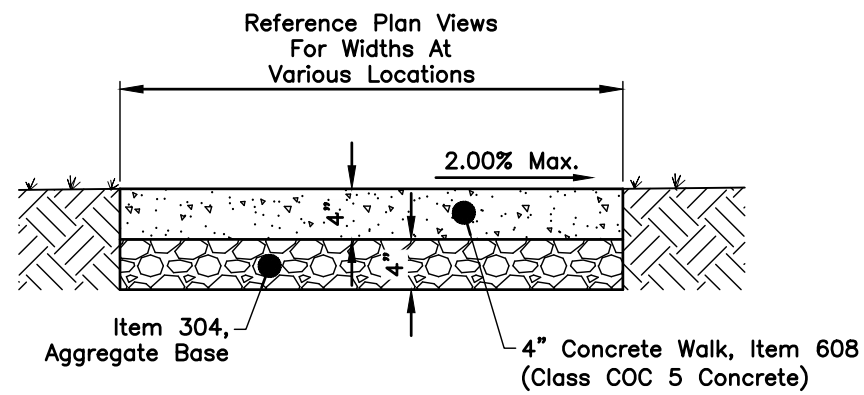
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1/9

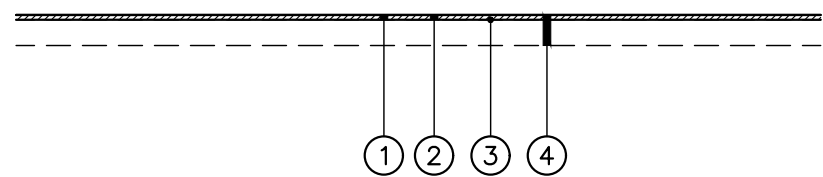
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NOTES

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A DETAIL CONCRETE SIDEWALK Not to Scale



- Item 254, 1-1/2" Pavement Planing, Asphalt Concrete
- Item 448, 1-1/2" Asphalt Concrete, Surface Course, Type 1 Medium Traffic, PG 64-22
- Item 407, Tack Coat (Applied @ A Rate Of 0.10 Gal./sq.yd.) Contractor Shall Clean Asphalt Surface Prior To Application.
- Existing Pavement Or Gravel

D DETAIL ASPHALT OVERLAY WITH PAVEMENT PLANING Not to Scale

General Notes:

- The height of a silt fence shall not exceed 16-inches (higher fences may impound volumes of water sufficient to cause failure of the structure).
- The filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints. When joints are necessary, filter cloth shall be spliced together only at a support post, with a minimum of a 6 inch overlap, and securely sealed.
- Posts shall be spaced a maximum of 10 feet apart at the barrier location and driven securely into the ground (minimum of 12 inches).
- A trench shall be excavated approximately 4 inches wide and 6 inches deep along the line of posts and upslope from the barrier.
- The standard strength filter fabric shall be stapled or wired to the fence, and 8 inches of the fabric shall be extended into the trench. The fabric shall not extend more than 16 inches above the original ground surface. Filter fabric shall not be stapled to existing trees.
- The trench shall be backfilled and soil compacted over the filter fabric.
- Silt fences shall be removed when they have served their useful purpose, but not before the upslope area has been permanently stabilized.

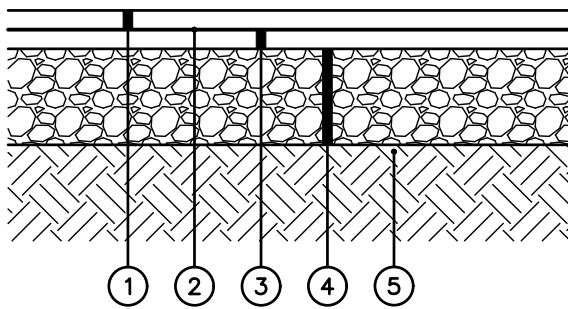
Maintenance Notes:

- Silt fences and filter barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately. Should the fabric on a silt fence or filter barrier decompose or become ineffective prior to the end of the expected usable life and the barrier is still necessary, the fabric shall be replaced promptly.
- Sediment deposits should be removed after each storm event. They must be removed when deposits reach approximately one-half the height of the barrier.
- Any sediment deposits remaining in place after the silt fence or filter barrier is no longer required shall be dressed to conform with the existing grade, prepared and seeded.

Notes:

-The use of straw wattles has proven to be a versatile and effective ESC BMP, especially in residential settings. Straw wattles may be substituted for silt fence.
-Additionally, the use of compost filter socks and compost blankets are gaining wider acceptance nationwide. They are now approved for use on all Columbus SWPPP plans and construction sites.

G DETAIL SEDIMENT FENCE Not to Scale

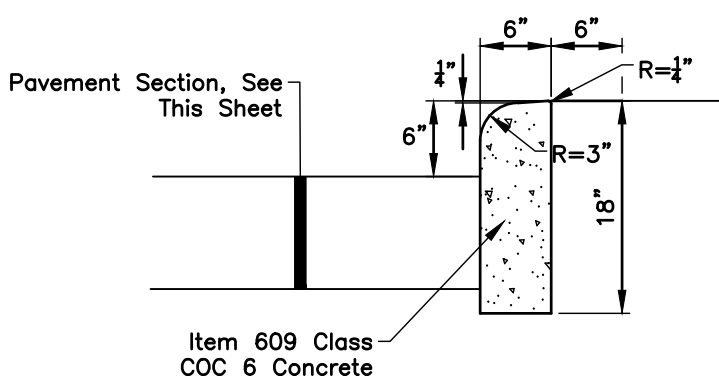


- CMSC Item 441, 1.5" Asphalt Concrete, Surface Course, Type 1, (448) PG 64-22
- CMSC Item 407, Tack Coat, Applied At A Rate Of 0.10 Gal. Per Sq. Yd.
- CMSC Item 441, 1.5" Asphalt Concrete, Intermediate Course, Type 2, (448)
- CMSC Item 304, 6" Aggregate Base
- CMSC Item 204, Subgrade Compaction

NOTES

- Pavement Recommendation Provided By [Geotechnical Consultant] EMH&T Assumes No Liability For Pavement Section

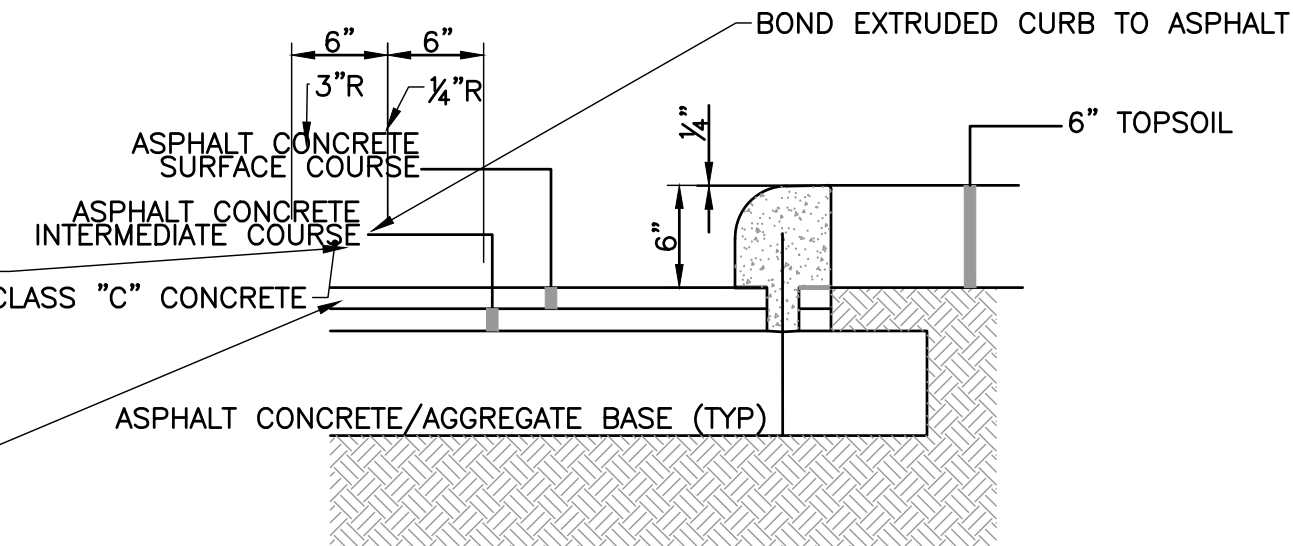
B DETAIL STANDARD DUTY ASPHALT PAVEMENT Not to Scale



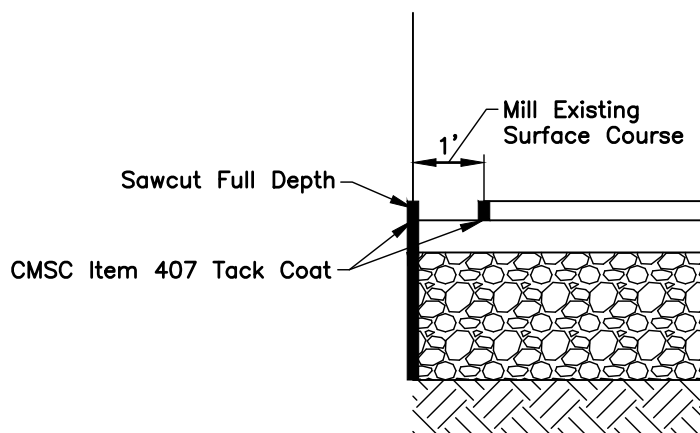
E DETAIL CURB, 18" STRAIGHT WITHOUT UNDERDRAIN Not to Scale

"KEY" CONCRETE CURB TO PAVEMENT, SPACE 3" HOLE AT 4' INTERVALS OR AS DIRECTED BY ENGINEER.

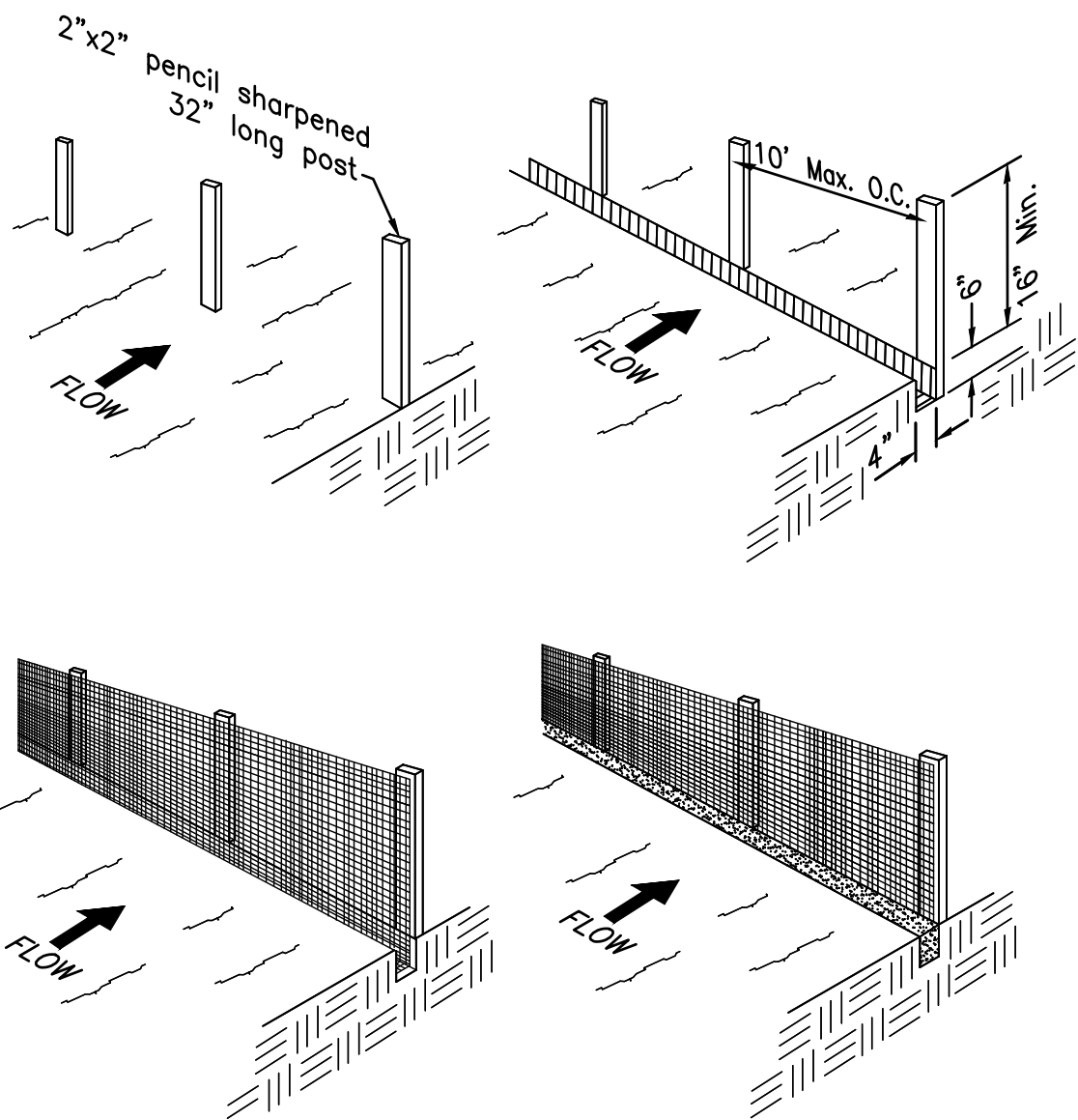
1/2" REBAR 12" LONG PLACED EVERY 8' IN EVERY OTHER "KEY". TOP OF REBAR TO BE PLACED THAT END OF REBAR IS 2" BELOW FINISHED TOP OF CURB.



C DETAIL EXTRUDED CURB Not to Scale



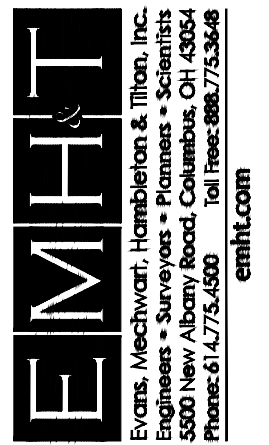
F DETAIL SAWCUT JOINT DETAIL Not to Scale



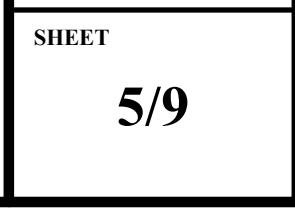
REVISIONS	
MARK	DESCRIPTION

Elford

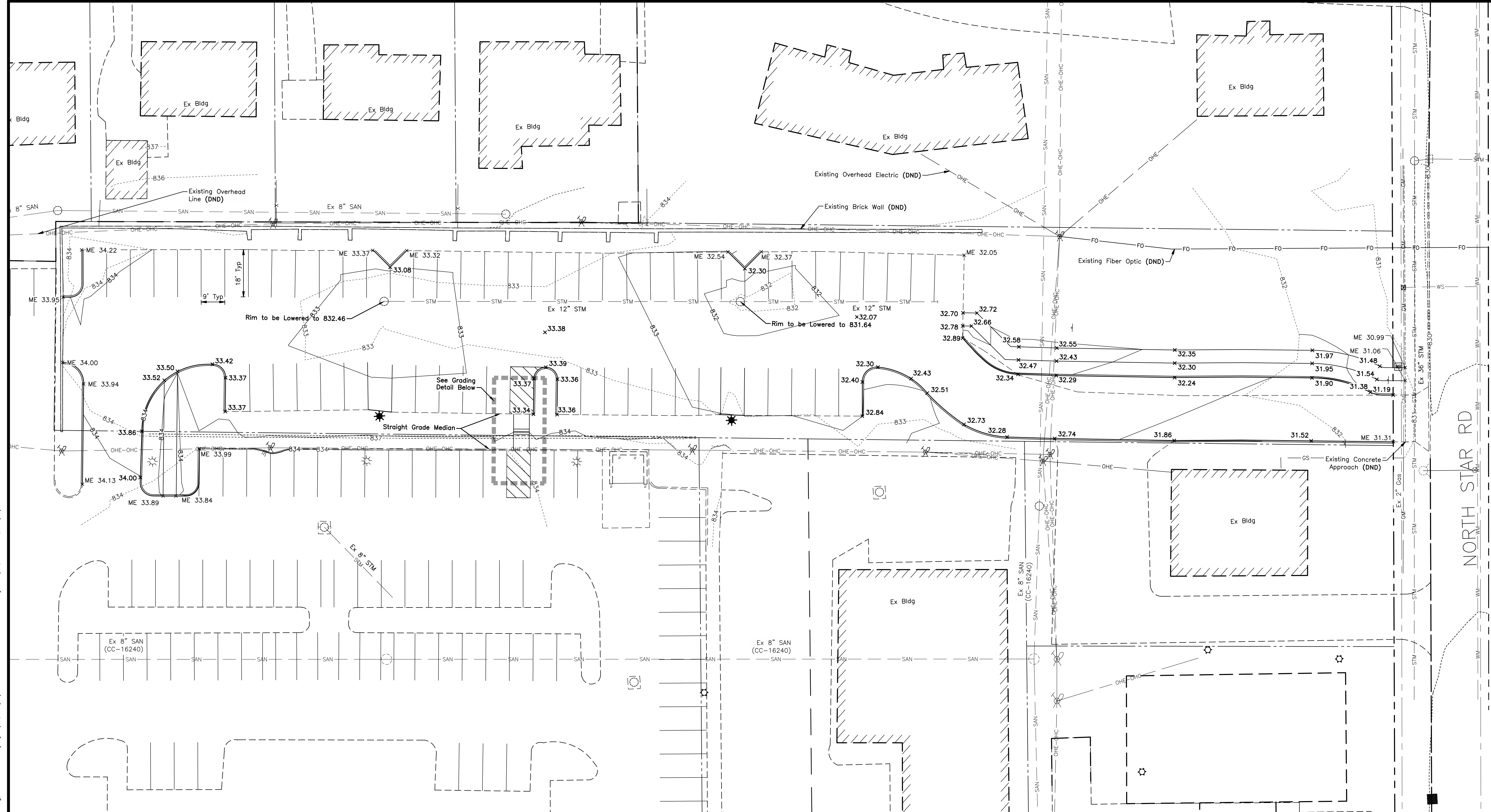
CITY OF UPPER ARLINGTON, FRANKLIN COUNTY, OHIO
PRIVATE SITE IMPROVEMENT PLAN
FOR
OHIO HEALTH LANE
DETAILS



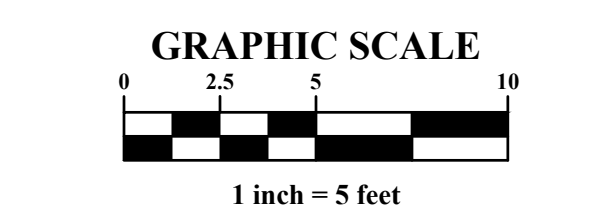
DATE	October 17, 2023
SCALE	1" = 20'
JOB NO.	20230106
SHEET	3/9



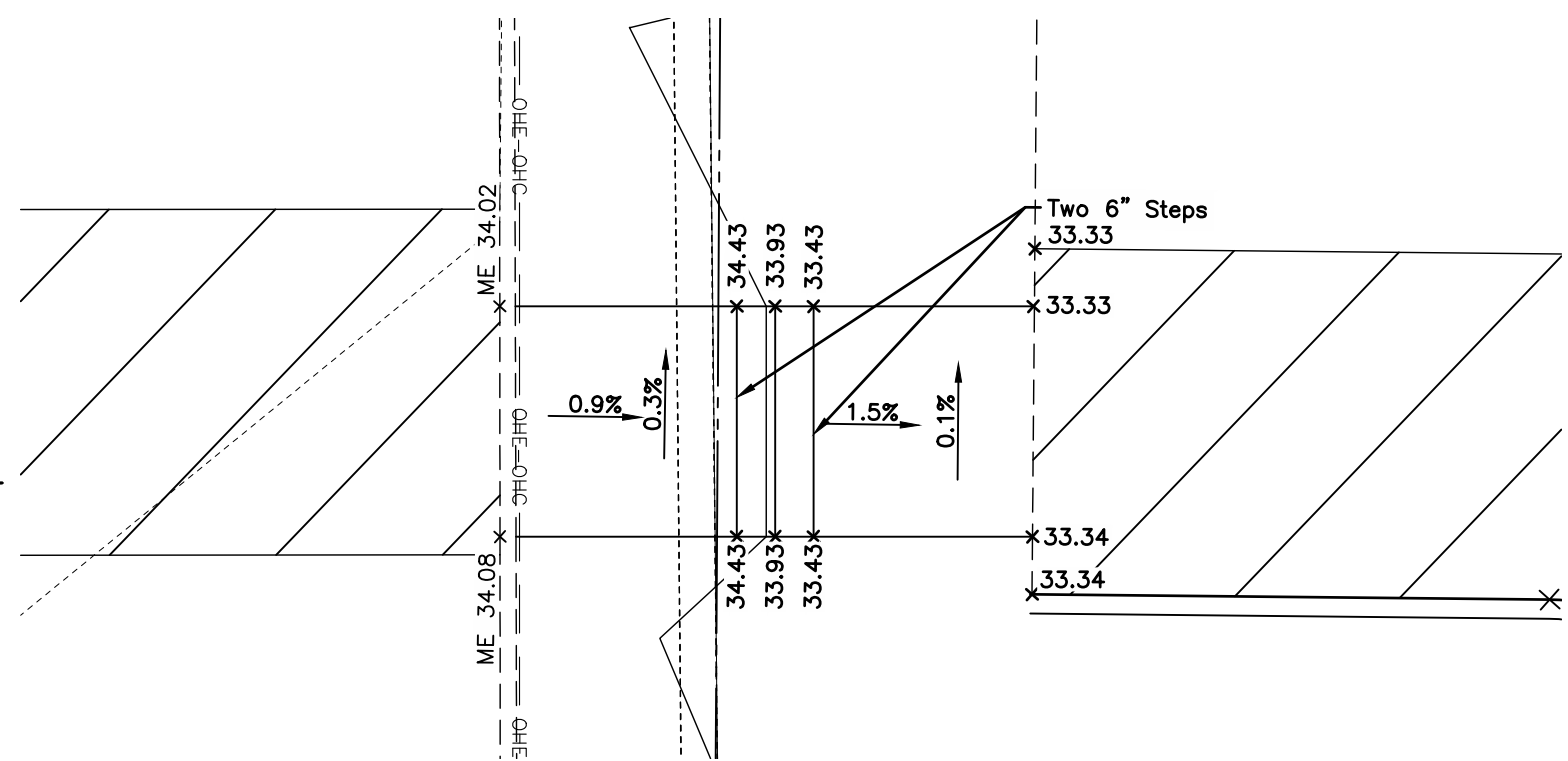
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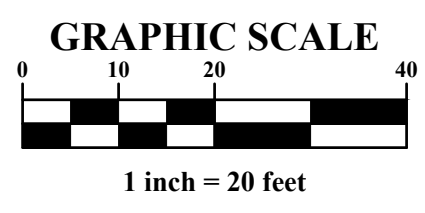
EXISTING LEGEND		PROPOSED LEGEND	
	Curb		XXX.XX PROPOSED SPOT ELEVATION
	Sidewalk/Curb Ramp		Ex XXX.XX SPOT ELEVATION BY OTHERS
	Fence		PROPOSED CONTOURS
	Ditch		ME XXX.XX MATCH EXISTING
	Sanitary		
	Sanitary Sewer Service		
	Storm		
	Gas		
	Overhead Electric		
	Existing Major Contours		
	Existing Minor Contours		
	Existing Tree Row		
	To Be Relocated		
	To Be Removed		
	Do Not Disturb		
	Adjusted To Grade		
			Sign
			Bollard
			Light Pole
			Yard Light
			Flag Pole
			Transformer
			Comm Box
			Fiber Optic
			Utility Pole
			Guy Anchor
			Catch Basin
			Curb & Gutter Inlet
			Manhole
			Cleanout
			Fire Hydrant
			Valve
			Building



A DETAIL
SIDEWALK GRADING DETAIL



NOTE:
CAUTION: The existing utilities on this plan are shown in their approximate location. The Contractor shall be responsible for contacting OUPIS and to field locate existing utilities prior to construction.



REVISIONS	
MARK	DESCRIPTION

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CITY OF UPPER ARLINGTON, FRANKLIN COUNTY, OHIO
PRIVATE SITE IMPROVEMENT PLAN
FOR
OHIO HEALTH LANE
UTILITY AND GRADING PLAN

EMHT
Engineering & Management, Inc.
Engineers - Surveyors - Planners - Scientists
5000 New Albany Road, Columbus, OH 43244
Phone: 614.775.5500 Fax: 614.775.5501
emht.com

DATE
OCTOBER 17, 2023

SCALE
1" = 20'

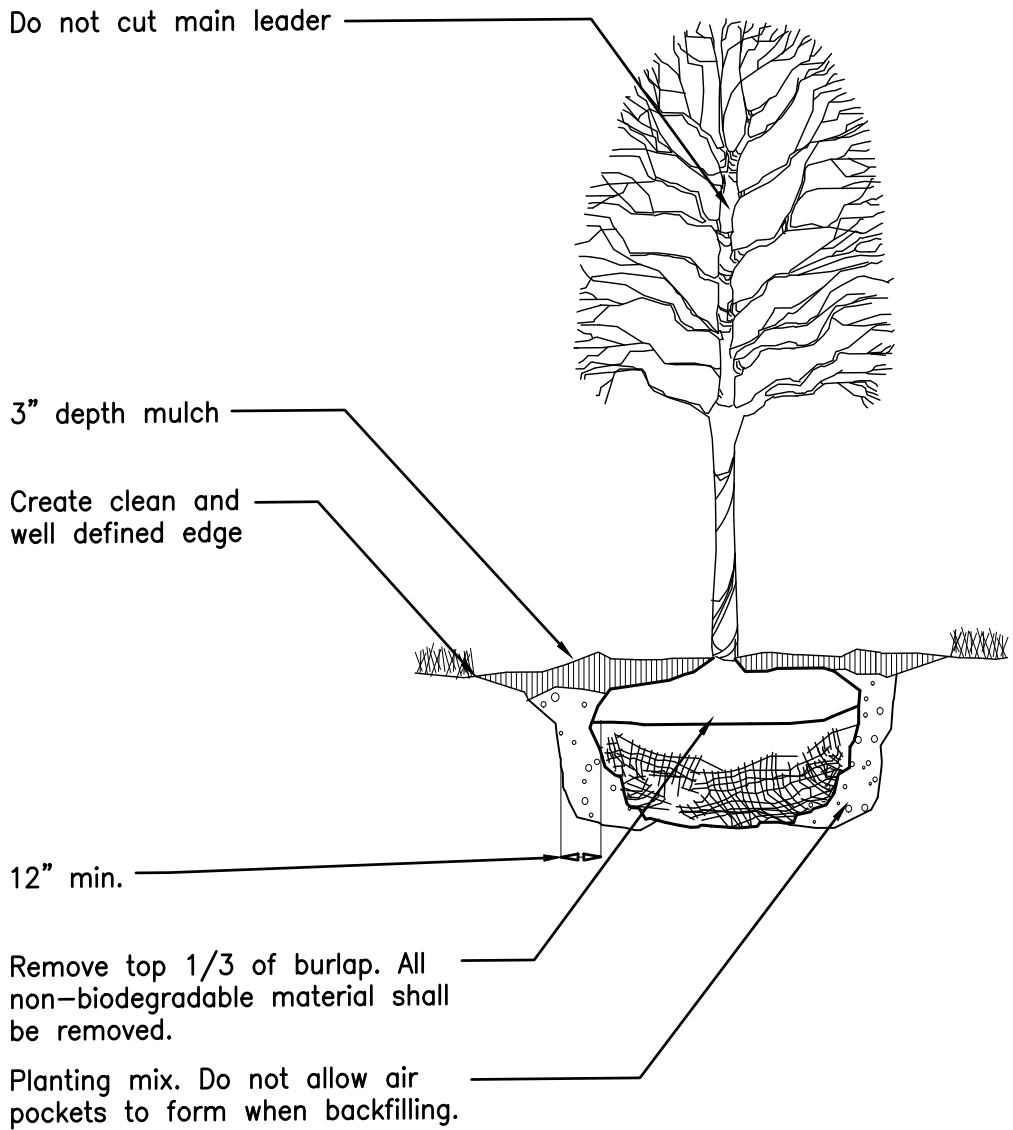
JOB NO.
20230106

SHEET
6/9

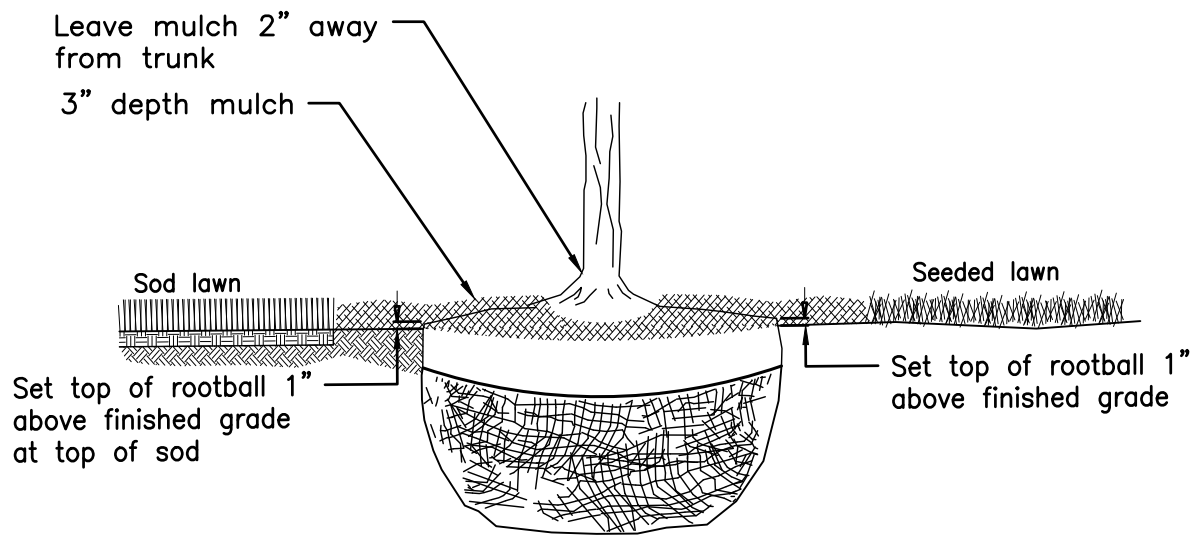
SHEET

8/9

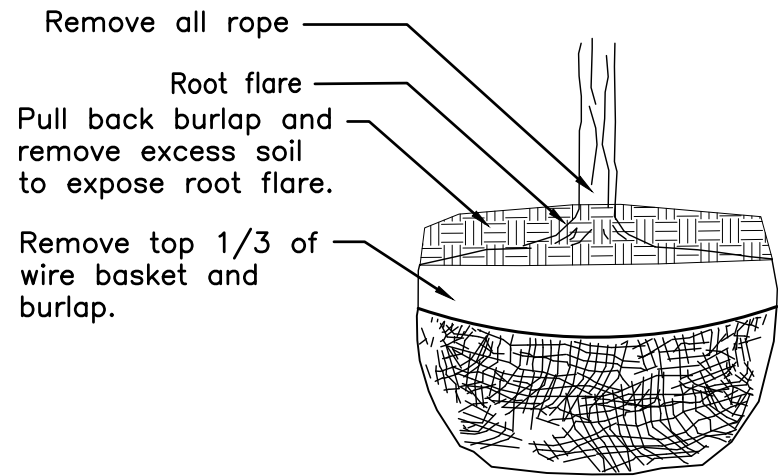
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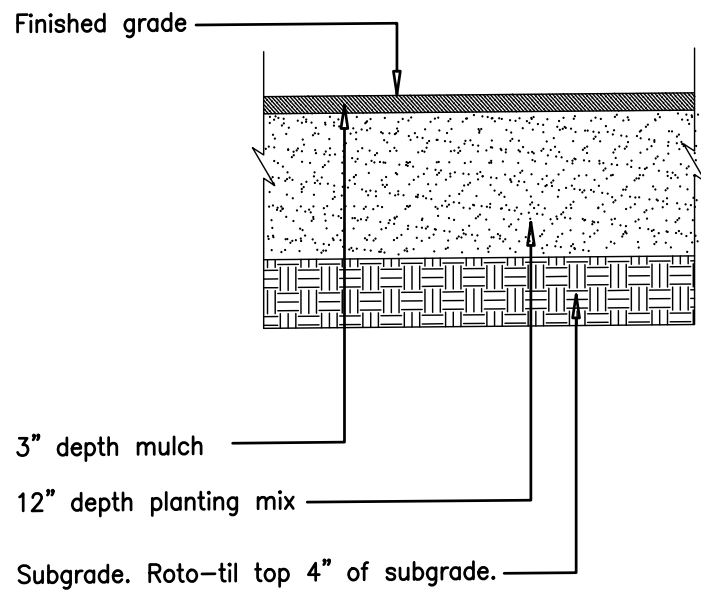
Deciduous Tree Planting
No Scale



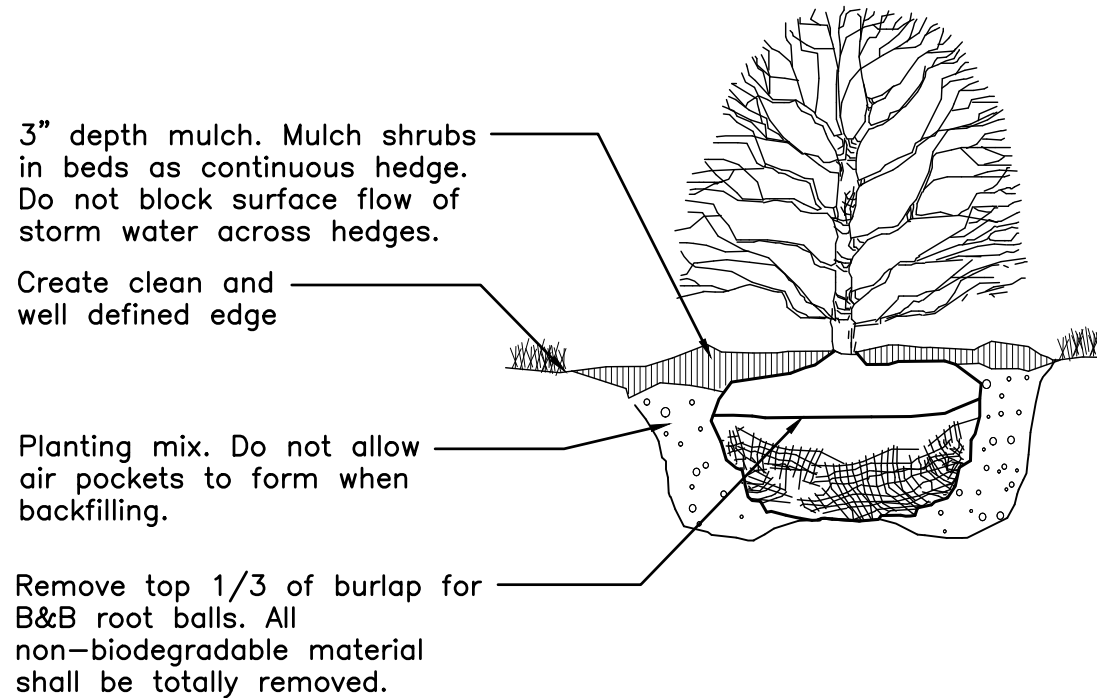
Rootball Setting
No Scale



Rootball Preparation
No Scale



Planting Area Establishment
No Scale



Shrub Planting
No Scale

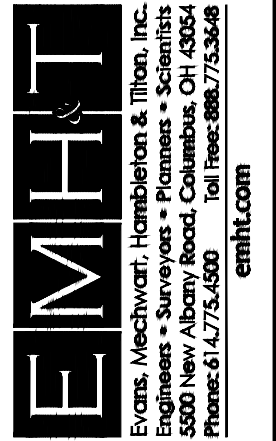
GENERAL NOTES:

1. Prior to installation, the landscape contractor shall inspect the general site conditions and verify the subgrade, elevations, utility locations and topsoil provided by general contractor. The landscape contractor shall notify the general contractor of any unsatisfactory conditions and work shall not proceed until such conditions have been corrected and are acceptable to the landscape contractor.
2. All plants shall meet or exceed standards set in the American Standard for Nursery Stock, ANSI Z60.1, current edition. All plants shall equal or exceed the measurements and sizes specified in the schedule.
3. Substitutions shall only be permitted with notification and written approval from the Owner. Substituted material shall be equivalent or greater in size than the specified plant. Substituted plants shall have the same essential characteristics and growth habit of the specified plant.
4. Confirm location of all utilities and subsurface drain lines prior to plant installation.
5. A pre-installation conference shall be conducted prior to planting operations with Owner and Contractor present.
6. Contractor may slightly field adjust plant locations as necessary to avoid utilities. Finished planting beds shall be graded to provide positive drainage.
7. Irrigation system, if applicable, shall be complete and operational prior to landscape planting.
8. Contractor shall repair all lawn areas disturbed during construction with seed and warrant a healthy, weed free lawn prior to project acceptance.
9. Seed all areas within contract limits that are not covered by paving, buildings or planting beds unless otherwise noted. Seeding shall not begin until area has received topsoil and finished grade.
10. Mulch planting beds with shredded hardwood mulch of uniform dark brown color. It shall be free of twigs, leaves, disease, pest or other material unsightly or injurious to plants. Average applied thickness shall be 3" depth. Mulch hedges in a continuous bed.
11. Planting beds shall be covered with pre-emergent herbicide applied at product specified rate unless otherwise noted.
12. Bed edge shall be smooth, consistent, hand trenched 4" deep and "V" shaped unless otherwise noted. All excavated material shall be removed from the bed edge and planting bed.
13. All planting bed edges to be smooth flowing arcs or straight lines as shown on plan. Plant locations and layout of beds shall be located by Contractor and approved by Landscape Architect prior to planting.
14. Install all plants in accordance with planting details and specifications.
15. Parking lot and street trees shall have a clear canopy height of 6' min.
16. Trees shall be placed a minimum of 3' from sidewalks and curbs.
17. Planting Mix shall be blended, manufactured soil consisting of three (3) parts topsoil, one (1) part compost, one (1) part sand. Topsoil shall be per ASTM D5268, pH range of 5.5 to 7, min. 4 percent organic material, free of stones and soil clumps 3/4 inch and larger. Compost shall be yard waste compost from an EPA rated Class IV compost facility or Com-til compost from City of Columbus Department of Public Utilities. Sand shall be per Item ASTM C33. Proprietary manufactured Planting Mix such as Kurtz Bros. Professional Blend or Jones SuperSoil may be used. Submit product data for review by Owner. Place Planting Mix in settled 6 inch lifts.
18. Mix Mycorrhizal Fungi into Planting Mix during placement of Planting Mix. Application rate shall be according to manufacturer's written recommendations. Mycorrhizal Fungi shall be a dry, granular inoculant containing vesicular-arbuscular mycorrhizal fungi and ectomycorrhizal fungi.
19. Excavate planting beds to a depth of 12 inches, unless otherwise indicated. Roto-til subgrade of excavation to a depth of 4 inches, unless otherwise indicated. Incorporate a 6 inch lift of planting mix into subgrade. Place remaining Planting Mix in settled 6 inch lifts.
20. Planting beds, including mulch, shall be no higher than 6 inches above adjacent grade and shall not impede surface drainage.
21. Lawn areas shall be backfilled with Planting Mix to a minimum settled thickness of 6 inches. Roto-Til subgrade below lawns to a depth of 4 inches, unless otherwise indicated, prior to placement of Planting Mix.
22. All trees and shrubs shall be fertilized with controlled release tablets of 20-10-5 composition. Size and number of tablets shall be per manufacturer's instructions.
23. Composition and application rate of lawn fertilizer shall be sufficient to amend soil according to recommendations of a qualified soil testing agency. Submit soil test results and amendment recommendations to Owner. Lawn fertilizer shall be in a dry granular form.
24. Contractor to determine plant list quantities from the plan. Graphic representation on plan supersedes in case of discrepancy with quantities on schedule.
25. Any item or areas damaged during construction shall be repaired or replaced to its original condition at the contractor expense.
26. Contractor shall thoroughly water all plants at time of installation and as needed until project acceptance by owner. Contractor shall guarantee all plants installed (except annuals) for one full year from date of acceptance by the Owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period.
27. All annuals to be provided by Contractor from available seasonal stock.
28. Lawn seed mix shall be proportioned by weight as follows: 10 percent NuBlue or Blue Chip Kentucky Bluegrass; 10 percent Coddieshock or Goalkeeper Perennial Ryegrass; 80 percent Quest, Inferno, Arid 3 and/or Pixie Tall Fescue (select 2). Sodded lawns shall match seeded lawns. Seeding rate shall be 8 to 10 pounds per 1000 square feet.
29. Lawn seed shall not have less than 98 percent purity and shall not have less than 90 percent germination.

REVISIONS	
MARK	DESCRIPTION

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CITY OF UPPER ARLINGTON, FRANKLIN COUNTY, OHIO
PRIVATE SITE IMPROVEMENT PLAN
FOR
OHIO HEALTH LANE
LANDSCAPE DETAILS AND NOTES



DATE
OCTOBER 17, 2023
SCALE
1" = 20'
JOB NO.
20230106
SHEET
9/9

Authors: Justin Milam, AICP, Senior Planner

BZAP Meeting Date: April 3, 2024

Subject: 2355 North Star Road/1480 W. Lane Avenue (#23-3185) - Review of an updated Certificate of Zoning Compliance application concerning access to/from North Star Road for OhioHealth. [This application was previously subject to an appeal.]

Site Description/History

This serves as an update to Certificate of Zoning Compliance (CZC) #23-3185, which was conditionally issued in October 2023. OhioHealth is renovating and relocating to an existing office building at 1480 W. Lane Avenue and sought to improve the existing parking lot at 2455 North Star Road, which is adjacent to the office building. Staff had determined that all the proposed changes, including driveway location, coverage limits, and other concerns, complied with the UDO. The conditions on the permit included: 1) *Per City Parking Agreement for after-hours public parking*; 2) *Pending approval of a landscape plan by the City Forester*; 3) *Combine the two parcels or grant a cross-access easement*; and 4) *Any changes to outdoor lighting fixtures must be approved by the Planning Division*. All items except #3 have been resolved. The building modifications are included in a separate zoning review which is not before the Board. The first floor of the OhioHealth building is expected to open March 25.

An adjacent property owner (Dan Callanan, who is part of the Akinita Five LLC) filed an appeal to this CZC's issuance. The Board denied that appeal at its January 17, 2024 public meeting. There has been no appeal of the Board's findings at that meeting.

As discussed below, Staff reviewed the proposed changes and finds them to be in compliance with the UDO. Although CZCs do not typically come before the Board where all UDO requirements are met, Staff is bringing these changes to the Board to review since they differ from the plan previously presented to the Board in January.

Proposal

While the appeal of the administrative appeal was pending, the driveway was widened from less than 20 feet in width to 24 feet. That widening was discussed at the appeal hearing and the Board was aware that an as-built application would be filed. That addendum for the as-built was submitted and approved by Staff. OhioHealth now proposes to expand the existing curb cut at North Star Road slightly to the north and remove the bend in the new driveway so that the approach and driveway will align. The existing street tree north of the curb cut would remain. No other changes are proposed.



Zoning Code Requirements

The Unified Development Ordinance (UDO) allows curb cuts and street openings to be up to 41 feet wide, where 35 feet of that could be a driveway. The opening here would be 30 feet. While the UDO does not allow driveway flares to cross the extended property line at the street, existing ones are permitted to be replaced like-for-like per the UDO and Streets and Services Code. The Board does have powers and duties relating to completing design reviews.

Alternatives

OhioHealth could keep the existing site development as it is, however, they have observed issues with the difference in driveway approach and the new driveway, and expressed a safety concern with their patients and employees. Other changes, such as the neighbor's request to relocate the driveway and curb cut to the center of the property, are not being considered as alternatives, especially in light of the building's pending opening and other challenges related to the site. Also, since the only issue before the Board at this meeting is OhioHealth's proposed modifications to the CZC, this is not an opportunity to readdress any concern from the January 2024 appeal hearing.

Requested Action and Findings

Staff is supportive of the expanded curb cut and re-aligned driveway, as it would create a safer, 24-foot wide access for OhioHealth patients and employees. Staff notes that the condition of the driveway prior to any improvements was narrow and in significant disrepair, which supports the need for modifications and recognizes that the driveway as-built is creating an awkward turning movement which is not ideal. For these reasons, Staff would recommend that the Board approve this revised Certificate of Zoning Compliance.

Attachments

1.	OhioHealth - Proposed Driveway
2.	OhioHealth - AsBuilt Driveway
3.	BZAP Appeal Staff Report - 2355 North Star Road



Authors: Justin Milam, AICP, Senior Planner

BZAP Meeting Date: March 20, 2024

Subject: 2355 North Star Road/1480 W. Lane Avenue (#23-3185) - Review of an updated Certificate of Zoning Compliance application concerning access to/from North Star Road for OhioHealth. [This application was previously subject to an appeal.]

Site Description/History

This serves as an update to Certificate of Zoning Compliance #23-3185, which was conditionally issued in October 2023. This permit allowed OhioHealth, which was renovating and moving into an existing office building at 1480 W. Lane Avenue, to improve the existing parking lot at 2455 North Star Road, which is adjacent to their new building. Those conditions included: 1) Per City Parking Agreement for after-hours public parking; 2) Pending approval of a landscape plan by the City Forester; 3) Combine the two parcels or grant a cross-access easement; and 4) Any changes to outdoor lighting fixtures must be approved by the Planning Division. All items except #3 have been resolved. The first floor of the OhioHealth building opens March 25.

An adjacent property owner (Akinita Five LLC) filed an appeal to this permit's issuance and was ultimately denied by the Board in January 2024.

Proposal

During the appeal process, the driveway was widened from less than 20 feet in width to 24 feet. An addendum to the permit was subsequently submitted and approved by Staff. OhioHealth now wishes to expand the existing curb cut at North Star Road slightly to the north and remove the bend in the new driveway so that everything would align. The existing street tree north of the curb cut would remain. No other changes are proposed.

Zoning Code Requirements

The Unified Development Ordinance (UDO) allows curb cuts and street openings to be up to 41 feet wide, where 35 feet of that could be a driveway. The opening here would be 30 feet. While the UDO does not allow driveway flares to cross the extended property line at the street, existing ones are permitted to be replaced like-for-like per the UDO and Streets and Services Code. The Board does have powers and duties relating to completing design reviews.



Alternatives

OhioHealth could choose to keep the existing site development as it is, however, they have observed issues with the difference in driveway approach and the new driveway, and feel it is a safety concern with their patients and employees. With the building opening soon and other challenges related to the site, OhioHealth does not wish to relocate the driveway and curb cut to the center of the property.

Requested Action and Findings

Because this application came before the Board as an appeal, Staff felt the Board needed to review the proposed revisions as they differ from what was previously reviewed. Staff is supportive of the expanded curb cut and re-aligned driveway, as it would create a safer, 24-foot wide access for OhioHealth patients and employees. Both the previous condition, which was narrow and in significant disrepair, and the existing condition, which creates a weird turning movement and is a safety hazard, are not ideal. For these reasons, Staff would recommend that the Board approve this revised Certificate of Zoning Compliance.

Attachments

None



Authors: Alyssa Kelly, AICP, Planning Officer

BZAP Meeting Date: April 3, 2024

Subject: 2001 Northwest Boulevard (DEV-01-24) - Review of an Amended Major Site Plan and Conditional Use with variances for exterior improvements and signage to Holy Trinity Lutheran Church.

Overview

Representatives from Holy Trinity Lutheran Church will be present to introduce a project for exterior improvements to the property including landscaping, signage, and the addition of a columbarium, a small exterior addition that includes niches for funeral urns to be stored. Improvements would be focused towards the northeast portion of the property, along Northwest Boulevard, where new walkways, patio areas, and landscape would create a sanctuary garden that complements the addition of the columbarium as an architectural feature on the north building elevation. The freestanding sign along Northwest Boulevard would be replaced and an additional sign for the church's daycare would be added along Glenn Avenue. Interior improvements are also planned, including minor renovations and replacement of the existing skylight. In 2009, a new sanctuary addition was constructed that required Board and City Council review. In 2023, the property also underwent improvements to the existing playground, which did not require Board review.

Zoning Code Requirements

The subject property is zoned [R-1c](#) (One-Family Residence District) and located in the [Kingswood Subdivision](#). In this district, Churches are a Permitted Use and columbariums (defined under "cemetery") are a Conditional Use. The improvements to the site require an Amended Major Site Plan and Conditional Use application. The [Unified Development Ordinance \(UDO\), Article 4.05](#) outlines the Standards for Approval for the Board to consider for both requests. Upon initial review of the application, Staff does not have major concerns, but has summarized comments in the UA Preliminary Comment Letter that has been shared with the applicant. With the current application, variances would be required for signage and Staff has encouraged the applicant to review the sign code to address these requirements (see [UDO Article 6.06 Signs](#)).

Attachments

1.	2001 Northwest Boulevard - Development App
2.	UA Prelim Comments - 2001 Northwest Blvd
3.	20240320 Holy Trinity Church - UA Forestry Comments







24-1118

Site Plan Application

Status: Active

Submitted On: 3/20/2024

Primary Location

2001 NORTHWEST BL
UPPER ARLINGTON, OH
43212

Owner

HOLY TRINITY LUTHERAN
NORTHWEST 2001
COLUMBUS, OH 43212

Applicant

 Kurt Miller

 380-223-9293

 kmiller@wsastudio.com

 982 S. Front St.
Columbus, Oh 43206

BZAP Information

BZAP Case

DEV-01-24

BZAP Review Date

04/17/2024

Status

Pending

Variances Granted

BZAP Conditions

Development Information

Development Name*

Holy Trinity Lutheran Church
Columbarium and Renovations

Proposed Tenants (if available)**Description of Development* ?**

Construction of a new exterior columbarium and adjacent exterior site and landscape upgrades, and replacement of an existing skylight. Addition and replacement of interior light fixtures in the sanctuary space.

Site Area (in SF)*

79014.84

Total Development Size (in SF)*

1517.1

of Stories

1

Building Height (from grade)*

35

of Parking Spaces*

73

Total Development Coverage (in %)*

65.1

Application Information

Application Type*

Amended

How will this development comply with the zoning standards found in the City's Unified Development Ordinance?*



This development complies with the zoning standards found in the City's Unified Development Ordinance per the attached plans and details, except for the following requested variances: (1) A conditional use for the columbarium considering the current R-1C zoning and the existing place of worship or churches use per Section 5.06, Table 5-A; (2) Exterior signage locations considering lot setbacks per Section 5.06, Table 5-E.

How will this development comply with the goals and objectives listed in the City's Master Plan?*



This development complies with the City's Master Plan's goal to enhance community appearance in residential areas. The current landscape dates to the previous sanctuary addition (2010) and is in need of an upgrade. This project also encourages community gathering with the creation of the memorial garden. Finally, the project preserves the historic Holy Trinity Lutheran Church property with continued enhancements and maintenance efforts.

Briefly explain how potential impacts on the adjoining neighborhood will be mitigated.*



This project will positively impact the adjoining neighborhood through the improvement of the exterior landscaping along the Northwest corridor. This project does not impact current site traffic, parking, and utilities.

What are the primary goals and objectives for this development.*

The primary objective for this development is an enhancement to the Holy Trinity Lutheran Church ministry by providing an ecologically-minded, economical, and dignified resting place for church members on church grounds through the elevation and improvement of site landscaping. This will lead to the creation of a columbarium and memorial garden. Secondary objectives include improvements to street appeal, site drainage, site irrigation, and site signage and lighting.

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8/20/2024 10:26:40 AM

HOLY TRINITY LUTHERAN CHURCH

COLUMBARIUM AND RENOVATIONS

2001 Northwest Blvd, Columbus, OH 43212

UA BZAP SUBMISSION | 20 MAR 2024

PREPARED BY

ARCHITECT WSA

982 S Front Street, Columbus, OH 43206
(614) 824-1633
wsastudio.com

CIVIL ENGINEER SANDSDECKER

1495 Old Henderson Rd, Columbus, OH 43220
(614) 459-6992
https://www.sandsdecker.com/

PREPARED FOR

OWNER

HOLY TRINITY LUTHERAN CHURCH

2001 Northwest Blvd, Columbus, OH 43212
(614) 486-9433
https://www.engagedbygrace.org/

STRUCTURAL ENGINEER SMBH

1166 Dublin Rd #200, Columbus, OH 43215
(614) 481-9800
https://smbhinc.com/

LANDSCAPE ARCHITECT EDGE GROUP

330 W Spring ST #350, Columbus, OH 43215
(614) 486-3343
https://www.edgela.com/

MEP ENGINEER KARPINSKI ENGINEERING

8800 Lyra Dr #530, Columbus, OH 43240
(614) 430-9820
https://karpinskieng.com/

CODE INFORMATION

PROJECT TITLE
PROJECT ADDRESS

Holy Trinity Lutheran Church
2001 Northwest Blvd, Upper Arlington, OH 43212

APPLICABLE CODES

2024 Ohio Building Code
2024 Ohio Mechanical Code
2024 Ohio Plumbing Code
Ohio Electrical Code 2023, NFPA 70, 2023
Ohio Fire Sprinkler Code 2022, NFPA 13, 2022
Ohio Fire Alarm Code 2022, NFPA 72, 2022
Ohio Energy Code 2021
Ohio Accessibility Code 2017

PROJECT DESCRIPTION

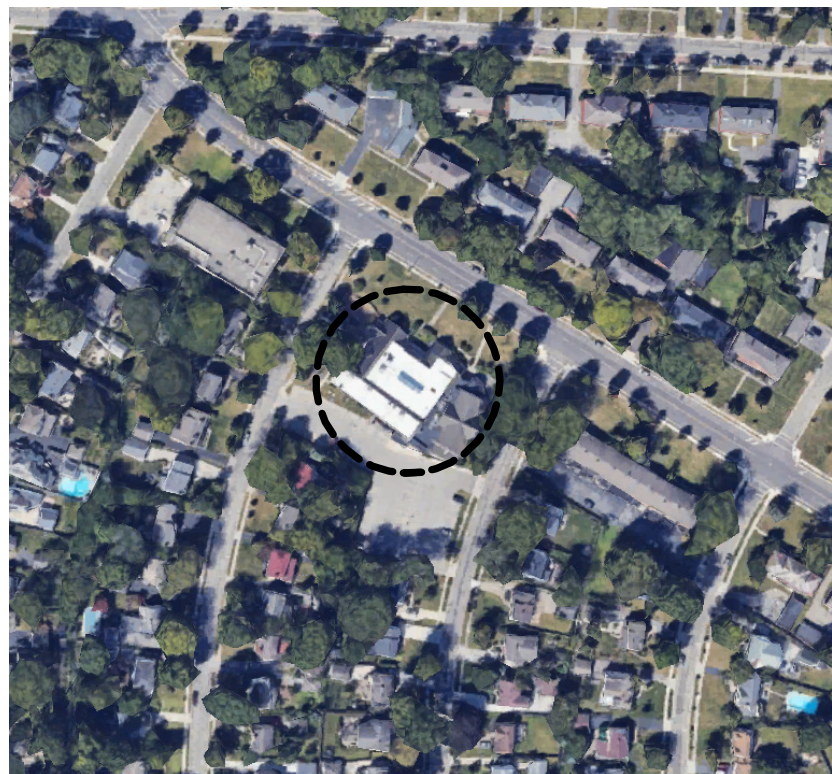
Construction of a new exterior columbarium and adjacent exterior site and landscape upgrades, and replacement of an existing skylight. Addition and replacement of interior light fixtures in the sanctuary space.

USE & OCCUPANCY
CONSTRUCTION TYPE
FLOOR AREA
BUILDING HEIGHT
FIRE PROTECTION SYSTEMS
OCCUPANCY
NUMBER OF EXITS
PLUMBING SYSTEMS

A-3 - No change
IIBB - No change
Existing - No change
Existing - No change
Existing - No change
Existing - No change
Existing - No change
Existing - No change

GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS PRIOR TO BEGINNING DEMOLITION AND REPORT ANY DISCREPANCIES WITH THE DRAWINGS AND/OR SPECIFICATIONS TO THE ARCHITECT.
- THIS DRAWING IS INTENDED TO BE USED IN CONJUNCTION WITH ALL OTHER PROVIDED DRAWINGS AND DOCUMENTS FOR THIS PROJECT.
- ALL DIMENSIONS MUST BE VERIFIED ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS.
- FRAMING DIMENSIONS ARE WITNESSED TO FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL INTERIOR DOOR OPENINGS SHALL BE LOCATED 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- COORDINATE LOCATIONS AND/OR ELEVATIONS OF FLOOR DRAINS, REGISTERS, GRILLES, LOUVERS, CONVECTORS, CABINET UNIT HEATERS, PANELS, ETC. WITH MECHANICAL AND ELECTRICAL CONTRACTORS.



VICINITY MAP
NOT TO SCALE

SYMBOLS KEY

1

VIEW TITLE

SCALE: 1/8" = 1'-0"

N

#

PLAN OR DETAIL ENLARGEMENT

LOCATION OF DRAWING

#

EXTERIOR ELEVATION INDICATOR

LOCATION OF DRAWING

#

BUILDING SECTION CUT

LOCATION OF DRAWING

#

WALL SECTION CUT

LOCATION OF DRAWING

#

DETAIL SECTION CUT

LOCATION OF DRAWING

4

1

2

INTERIOR ELEVATION INDICATOR

AND LOCATION OF DRAWINGS

100'-0"

FIRST FLOOR DESCRIPTION

ELEVATION BENCHMARK

PT-#

INTERIOR FINISH INDICATION

ROOM NAME

####

ROOM TAG

NEW CONSTRUCTION

DOOR & TAG

EXISTING CONSTRUCTION

EXISTING CONSTRUCTION

TO BE REMOVED

#X

INTERIOR WALL TYPE INDICATOR

SEE SCHEDULE

###

CEILING HEIGHT INDICATOR

W#

WINDOW ELEVATION

X

REVISION TAG

AREA REVISED

#

NEW COLUMN BUBBLE

AND GRID LINE

#

EXISTING COLUMN BUBBLE

AND GRID LINE

#

MASONRY FACE BUBBLE

AND REFERENCE LINE

#

CODED NOTE

COMMON ABBREVIATIONS

@	At	CL:	Centerline	FL:	Floor	LP:	Low Point	PVC:	Polyvinyl Chloride	T.O.:	Top Of
#	Number / Pound	CLG:	Ceiling	FLUOR:	Fluorescent	MAINT:	Maintenance	PVMT:	Pavement	TEMP:	Temporary, Tempered
ø	Diameter	CLR:	Clear	FP:	Fireproof	MAX:	Maximum	QT:	Quarry Tile	THRU:	Through
⊥	Perpendicular	CMU:	Concrete Masonry	FT:	Foot, Feet	MB:	Machine Bolt	RAD:	Radius	TPTN:	Toilet Partition
x	By	Unit		FTG:	Footing, Fitting	MECH:	Mechanical	RB:	Resilient Base	TYP:	Typical
AB:	Anchor Bolt	CO:	Cleanout	FUR:	Furred	MEZZ:	Mezzanine	RCP:	Reflected Ceiling Plan	UL:	Underwriters' Laboratories' Unless Noted
ACT:	Acoustical Tile	COL:	Column	FURN:	Furniture	MFR:	Manufacturer	REBAR:	Refrigerator	UNO:	Otherwise
ADA:	Americans with Disabilities Act	CONC:	Concrete	GAL:	Gauge, Gage	MIN:	Minimum	REFR:	Refrigerator	VB:	Vinyl Base
ADH:	Adhesive	CONST:	Construction	GALV:	Galvanized	MISC:	Miscellaneous	REINP:	Reinforced	VERT:	Vertical
ADJ:	Adjacent	CONT:	Continuous	GC:	General Contractor	MLWK:	Millwork	REQD:	Required	W/O:	Without
AFF:	Above Finished Floor	COR:	Corridor	GFI:	Ground Fault	MO:	Masonry Opening	REQS:	Requirements	WB:	Wood Base
ALT:	Alternate	CPT:	Carpet	GL:	Glass	MTD:	Mounted	RESIL:	Resilient	WC:	Watercloset/Wall Cabinet
ALUM:	Aluminum	CSS:	Countersunk Screw	GLZ:	Glaze	MTL:	Metal	REV:	Revision	WD:	Wood
AMT:	Amount	CT:	Ceramic Tile	HM:	Hollow Metal	OD:	Outside Diameter	RH:	Right Hand	WIN:	Window
ANOD:	Anodized	CTD:	Coated	HB:	Hose Bib	NIC:	Not In Contract	RM:	Room	WP:	Waterproof
APPROX:	Approximate	CW:	Clockwise	HGT:	Height	NOM:	Nominal	RO:	Rough Opening	WT:	Weight
ASPH:	Asphalt	DBL:	Double	HID:	High Intensity	NTS:	Not To Scale	S4S:	Surface Four Sides	WWF:	Welded Wire Fabric
ATTEN:	Attenuation	DEMO:	Demolition	DIAG:	Diagonal	OC:	On Center	SALV:	Salvage		
AVG:	Average dv	DIAG:	Diagonal	DISC:	Discharge	OD:	Opposite Hand	SAN:	Sanitary		
AX:	Axis	DIA:	Diameter	HM:	Hollow Metal	OH:	Overhead Door	SB:	Sink Base Cabinet		
BC:	Base Cabinet	DIM:	Dimension	HOR:	Horizontal	OHD:	Owner Provided	SCHED:	Schedule		
BD:	Board	DN:	Down	HR:	Hour	OPCI:	Contractor Installed	SECT:	Section		
BDY:	Body	DR:	Door	HT:	Height			SF:	Square Foot		
BIT:	Bituminous	DTL:	Detail	HVAC:	Heating Ventilating & Air Conditioning	OPNG:	Opening	SIM:	Similar		
BLDG:	Building	DWG:	Drawing	IN:	Inch	OVFL:	Overflow	SPEC:	Specification		
BLT-IN:	Built-In	DS:	Downspout	INCR:	Increase	PLAM:	Plastic Laminate	SQ:	Square		
BM:	Beam, Bench Mark	EL:	Elevation	INSUL:	Insulation	PERF:	Perforate	SS:	Stainless Steel		
B.O.:	Bottom Of	ELEC:	Electrical	INT:	Interior	PERIM:	Perimeter	STC:	Sound Transmission Class		
BW:	Both Ways	ENCL:	Enclosure	J-BOX:	Junction Box	PERP:	Perpendicular	STD:	Standard		
B/W:	Between	EQ:	Equal	JAN:	Janitor	PLWD:	Plywood	STL:	Steel		
C/C:	Center to Center	EQPM:	Equipment	JST:	Joist	PLUMB:	Plumbing	STM:	Steam		
CAB:	Cabinet	EW:	Each Way	JT:	Joint	PNL:	Panel	STOR:	Storage		
CCW:	Counter Clockwise	EXIST:	Existing	L:	Angle	PR:	Pair	STRUCT:	Structural		
CF:	Cubic Feet	EXT:	Exterior	LAV:	Lavatory	PREFAB:	Prefabricated	SUSP:	Suspended, Suspend		
CJ:	Control Joint	FDN:	Foundation	LH:	Left Hand	PRTN:	Partition				
		FE:	Fire Extinguisher			PT:	Paint				
		FIN:	Finish, finished								
		FIXT:	Fixture								

MATERIAL INDICATION

	EARTH		MASONRY		WOOD FRAMING		PLASTIC LAMINATED WOOD		BATT INSULATION		STEEL
	COMPACTED EARTH		BRICK		WOOD BLOCKING		FINISH WOOD		RIGID INSULATION		ALUMINUM
	CONCRETE		GYPSUM BOARD		PLYWOOD		CERAMIC OR QUARRY TILE		ACOUSTIC CEILING TILE		

WSA

882 S. FRONT STREET
COLUMBUS, OH 43206

614.824.1633



HOLY TRINITY LUTHERAN CHURCH

COLUMBARIUM AND RENOVATIONS

PROJECT ADDRESS

2001 Northwest Blvd,
Columbus, OH 43212

#	DATE	DESCRIPTION

PRELIMINARY
NOT FOR
CONSTRUCTION

UA BZAP SUBMISSION

DATE PRINTED
20 MAR 2024

PROJECT NUMBER
202406.00

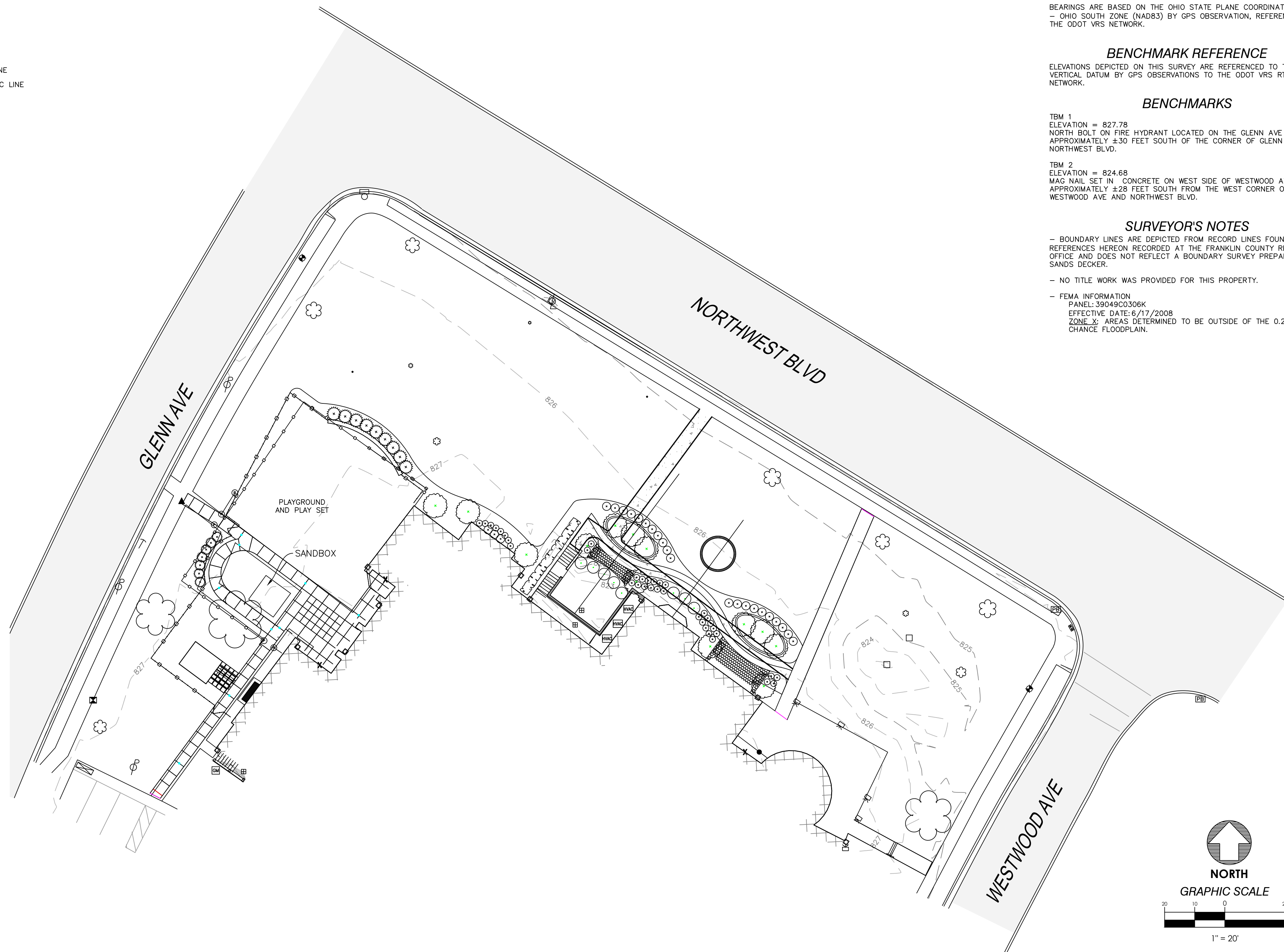
DRAWN BY: KM CHECKED BY: GG

TITLE SHEET

G-001

LEGEND

- | | |
|-------------------|---------------------------|
| — STM — | STORM LINE |
| — W — | WATER LINE |
| — G — | GAS LINE |
| — OHE — | OVERHEAD ELECTRIC LINE |
| — UGE — | UNDERGROUND ELECTRIC LINE |
| — o — o — o — | BAR FENCE |
| ~~~~~ | LANDSCAPE EDGE |
| — o — o — o — o — | HAND RAIL |
| ○ | MANHOLE |
| □ | DOWNSPOUT |
| □ | CATCH BASIN |
| 田 | YARD DRAIN |
| ▭ | CURB INLET |
| ● | CLEANOUT |
| ⦿ | FIRE HYDRANT |
| ⊗ | WATER MAIN VALVE |
| ⊗ | WATER VALVE |
| ⊗ | GAS VALVE |
| ⊗ | GAS METER |
| ⊙ | LIGHT POLE |
| ⊙ | POWER POLE |
| ⊙ | GROUND LIGHT |
| ⊙ | GUY WIRE |
| HVAC | HVAC UNIT |
| PB | PULL BOX |
| ☀ | CONIFEROUS TREE |
| ☀ | DECIDUOUS TREE |
| ○ | BUSH |
| ⊙ | POST |
| ⊙ | SIGN |
| ⊙ | PARKING BLOCK |
| X | FINISHED FLOOR |
| ⊙ | BENCHMARK |
| ▭ | CONCRETE |
| ▭ | ASPHALT |
| ▭ | BRICK |
| ▭ | BUILDING |



HORIZONTAL REFERENCE

BEARINGS ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM
- OHIO SOUTH ZONE (NAD83) BY GPS OBSERVATION, REFERENCED TO
THE ODOT VRS NETWORK.

BENCHMARK REFERENCE

ELEVATIONS DEPICTED ON THIS SURVEY ARE REFERENCED TO THE NAVD88 VERTICAL DATUM BY GPS OBSERVATIONS TO THE ODOT VRS RTK NETWORK.

BENCHMARKS

TBM 1
ELEVATION = 827.78
NORTH BOLT ON FIRE HYDRANT LOCATED ON THE GLENN AVE
APPROXIMATELY ±30 FEET SOUTH OF THE CORNER OF GLENN AVE AND
NORTHWEST BLVD.

TBM 2
ELEVATION = 824.68
MAG NAIL SET IN CONCRETE ON WEST SIDE OF WESTWOOD AVE
APPROXIMATELY ± 28 FEET SOUTH FROM THE WEST CORNER OF
WESTWOOD AVE AND NORTHWEST BLVD.

SURVEYOR'S NOTES

- BOUNDARY LINES ARE DEPICTED FROM RECORD LINES FOUND IN REFERENCES HEREON RECORDED AT THE FRANKLIN COUNTY RECORDER'S OFFICE AND DOES NOT REFLECT A BOUNDARY SURVEY PREPARED BY SANDS DECKER.

- NO TITLE WORK WAS PROVIDED FOR THIS PROPERTY.

- FEMA INFORMATION
PANEL: 39049C0306K
EFFECTIVE DATE: 6/17/2008
ZONE X: AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL
CHANCE FLOODPLAIN.

UTILITIES

EXISTING UTILITIES: THE INFORMATION SHOWN CONCERNING EXISTING UTILITIES IS APPROXIMATE. THE LOCATION, SIZES, AND OTHER INFORMATION IS ONLY AS ACCURATE AS THE INFORMATION PROVIDED BY THE OWNERS OF THE UTILITY COMPANY. THIS INFORMATION IS NOT REPRESENTED, WARRANTED, OR GUARANTEED TO BE COMPLETE OR ACCURATE.

THE FOLLOWING UTILITY OWNERS WERE CONTACTED AS LISTED BY OUPS
CONFIRMATION TICKET A315004994:

COLUMBIA GAS OF OHIO	1-800-344-4077
AT&T OHIO	1-800-660-1000

AEP OHIO POWER 1-800-277-2177

MCI INC 1-888-624-5622

CITY OF UPPER ARLINGTON 1-614-583-5070

CHARTER COMMUNICATIONS 1-866-849-1945

*DENOTES THE UTILITY LINE IS DRAWN FROM PLANS

GENERAL NOTES:

APPROVED PLANS: THE CIVIL/SITE DRAWINGS PREPARED BY SANDS DECKER FOR THIS PROJECT ARE NOT FOR CONSTRUCTION UNLESS AND UNTIL ALL APPLICABLE APPROVALS HAVE BEEN SECURED AND THE DRAWINGS ARE ISSUED FOR CONSTRUCTION. LAYOUT, FABRICATION OF MATERIALS, CONSTRUCTION, OR ANY CONSTRUCTION-RELATED ACTIVITIES ASSOCIATED WITH THESE DRAWINGS IS NOT TO PROCEED UNLESS EACH SHEET INCLUDES THE ISSUED FOR CONSTRUCTION LABEL.

GENERAL: THE CURRENT STATE OF OHIO, DEPARTMENT OF TRANSPORTATION CONSTRUCTION & MATERIAL SPECIFICATIONS (ODOTCMS) TOGETHER WITH THE REQUIREMENTS OF UPPER ARLINGTON, INCLUDING ALL SUPPLEMENTS THERETO, IN FORCE ON THE DATE OF CONTRACT, SHALL GOVERN ALL MATERIALS & WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN ON THESE PLANS. WHEN THERE IS OR APPEARS TO BE A CONFLICT BETWEEN THE ABOVE REFERENCED SPECIFICATIONS & THESE PLANS, THE MOST STRINGENT REQUIREMENT SHALL GOVERN. UNLESS OTHERWISE SPECIFIED, ALL ITEM NUMBERS REFER TO ODOTCMS.

PROJECT LIMITS: THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT. THE EXISTING RIGHTS-OF-WAY, CONSTRUCTION EASEMENTS & PERMANENT EASEMENTS, & SHALL NOT TRESPASS UPON PRIVATE PROPERTY WITHOUT WRITTEN CONSENT OF THE PROPERTY OWNER.

PROTECTION OF SURVEY MONUMENTS: THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS, & ANY OTHER SURVEY MONUMENTS OR MARKERS. IF THE ACTIONS OF THE CONTRACTOR, HIS EMPLOYEES, OR HIS SUB-CONTRACTORS RESULT IN DESTRUCTION OF OR DAMAGE TO ANY OF THE ABOVE ITEMS, THOSE ITEMS SHALL BE ACCURATELY RESTORED, AT THE CONTRACTOR'S EXPENSE, BY A LICENSED SURVEYOR REGISTERED IN THE STATE OF OHIO.

MISCELLANEOUS WORK: ALL ITEMS OF WORK CALLED FOR ON THE PLANS FOR WHICH NO SPECIFIC METHOD OF PAYMENT IS PROVIDED SHALL BE PERFORMED BY THE CONTRACTOR & THE COST OF SAME SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS RELATED ITEMS.

PERMITS: THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS UNLESS OTHERWISE INDICATED IN THESE DOCUMENTS.

TRAFFIC CONTROL: THE CONTRACTOR SHALL USE ADEQUATE LIGHTS, SIGNS, FLAGGERS, & BARRICADES AS REQUIRED IN ITEM 614 TO SAFEGUARD THE TRAVELING PUBLIC AT ALL TIMES. ALL TRENCHES SHALL BE BACKFILLED OR SECURELY PLATED DURING NON-WORKING HOURS. WHERE IT IS ANTICIPATED THAT WORK WILL CLOSE A ROAD OR STREET, THE CONTRACTOR SHALL INFORM THE RESIDENTS TO BE AFFECTED, THE LOCAL LAW ENFORCEMENT AGENCY, THE LOCAL FIRE DEPARTMENT, & THE ENGINEER AS TO THE EXTENT, NATURE, & THE TIME OF THE ANTICIPATED WORK. THE CONTRACTOR SHALL SUBMIT A PLAN & SCHEDULE FOR DETOURING TRAFFIC 10 DAYS PRIOR TO THE CLOSING OF ANY ROAD OR STREET TO THE ENGINEER & ROAD OWNER. DURING A CLOSING OF A ROAD OR STREET, THE CONTRACTOR SHALL PROVIDE ACCESS TO PROPERTIES FOR EMERGENCY VEHICLES & THE PROPERTY OWNERS. NO ROAD OR STREET SHALL BE CLOSED UNTIL THE SCHEDULE IS APPROVED BY THE AGENCY HAVING CONTROL OF THE ROAD.

SAFETY OF CONSTRUCTION: THE CONTRACTOR SHALL COMPLY WITH THE FEDERAL OCCUPATIONAL SAFETY & HEALTH ACT OF 1970 (OSHA) & ALL OTHER APPLICABLE FEDERAL, STATE, & LOCAL LAWS, REGULATIONS, FINDINGS & ORDERS RELATING TO SAFETY & HEALTH CONDITIONS ON THE WORK SITE. CONSTRUCTION METHODS FOR COMPLETING THE WORK DESCRIBED IN THESE CONTRACT DOCUMENTS SHALL BE CONSISTENT WITH THE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) AMENDED CONSTRUCTION STANDARDS FOR EXCAVATIONS, 29 CFR PART 1926, SUB-PART P, EFFECTIVE MARCH 5, 1990.

EROSION & SEDIMENT CONTROL: PROJECTS DISTURBING LESS THAN ONE ACRE & NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT ARE NOT REQUIRED TO SUBMIT A NOTICE OF INTENT (NOI) TO THE OHIO EPA FOR COVERAGE UNDER THEIR GENERAL CONSTRUCTION STORM WATER PERMIT & ARE NOT REQUIRED TO MAINTAIN A STORM WATER POLLUTION PREVENTION PLAN (SWP3) ON SITE. THE CONTRACTOR SHALL, HOWEVER, INSTALL & MAINTAIN SILT FENCES, DITCH CHECKS, TEMPORARY SEEDING, & OTHER MEASURES AS NECESSARY TO CONTROL SOIL EROSION & PREVENT SEDIMENT-LADEN RUN-OFF FROM EXITING THE SITE OR ENTERING STORM SEWER SYSTEMS OR DRAINAGE WAYS.

EXISTING UTILITIES: THE INFORMATION SHOWN CONCERNING EXISTING UTILITIES IS APPROXIMATE. THE LOCATION, SIZES, & OTHER INFORMATION SHOWN IS ONLY AS ACCURATE AS THAT PROVIDED BY THE OWNERS OF THE UTILITY. THIS INFORMATION IS NOT REPRESENTED, WARRANTED OR GUARANTEED TO BE COMPLETE OR ACCURATE. THE ENGINEER DOES NOT INDEPENDENTLY VERIFY NOR FIELD LOCATE UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO PHYSICALLY LOCATE & VERIFY, IN THE FIELD, THE HORIZONTAL & VERTICAL LOCATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO THE BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL SUPPORT, PROTECT & RESTORE ALL EXISTING UTILITIES & THEIR ASSOCIATED ITEMS. THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE SECTIONS OF THE OHIO REVISED CODE INCLUDING SECTIONS 153.64 & 3781.28. THE CONTRACTOR SHALL NOTIFY THE REGISTERED UTILITY PROTECTION SERVICE & ALL UTILITY OWNERS HAVING FACILITIES IN THE CONSTRUCTION AREA WHO ARE NOT MEMBERS OF A REGISTERED UNDERGROUND UTILITY PROTECTION SERVICE. THE CONTRACTOR SHALL GIVE NOTIFICATION AS REQUIRED BY OHIO REVISED CODE, AT LEAST TWO (2) & NOT MORE THAN TEN (10) WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION OPERATIONS, EXCLUDING SATURDAYS, SUNDAYS, & LEGAL HOLIDAYS, & SHALL COORDINATE HIS WORK WITH THE UTILITY OWNERS UNTIL HIS WORK IS COMPLETED. THE CONTRACTOR SHALL KEEP THE UTILITY OWNERS APPRISED OF HIS SCHEDULE & REQUIREMENTS & SHALL PROVIDE THE PROJECT OWNER WITH EVIDENCE OF HAVING NOTIFIED THE UTILITIES & PROVIDED THEM WITH HIS WORK SCHEDULE PRIOR TO BEGINNING ANY WORK.

THE CONTRACTOR MAY REVIEW THE INFORMATION PROVIDED TO THE ENGINEER BY THE UTILITY OWNERS AT THE ENGINEER'S OFFICE PRIOR TO SUBMITTING A BID. CONTRACTORS REQUIRING MORE INFORMATION REGARDING EXISTING UTILITIES SHOULD CONDUCT THEIR OWN FIELD INVESTIGATIONS OR OTHERWISE LOCATE THE UTILITIES PRIOR TO SUBMITTING A BID FOR THE CONSTRUCTION. SEE EXISTING SITE SURVEY FOR A LISTING OF UTILITIES THAT MAY HAVE UNDERGROUND FACILITIES IN THE PROJECT AREA.

DRAINAGE TILE: ALL FARM DRAINS, ROADWAY DRAINS, & OTHER DRAINAGE TILE WHICH ARE ENCOUNTERED WITHIN THE CONSTRUCTION LIMITS DURING CONSTRUCTION SHALL BE PROVIDED WITH AN UNOBSTRUCTED OUTLET. EXISTING COLLECTOR TILES WHICH ARE LOCATED BELOW THE PROPOSED FINISHED ELEVATION & WHICH CROSS THE TRENCH SHALL BE REPLACED WITHIN THE TRENCH LIMITS BY ITEM 611 CONDUIT. THE LOCATION, TYPE, SIZE, & GRADE OF THE REQUIRED REPLACEMENT SHALL BE DETERMINED BY THE PROJECT ENGINEER OR HIS SITE REPRESENTATIVE DURING CONSTRUCTION. NECESSARY BENDS OR FITTINGS, COMPACTED GRANULAR BACKFILL, & ASSOCIATED ITEMS SHALL BE INCLUDED IN THE BID PRICE.

CONFLICTS IN GRADE: IN ALL CONFLICTS IN GRADE BETWEEN THE WATER LINES OR WATER SERVICES & OTHER EXISTING UTILITIES, THE WATER LINE/SERVICE LINE SHALL BE LOWERED DURING CONSTRUCTION. A MINIMUM 18" VERTICAL & 10' HORIZONTAL CLEARANCE SHALL BE MAINTAINED BETWEEN THE WATER LINE & ANY SANITARY OR STORM SEWER; 12" MINIMUM VERTICAL CLEARANCE FOR OTHER UTILITIES. THE CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING UTILITIES AHEAD OF HIS CONSTRUCTION OPERATIONS TO ALLOW FOR ADJUSTMENTS IN GRADE TO THE WATER LINE THAT MAY BE REQUIRED AS A RESULT OF POTENTIAL CONFLICTS WITH AN EXISTING UTILITY. NO ADDITIONAL COMPENSATION WILL BE MADE TO THE CONTRACTOR FOR LOWERING THE WATER LINE TO AVOID CONFLICTS WITH EXISTING UTILITIES.

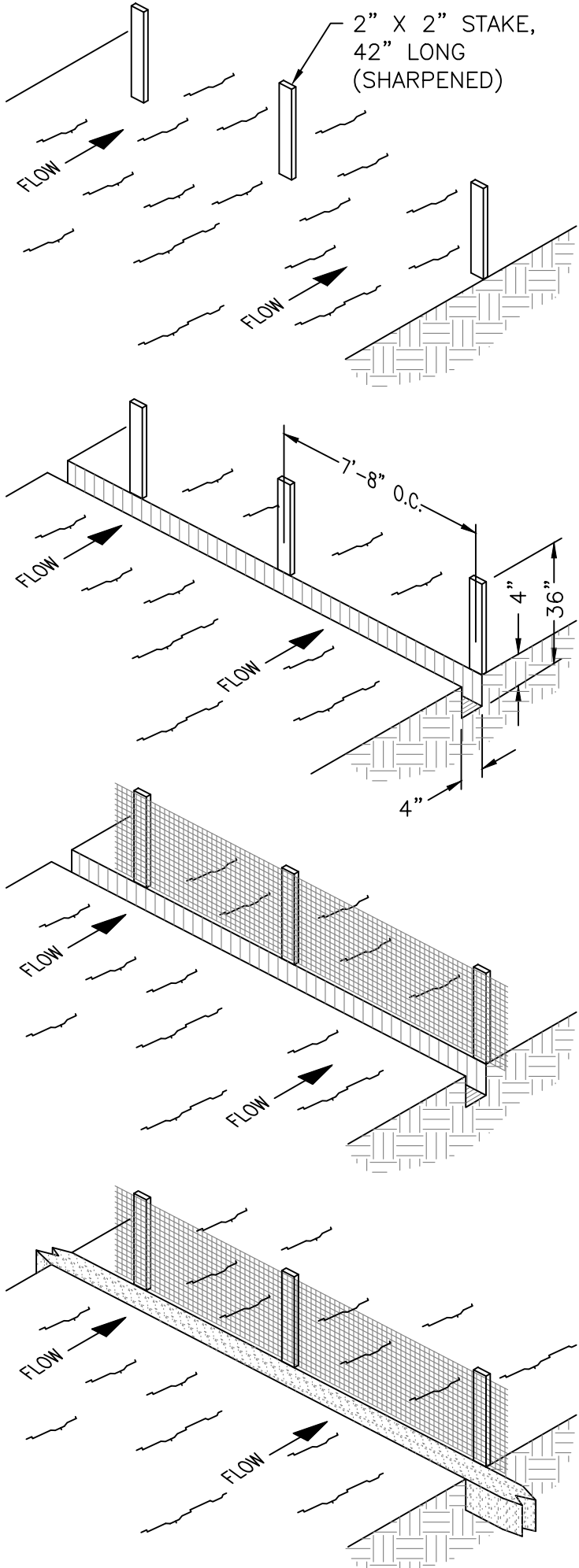
FINAL GRADING & CLEAN-UP: THE CONTRACTOR SHALL CLEAN UP ALL DEBRIS & MATERIALS RESULTING FROM HIS OPERATION & RESTORE ALL SURFACES, STRUCTURES, DITCHES, SIGNS, MAILBOXES, FENCES, GUARDRAILS, OR OTHER PHYSICAL FEATURES OR PROPERTY DISTURBED OR DAMAGED DURING WORK UNDER THIS CONTRACT TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE ENGINEER. THE COST OF ALL SUCH WORK SHALL BE INCLUDED WITH THE VARIOUS RELATED ITEMS.

SEEDING & MULCHING: ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION & ELEVATION OR TO THE PROPOSED ELEVATIONS SHOWN ON THE DRAWINGS, & PROPER DRAINAGE SHALL BE PROVIDED. AFTER FINAL GRADING, THE SEED BED SHALL BE RAKED & ALL STONES, CLODS, LUMPS & OTHER FOREIGN MATERIAL GREATER THAN 1" IN DIAMETER SHALL BE REMOVED PRIOR TO SEEDING & MULCHING. ALL AREAS SHALL BE SEEDED PER ITEM 659.09, CLASS 1 FOR RESIDENTIAL AREAS OR CLASS 2 FOR RURAL ROADSIDE AREAS, UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL WATER, RE-SEED & MULCH AS NECESSARY UNTIL AN ACCEPTABLE STAND OF GRASS IS ACHIEVED.

STORM SEWER & CULVERT CONSTRUCTION: UNLESS SHOWN OTHERWISE ON THESE PLANS, STORM SEWER & CULVERT CONSTRUCTION SHALL CONFORM TO ODOT SPECIFICATIONS. PIPE SHALL BE CORRUGATED POLYETHYLENE SMOOTH LINED PIPE, ITEM 707.33, OR REINFORCED CONCRETE CIRCULAR PIPE, ITEM 706.02.

BEDDING & BACKFILL: STORM SEWERS UNDER EXISTING OR PROPOSED PAVEMENT LIMITS & DRIVES SHALL BE INSTALLED AS REQUIRED FOR TYPE B OR TYPE D CONDUIT, ITEM 611.02. BACKFILL SHALL BE ITEM 703.11, TYPE 1, UP TO THE PAVEMENT SUBGRADE OR WITHIN 6" OF FINISHED GRADE. THE PAVEMENT LIMITS SHALL BE 5' BEYOND THE EDGE OF PAVEMENT, PAVED SHOULDER OR BACK OF CURB. STORM SEWER OUTSIDE PAVEMENT LIMITS SHALL BE INSTALLED AS REQUIRED FOR TYPE C CONDUIT, ITEM 611.02, USING NATURAL BACKFILL. BEDDING FOR TYPE B, C OR D CONDUIT SHALL CONSIST OF NOS. 57, 6, 67, 7, 78, OR 8, ITEM 703, AS REQUIRED BY THE PIPE MANUFACTURER. ANY SETTLEMENT WHICH OCCURS DURING THE GUARANTEE PERIOD SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.

UNDERDRAIN: WHERE DOWNSPOUTS FROM RESIDENTIAL DWELLINGS ARE TO CONNECT INTO THE STREET UNDERDRAIN SYSTEM, THE UNDERDRAIN SHALL BE 6" MINIMUM OR AS OTHERWISE SPECIFIED. 4" UNDERDRAINS ARE ACCEPTABLE WITHOUT DOWNSPOUT CONNECTIONS. PIPE USED FOR UNDERDRAIN SHALL CONFORM TO ITEM 707.31, CORRUGATED POLYETHYLENE DRAINAGE TUBING.

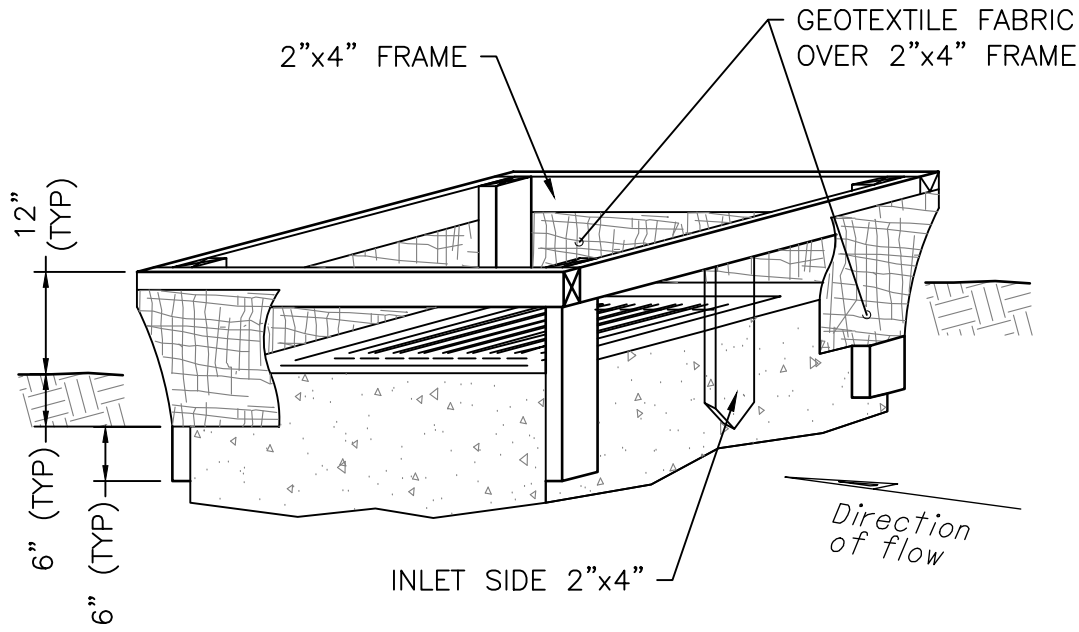


SEDIMENT FENCE

NOT TO SCALE

NOTE:
THE USE OF STRAW WATTLES HAS PROVEN TO BE A VERSATILE AND EFFECTIVE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE, ESPECIALLY IN RESIDENTIAL SETTINGS. STRAW WATTLES MAY BE SUBSTITUTED FOR SILT FENCE. STRAW WATTLES OR COMPOST ROLLS HAVE TO BE A MINIMUM OF 12" IN DIAMETER NOW (OEP4).

ADDITIONALLY:
THE USE OF COMPOST FILTER SOCKS AND COMPOST BLANKETS ARE GAINING WIDER ACCEPTANCE NATIONWIDE. THEY ARE NOW APPROVED FOR USE ON ALL COLUMBUS SWP3 PLANS AND CONSTRUCTION SITES.



SEE ODOT SCD DM-4.4 FOR ADDITIONAL DETAILS.

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT & DEBRIS FROM PANELS, SURFACE & VICINITY OF UNIT AFTER EACH RAIN EVENT. REMOVE SEDIMENT THAT HAS ACCUMULATED WITHIN CONTAINMENT AREA OF UNIT AS NEEDED.

INLET PROTECTION
(LAWN AREAS)

NOT TO SCALE

SILT FENCE: THIS BARRIER UTILIZES STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRIC & IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED.

1. HEIGHT OF BARRIER SHALL NOT EXCEED 36". HIGHER BARRIERS MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE STRUCTURE FAILURE.
2. FILTER FABRIC SHALL BE FROM A CONTINUOUS ROLL & CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FABRIC SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6" OVERLAP, & SECURELY SEALED.
3. POSTS SHALL BE SPACED AT 10' (MAX.) APART & DRIVEN SECURELY INTO THE GROUND 12" (MIN.). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT WIRE MESH SUPPORT, POST SPACING SHALL NOT EXCEED 6'.
4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4" WIDE & 4" DEEP ALONG THE LINE OF POSTS & UP-SLOPE FROM THE BARRIER.
5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT SHALL BE FASTENED SECURELY TO THE UP-SLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1" LONG, TIE WIRES OR HOG RINGS. WIRE MESH SHALL EXTEND INTO THE TRENCH 2" (MIN.) & SHALL NOT EXTEND MORE THAN 36" ABOVE THE ORIGINAL GROUND SURFACE.
6. STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE MESH & 8" OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. FABRIC SHALL NOT EXTEND MORE THAN 36" ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
7. WHEN EXTRA STRENGTH FILTER FABRIC & CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT MAY BE ELIMINATED. IN SUCH CASE, FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO POSTS WITH ALL OTHER PROVISIONS OF ITEM NO. 6 APPLYING.
8. THE TRENCH SHALL BE BACKFILLED & SOIL COMPACTED OVER THE FILTER FABRIC.
9. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UP-SLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

MAINTENANCE:

INSPECT IMMEDIATELY AFTER EACH RAINFALL & AT LEAST DAILY DURING PROLONGED RAINFALL. REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FILTER FABRIC DECOMPOSE OR BECOME INEFFECTIVE WHILE THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO EXISTING GRADE, PREPARED & SEEDED.

DESIGN CAPACITY CHART:

MAX. DRAINAGE AREA PER 100 LF OF BARRIER	RANGE OF SLOPE PER DRAINAGE AREA
0.5 AC.	<2%
0.25 AC.	≥2% BUT <20%
0.125 AC.	≥20% BUT <50%

HOLY TRINITY LUTHERAN CHURCH
COLUMBARIUM AND RENOVATIONS

PROJECT ADDRESS
2001 Northwest Blvd,
Columbus, OH 43212

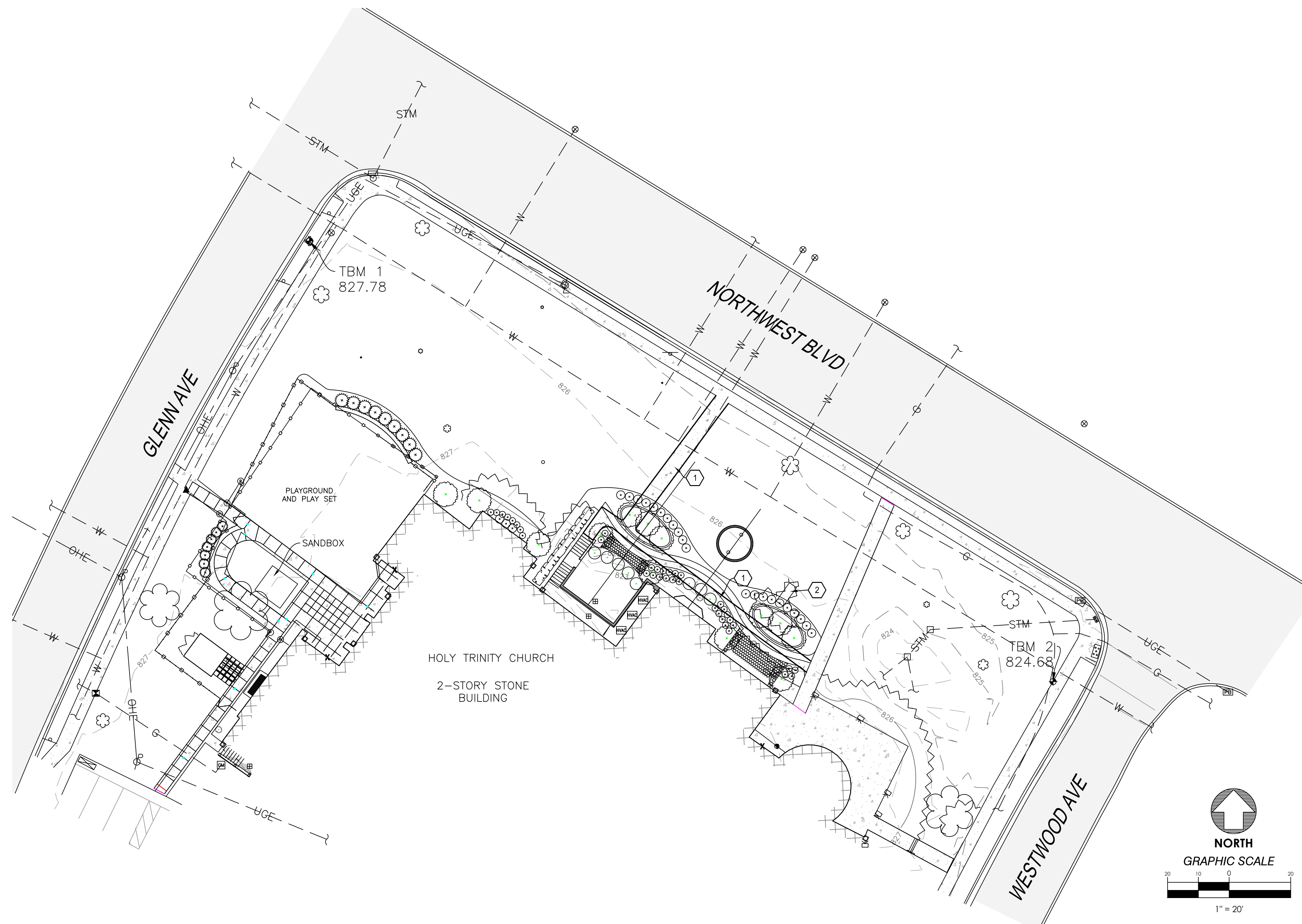
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DATE PRINTED
20 MAR 2024
PROJECT NUMBER
202406.00

DRAWN BY: JMG CHECKED BY: LA

GENERAL NOTES &
SEDIMENT CONTROL
DETAILS

C-1.1



 SITE DEMOLITION KEYNOTES

1. EXISTING SIDEWALK TO BE REMOVED
2. EXISTING CHURCH SIGN AND BRICK FOUNDATION TO BE REMOVED.

MISC. NOTES

- ALL ITEMS ARE EXISTING & ARE TO REMAIN UNLESS INDICATED OTHERWISE BY KEY NOTE.
ALL ITEMS NOTED FOR DEMOLITION SHALL BE REMOVED AND DISPOSED OF IN CONFORMANCE WITH ALL APPLICABLE FEDERAL AND LOCAL REGULATIONS, UNLESS OTHERWISE DIRECTED BY THE OWNER.
CONTRACTOR SHALL COORDINATE THE DISCONNECTION, REMOVAL, RELOCATION, AND/OR ABANDONMENT OF EXISTING UTILITIES WITH THE APPROPRIATE UTILITY OWNER AS NECESSARY AND SHALL MEET ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND REQUIREMENTS. ANY REMOVAL OR RELOCATION SHALL BE COMPLETED ON-SITE, WHETHER SHOWN ON THESE PLANS OR NOT, SHALL BE REMOVED TO THE PROPERTY LINE AND CAPPED. THE REMOVAL OF ITEMS WHICH HAVE IN-GROUND FOUNDATIONS, BASES OR FOOTINGS SHALL INCLUDE COMPLETE REMOVAL OF SAID FOUNDATIONS. VOIDS REMAINING AFTER DEMOLITION WHICH DO NOT FALL WITHIN THE SCOPE OF THIS CONTRACT SHALL BE FILL WITH 6" OF FINISHED GRADE THEN FINISHED WITH TOPSOIL, SEEDING & MULCHING PER SPECIFICATIONS.

LEGEND

EX. CONCRETE PAVEMENT/WALK (TBR

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COLUMBUS, OH 43206
614 824 1633

HOLY TRINITY LUTHERAN CHURCH
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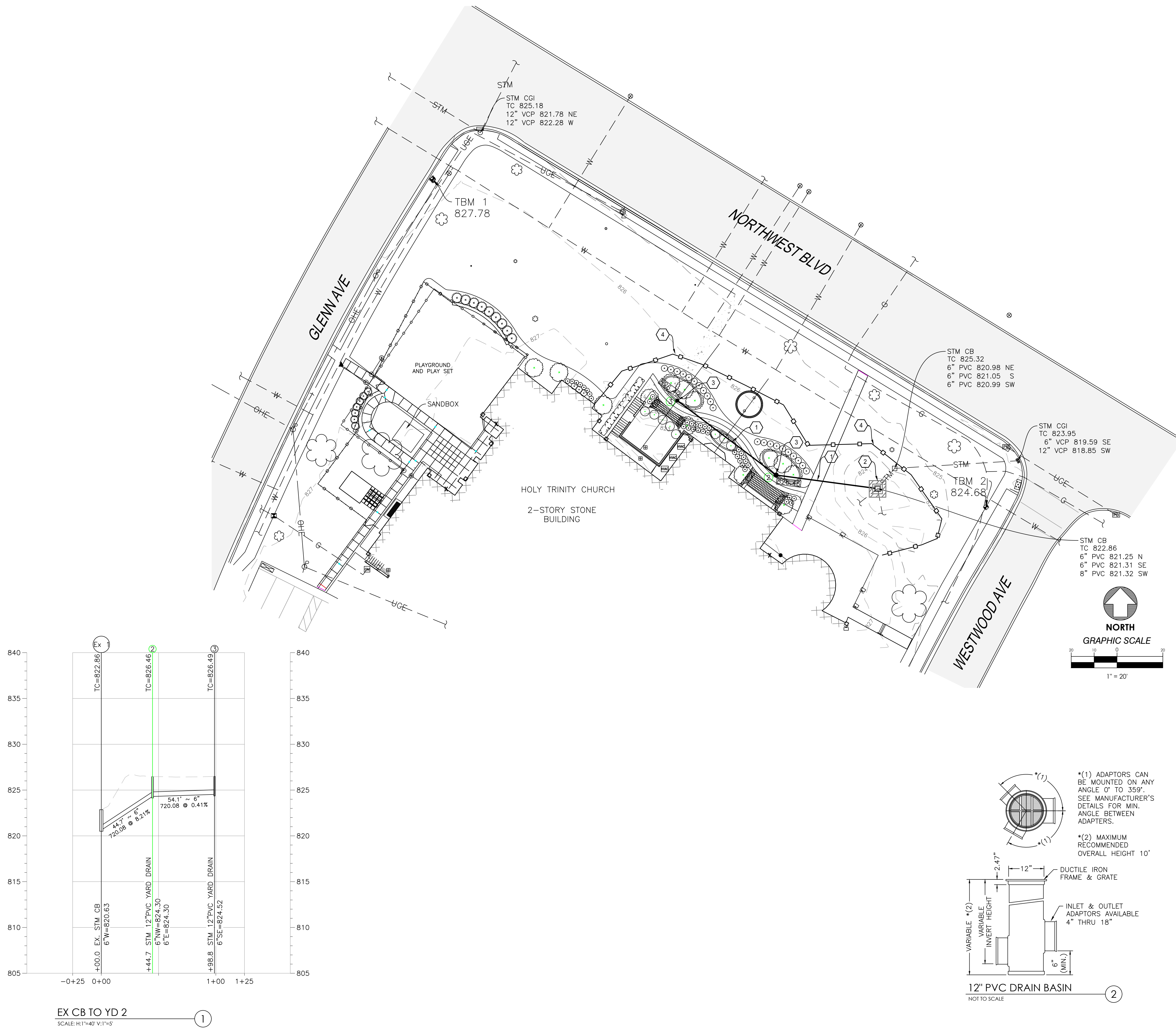
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DEMOLITION PLAN

C-2.0

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1 SITE GRADING KEYNOTES

- STORM SEWER, SEE DETAIL 1.
- INLET PROTECTION, SEE DETAIL 2 ON SHEET C-1.1.
- YARD DRAIN, SEE DETAIL 2.
- SEDIMENT FENCE, SEE DETAIL 1 ON SHEET C-1.1.

MISC. NOTES

- ALL GRADES SHOWN ARE PAVEMENT ELEVATIONS AT FACE OF CURB, WHERE APPLICABLE UNLESS OTHERWISE NOTED. EX = EXISTING; TC = TOP OF CASTING; BC = TOP/BACK OF CURB.
- GRADE BOXES HAVE BEEN TRUNCATED FOR LEGIBILITY. ADD 700 OR 800 TO ALL SPOT ELEVATIONS UNLESS OTHERWISE IDENTIFIED.
- ALL DISTURBED AREAS LEFT UNPAVED SHALL BE SEEDED & MULCHED.
- ALL EXISTING AND PROPOSED STORM SEWER INLETS SHALL BE FITTED WITH EROSION CONTROL DEVICES DURING CONSTRUCTION.
- ANY EXISTING MANHOLES, WATER VALVES, OR OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO GRADE ACCORDING TO THE UTILITY OWNER'S REQUIREMENTS.
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN A TEMPORARY CONSTRUCTION ENTRANCE TO MITIGATE TRACKING OF DIRT AND DEBRIS ONTO PUBLIC STREETS.
- CONTRACTOR SHALL UTILIZE APPROVED CONCRETE WASHOUT AREAS. LOCATIONS TO BE DETERMINED IN THE FIELD.
- ALL SLOPE 3:1 AND STEEPER SHALL REQUIRE ODOT ITEM 671. TEMPORARY EROSION CONTROL MATTING, TYPE C, INSTALLED AND SECURED ACCORDING TO ODOT STD. DWG. DM-4.2 OR MANUFACTURER'S RECOMMENDATIONS.

LEGEND

- INLET PROTECTION
- SEDIMENT FENCE

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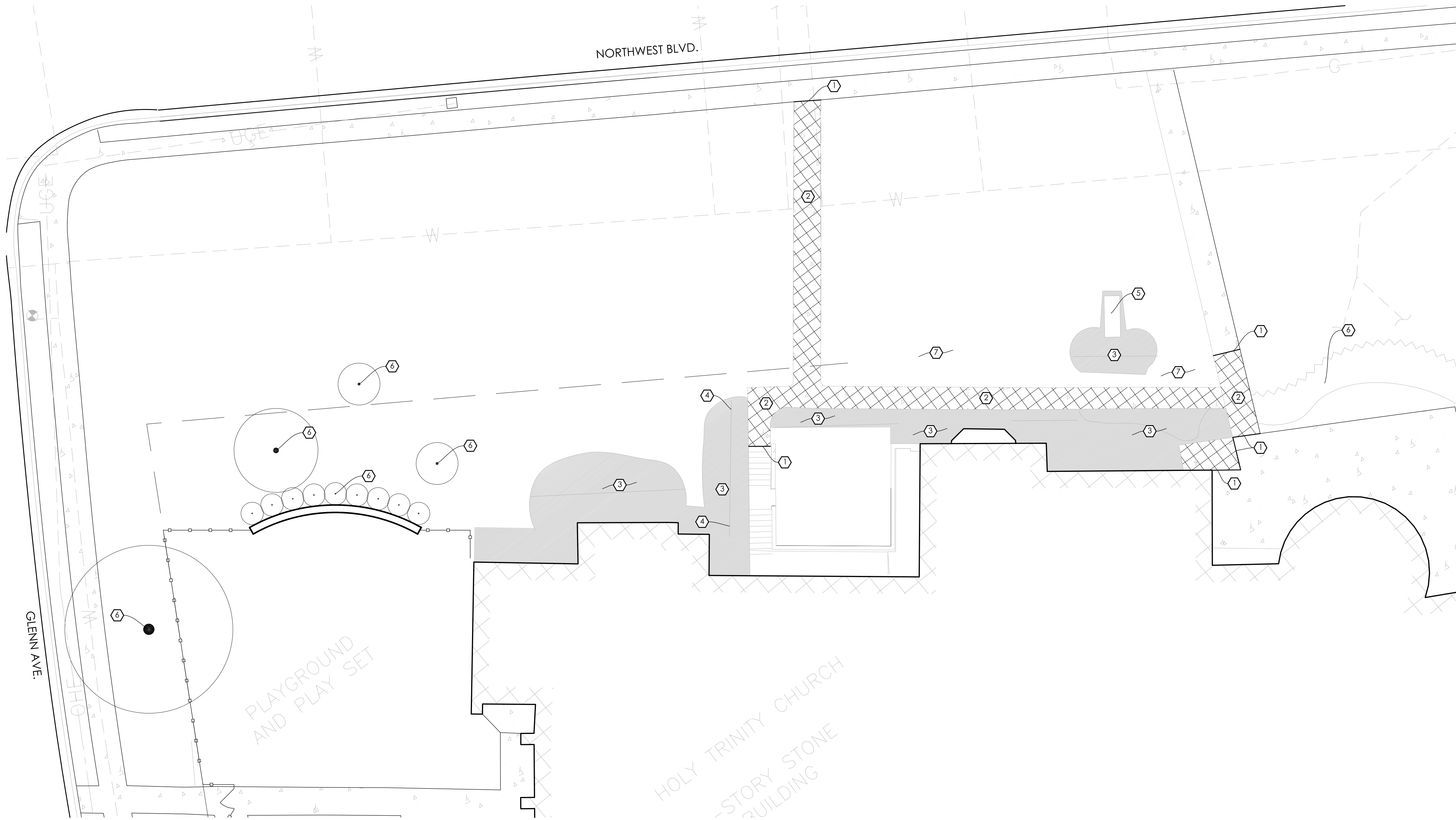
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SITE GRADING PLAN

C-3.0

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1 DEMOLITION PLAN

GENERAL NOTES:

- ALL DIMENSIONS USING CURBS, BUILDING WALLS OR PAVEMENT AS A REFERENCE ARE FROM FACE OF CURB, FINISHED FACE OF BUILDING, FINISHED FACE OF WALL OR EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
- THE LOCATIONS OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- EACH CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY IF A DISCREPANCY IS FOUND BETWEEN THE DIMENSION GIVEN AND ACTUAL DIMENSIONS IN THE FIELD, PRIOR TO CONSTRUCTION.
- ALL LAYOUT TO BE BY A REGISTERED SURVEYOR OR ENGINEER. THE OWNER'S REPRESENTATIVE WILL REVIEW THE LAYOUT FOR GENERAL CONFORMANCE PRIOR TO CONSTRUCTION.
- ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.
- WORK SHOWN IS BASED ON A SURVEY ORIGINALLY PROVIDED BY SANDS DECKER, 1495 OLD HENDERSON RD. COLUMBUS, OHIO 43220 (614)459-6992.
- ALL DEMOLITION MATERIALS TO BE DISPOSED OF LEGALLY OFF SITE, UNLESS SPECIFICALLY NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE TEMPORARY BARRIERS AT LIMITS OF CONSTRUCTION TO ASSURE PUBLIC SAFETY DURING CONSTRUCTION.

DEMOLITION NOTES:

- 1 LIMIT OF PAVEMENT REMOVAL.
- 2 SAWCUT AND REMOVE EXISTING CONCRETE PAVEMENT AND GRAVEL BASE AS NECESSARY FOR NEW CONSTRUCTION.
- 3 EXISTING PLANT MATERIAL TO BE REMOVED.
- 4 REMOVE EXISTING GUARDRAIL.
- 5 REMOVE SIGN, WALL, AND FOUNDATION.
- 6 EXISTING PLANT MATERIALS TO REMAIN.
- 7 REMOVE SOD AS NECESSARY TO FACILITATE NEW CONSTRUCTION.

DEMOLITION LEGEND:

- CONCRETE AND BASE TO BE REMOVED.
- PLANT MATERIALS AND ROOT BALLS TO BE REMOVED.

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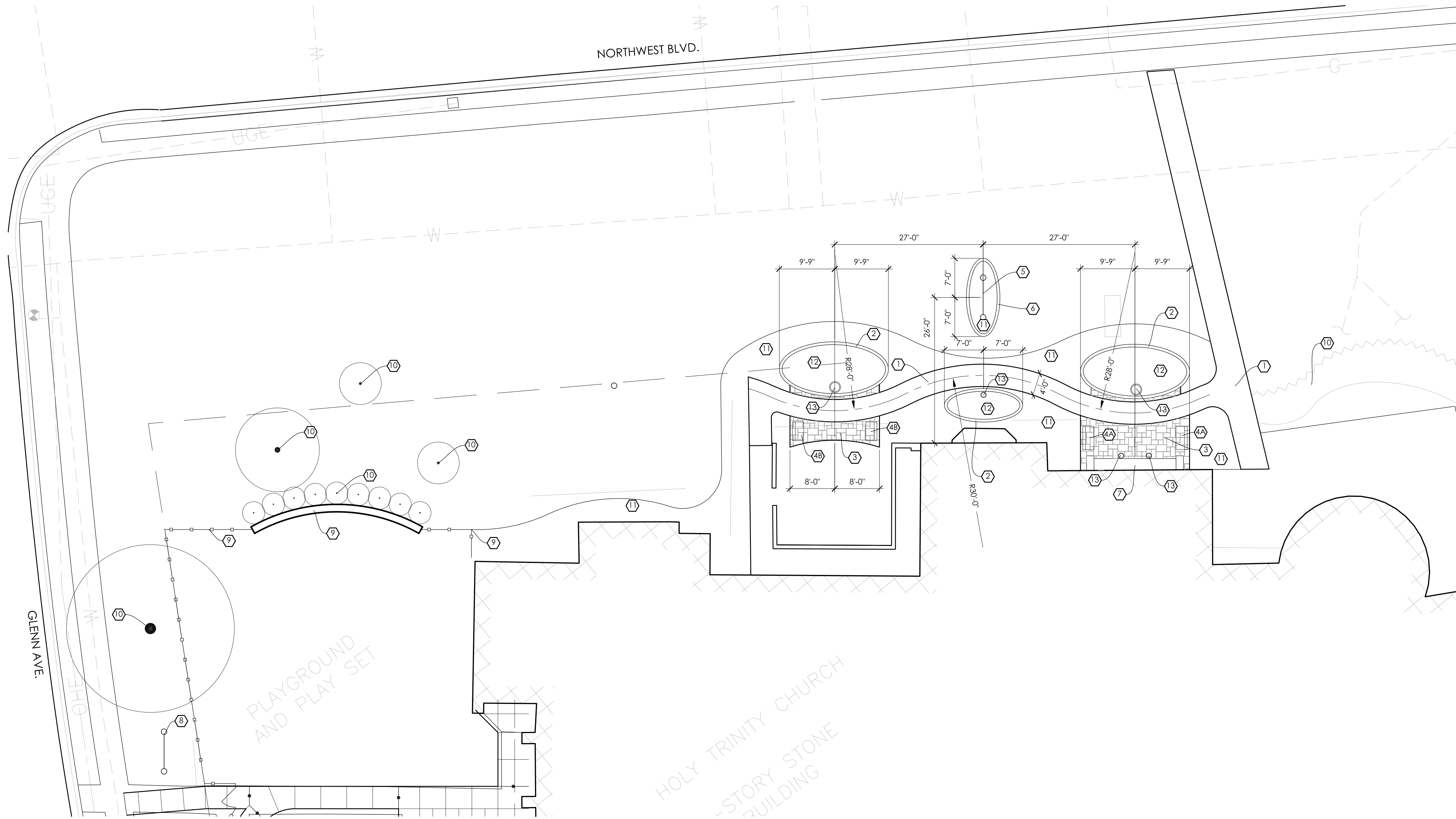
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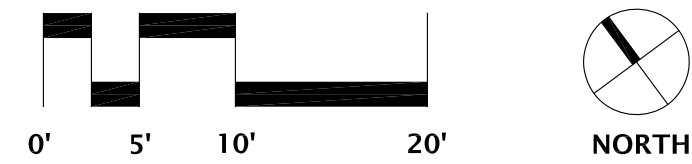
DEMOLITION PLAN

L1.00

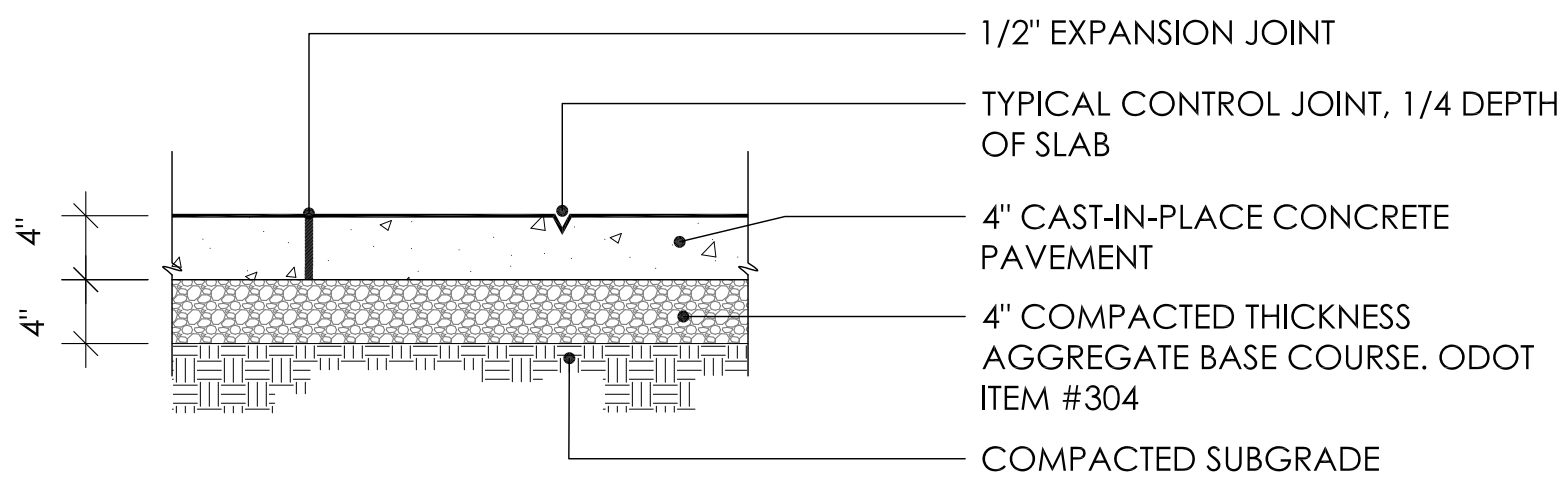
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1 LAYOUT & MATERIALS PLAN

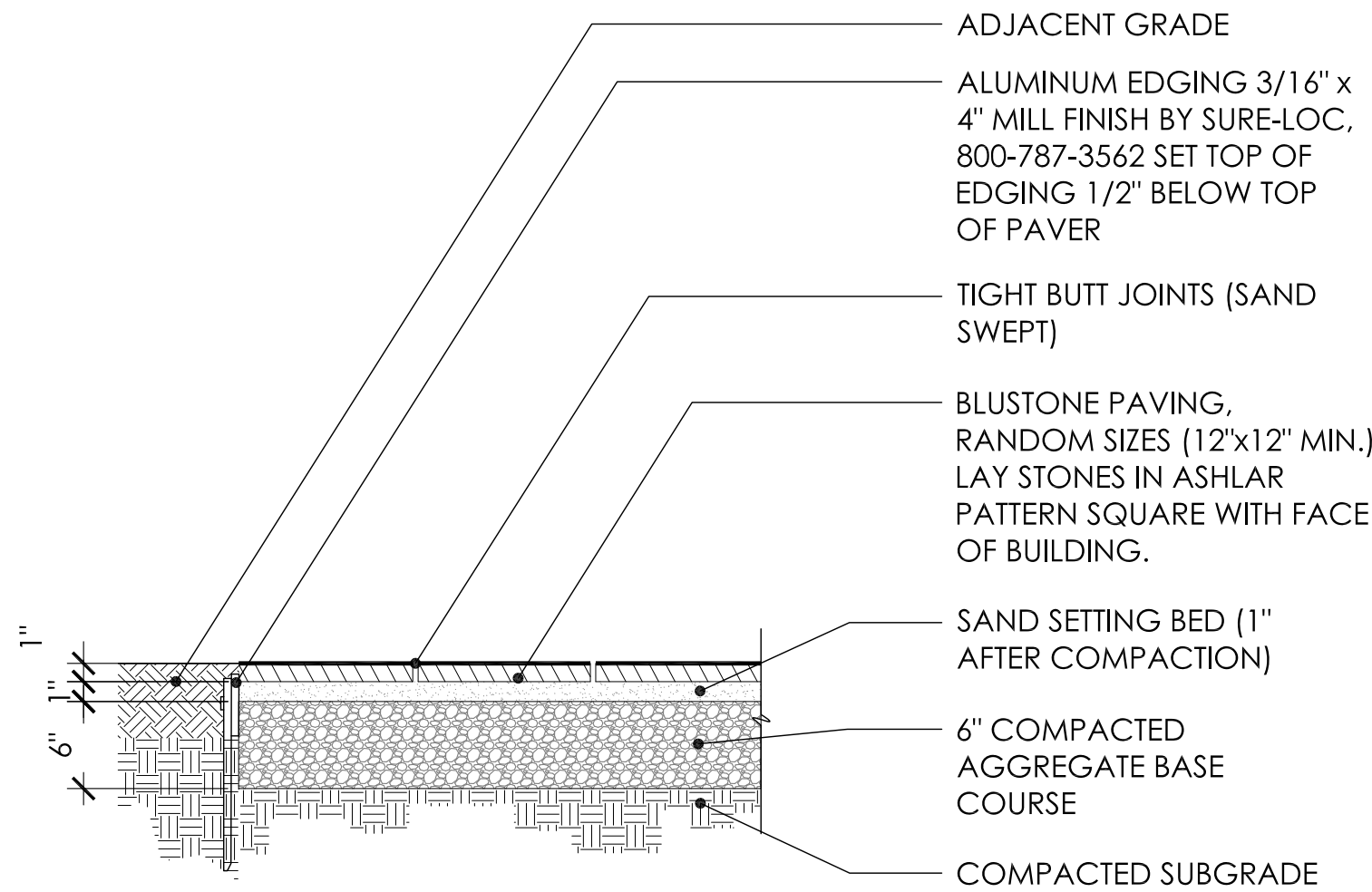


- NOTES:
1. EXPANSION AND CONTROL JOINTS AS SHOWN ON PLAN. IF NOT INDICATED, EXPANSION JOINTS TO BE 30'-0" O.C. CONTROL JOINTS TO BE @ 5'-0" O.C.
 2. PROVIDE LIGHT BROOM FINISH ON ALL CONCRETE SURFACES AFTER JOINT & EDGE TOOLING. PROVIDE 1/4" RADIUS ON ALL SLAB EDGES.
 3. EXPANSION JOINTS SHALL BE 1/2" WIDE.



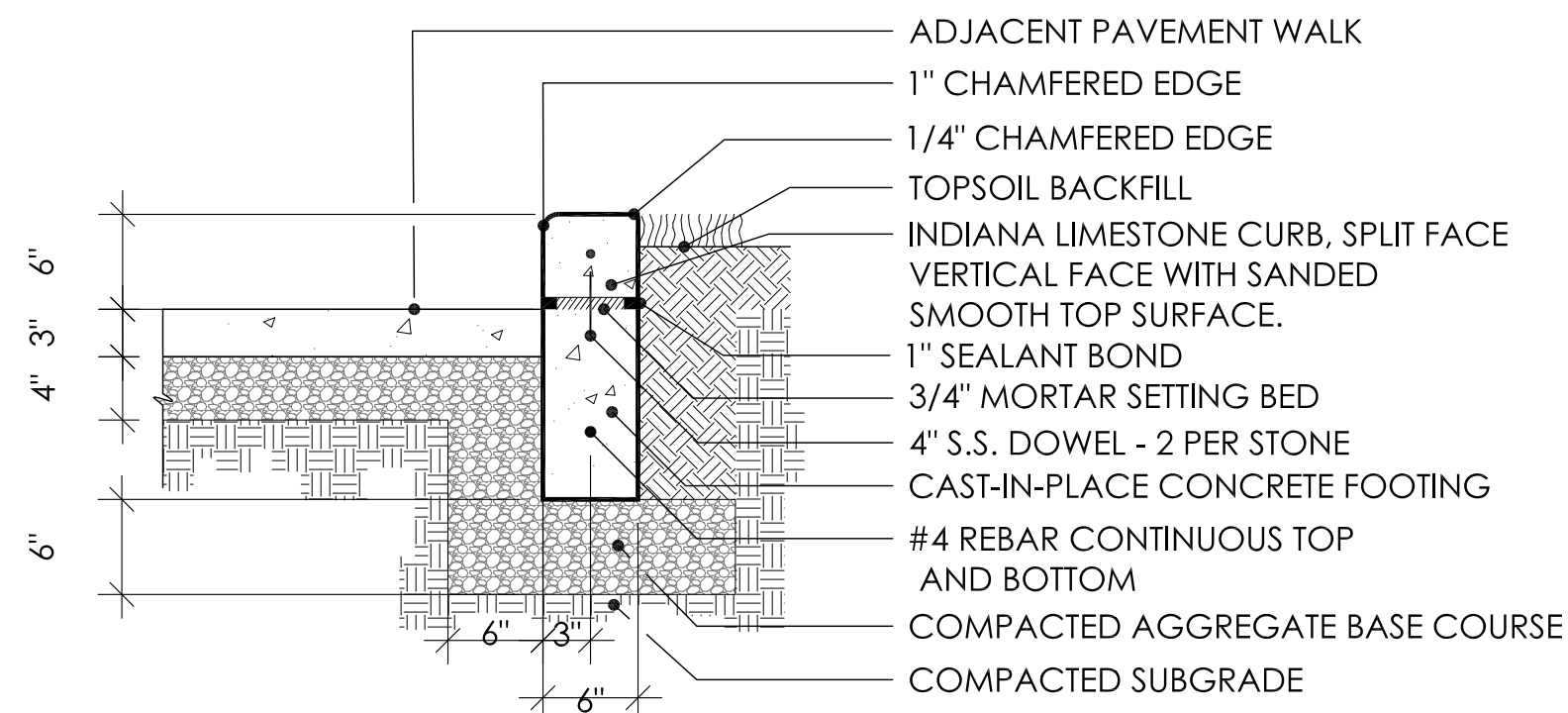
2 CONCRETE SIDEWALK

SCALE: 1" = 1'-0"



3 FLAGSTONE WALKWAY

SCALE 1" = 1' - 0"



4 LIMESTONE CURB

SCALE = 1"=1'-0"

GENERAL NOTES:

1. ALL DIMENSIONS USING CURBS, WALLS OR PAVEMENT AS A REFERENCE ARE FROM FACE OF CURB, FINISHED FACE OF WALL OR EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
2. LOCATION OF THE EXISTING UNDERGROUND UTILITIES IS APPROXIMATE & HAS NOT BEEN VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING WORK & IS RESPONSIBLE FOR DAMAGES OCCASIONED DUE TO NEGLIGENCE IN LOCATING & PRESERVING UNDERGROUND UTILITIES.
3. CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY IF A DISCREPANCY IS FOUND BETWEEN THE DIMENSION GIVEN & DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION.
4. ALL LAYOUT TO BE BY A REGISTERED SURVEYOR OR ENGINEER. THE OWNER'S REPRESENTATIVE WILL REVIEW THE LAYOUT FOR GENERAL CONFORMANCE PRIOR TO CONSTRUCTION.
5. WORK SHOWN IS BASED ON A SURVEY PROVIDED BY SANDS DECKER, 1495 OLD HENDERSON RD. COLUMBUS, OHIO 43220 (614)459-6992.

CONSTRUCTION NOTES:

- 1 CONCRETE SIDEWALK, SEE DETAIL 2, L1.01
- 2 LIMESTONE LANDSCAPE CURB, SEE DETAIL 4, L1.01.
- 3 LIMESTONE FLAGSTONE PAVING ON AGGREGATE BASE, RANDOM ASHLAR PATTERN, SEE DETAIL 3, L1.01.
- 4A 6' BENCH. WORLD'S FAIR BENCH WITH ARMS. NATURAL IPE. MANUFACTURED BY KENNETH LYNCH & SONS.
- 4B 4' BENCH. WORLD'S FAIR BENCH WITH ARMS. NATURAL IPE. MANUFACTURED BY KENNETH LYNCH & SONS.
- 5 NEW SIGN, SEE ARCHITECT'S DRAWINGS.
- 6 CUT LIMESTONE PLANT BED EDGING
- 7 COLUMBARIUM, SEE ARCHITECT'S DRAWINGS
- 8 NEW PRESCHOOL SIGN, SEE ARCHITECT'S DRAWINGS.
- 9 EXISTING FENCE AND WALL.
- 10 EXISTING PLANT MATERIAL.
- 11 PROPOSED PLANT BED. SEE SHEET L2.01.
- 12 PROPOSED INTERNMENT AREA.
- 13 STONE URN TO RECEIVE CUT FLOWERS.



HOLY TRINITY LUTHERAN CHURCH

COLUMBARIUM AND RENOVATIONS

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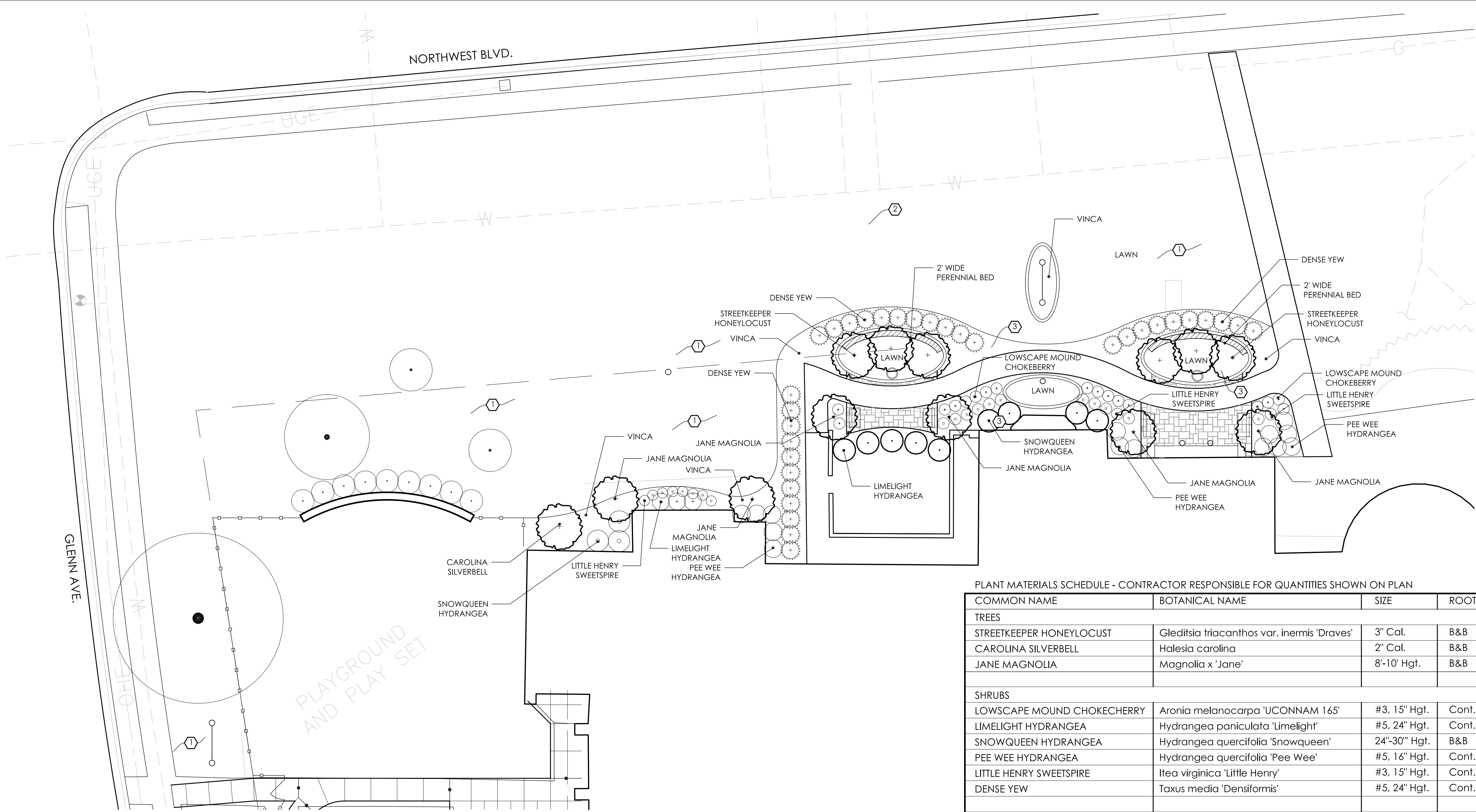
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LAYOUT AND MATERIALS
PLAN

L1.01

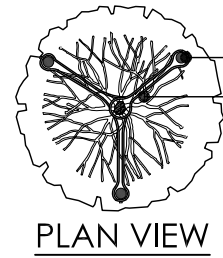
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1 PLANTING PLAN

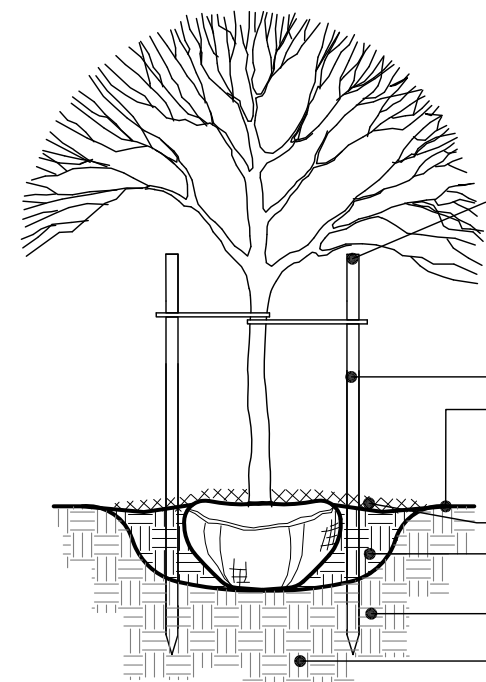
PREVAILING WIND



WOOD STAKES
RUBBER TIES

NOTES:

1. ROOT FLARE TO BE FLUSH WITH ADJACENT FINISH GRADE
2. REMOVE ROPE AND BURLAP FROM TOP 1/3 OF ROOT BALL CUT TOP 1/3 OF WIRE BASKET FROM ROOT BALL. REMOVE ALL LABELS, TAGS OR OTHER FOREIGN MATERIALS FROM LIMBS.



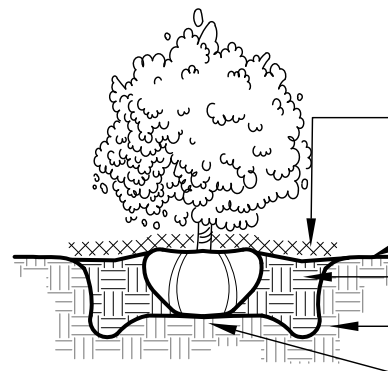
NON-ABRASIVE RUBBER TIES
FINISH GRADE
HARDWOOD BARK MULCH
BACKFILL PLANTING SOIL MIX
EXISTING SOIL
UNDISTURBED SOIL OR COMPACTED BACKFILL

2 DECIDUOUS TREE PLANTING

NTS

NOTES:

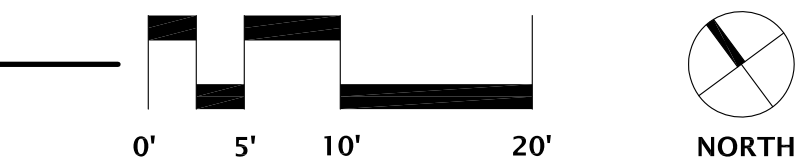
1. TOP OF ROOT BALL TO BE 2'-3" ABOVE ADJACENT FINISH GRADE
2. REMOVE ROPE AND BURLAP FROM TOP 1/3 OF ROOT BALL. REMOVE ALL LABELS, TAGS OR OTHER FOREIGN MATERIALS FROM LIMBS.



HARDWOOD BARK MULCH
FINISH GRADE
BACKFILL PLANTING SOIL MIX
EXISTING SOIL
UNDISTURBED SOIL OR COMPACTED BACKFILL

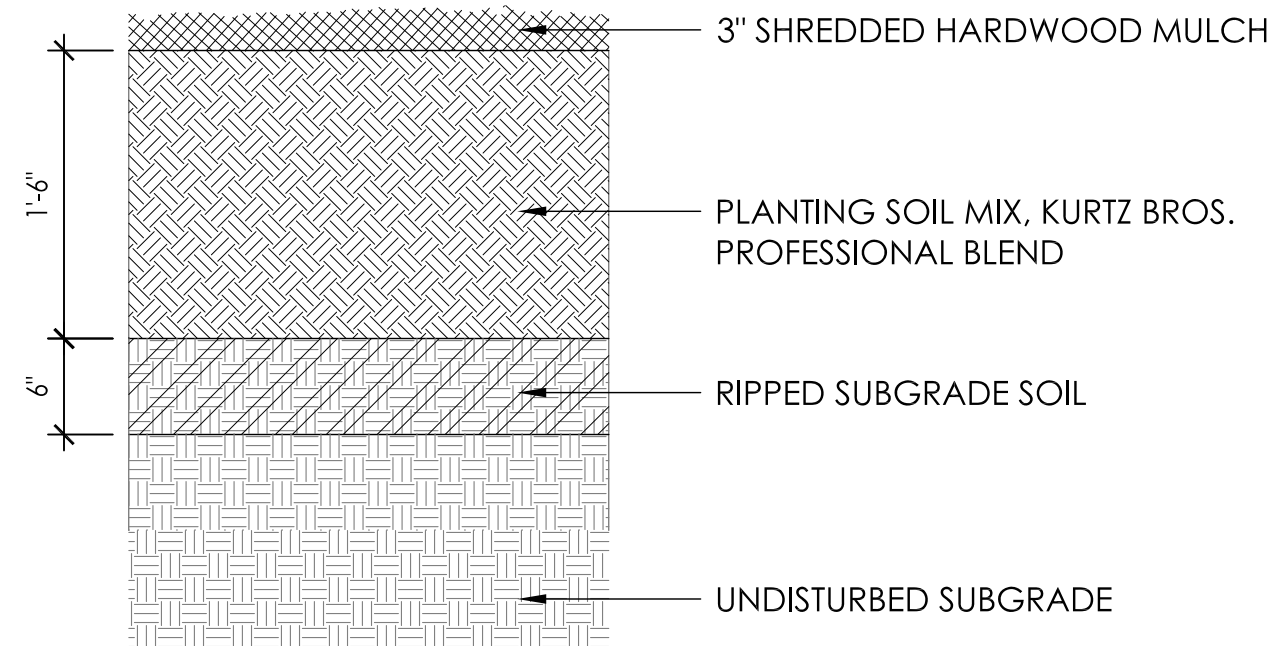
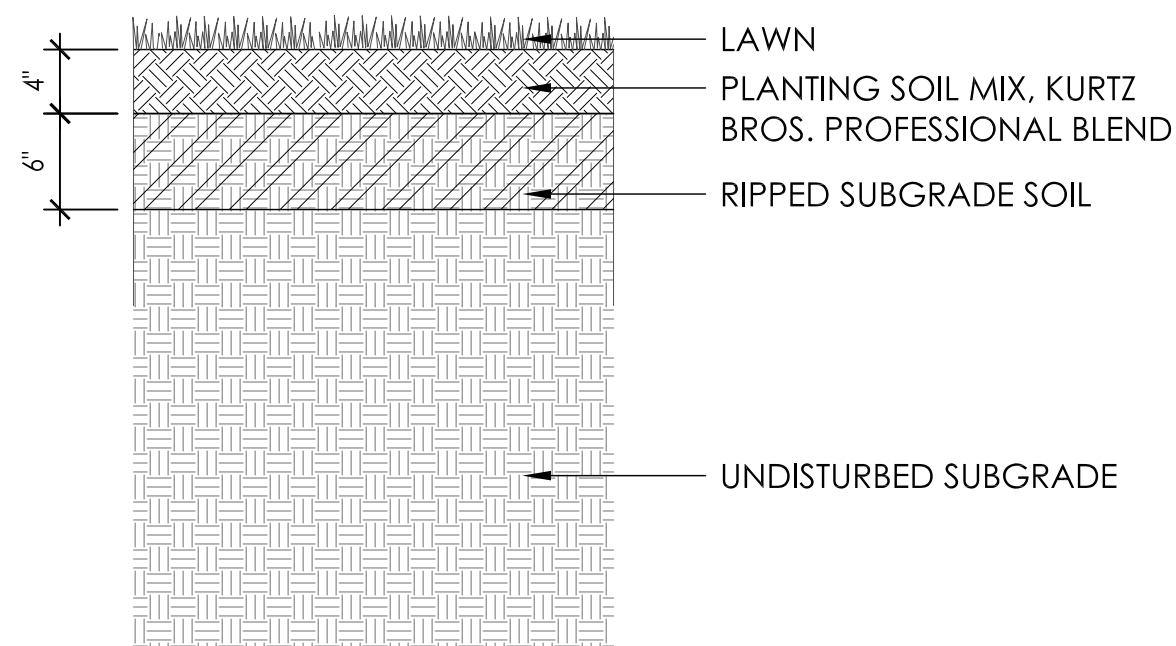
3 SHRUB PLANTING

NTS



4 SOIL PROFILE AT LAWN

NTS



PLANT MATERIALS SCHEDULE - CONTRACTOR RESPONSIBLE FOR QUANTITIES SHOWN ON PLAN

COMMON NAME	BOTANICAL NAME	SIZE	ROOT
TREES			
STREETKEEPER HONEYLOCUST	Gleditsia triacanthos var. inermis 'Draves'	3" Cal.	B&B
CAROLINA SILVERBELL	Halesia carolina	2" Cal.	B&B
JANE MAGNOLIA	Magnolia x 'Jane'	8'-10' Hgt.	B&B
SHRUBS			
LOWSCAPE MOUND CHOKECHERRY	Aronia melanocarpa 'UCONNAM 165'	#3, 15" Hgt.	Cont.
LIMELIGHT HYDRANGEA	Hydrangea paniculata 'Limelight'	#5, 24" Hgt.	Cont.
SNOWQUEEN HYDRANGEA	Hydrangea quercifolia 'Snowqueen'	24"-30" Hgt.	B&B
PEE WEE HYDRANGEA	Hydrangea quercifolia 'Pee Wee'	#5, 16" Hgt.	Cont.
LITTLE HENRY SWEETSPIRE	Itea virginica 'Little Henry'	#3, 15" Hgt.	Cont.
DENSE YEW	Taxus media 'Densiformis'	#5, 24" Hgt.	Cont.
GROUND COVER & PERENNIALS			
PERIWINKLE	Vinca minor	2 1/4" Peat Pot	Flat
PERENNIAL MIX	X	#1	Cont.

GENERAL NOTES:

1. EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
2. CONTRACTOR IS RESPONSIBLE FOR COST OF REPAIRS TO EXISTING CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR DAMAGES TO THE SATISFACTION OF THE OWNER.
3. ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD BARK MULCH BED.
4. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LAWN AREAS.
5. FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
6. CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION. SEE PLAN.
7. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
8. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
9. ALL PLANT BEDS SHALL BE IRRIGATED. PROVIDE IRRIGATION PLANS FOR REVIEW.

PLANTING CONSTRUCTION NOTES:

1. REPAIR LAWN AREA, FILL VOIDS WITH TOPSOIL AS REQUIRED AND MEET ADJACENT SURFACES FLUSH. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
2. NEW LAWN AREA, FILL AREA WITH CLEAN FILL, AS REQUIRED TO BRING TO GRADE, PROVIDING TOPSOIL ON TOP 6" AND MEETING ADJACENT SURFACES FLUSH. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
3. LANDSCAPE AREA, PROVIDE MINIMUM DEPTH OF 18" SOIL MIX FOR SHRUBS AND PERENNIALS AND 24" DEPTH SOIL MIX WHEN TREES ARE PLANTED IN BED. SEE SPECIFICATIONS FOR SOIL MIX. HOLD TOP OF SOIL DOWN 3" FROM TOP OF CURB AND/OR ADJACENT PAVEMENT TO ALLOW FOR INSTALLATION OF MULCH. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.

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PLANTING
PLAN

L2.01

010000 - GENERAL STRUCTURAL NOTES

1. THE GENERAL STRUCTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS. SHOULD CONFLICTS EXIST BETWEEN THE DRAWINGS, AND THE GENERAL STRUCTURAL NOTES, THE STRICTEST PROVISION SHALL GOVERN.
2. GOVERNING CODE:
OHIO BUILDING CODE - 2024 EDITION
3. SEE STRUCTURAL PLANS FOR DESIGN SOIL BEARING PRESSURE AND LIVE LOADS. LIVE LOADS REDUCED IN ACCORDANCE WITH THE GOVERNING CODE, IF APPLICABLE.
4. ROOF SNOW LOAD:
GROUND SNOW LOAD (Pg) - 20 PSF
SNOW EXPOSURE FACTOR (Ce) - 1.0
IMPORTANCE FACTOR (Is) - 1.0
THERMAL FACTOR (Ct) - 1.2
FLAT ROOF SNOW LOAD (Pf) - 16.8 PSF
UNIFORM ROOF DESIGN SNOW LOAD - 16.8 PSF
5. WIND LOAD:
BASIC WIND SPEED - 108 MPH
RISK CATEGORY - II
EXPOSURE CATEGORY - EXPOSURE B
INTERNAL PRESSURE COEFFICIENT (G Cp) - 0.0
6. SEISMIC LOAD:
RISK CATEGORY - II
IMPORTANCE FACTOR (Ie) - 1.0
MAPPED SPECTRAL RESPONSE ACCELERATION AT SHORT PERIOD (Ss) - 0.119
MAPPED SPECTRAL RESPONSE ACCELERATION AT ONE-SECOND PERIOD (S1) - 0.060
SITE CLASS - D
SPECTRAL RESPONSE PARAMETER AT SHORT PERIOD (SDs) - 0.127
SPECTRAL RESPONSE PARAMETER AT ONE-SECOND PERIOD (SD1) - 0.096
SEISMIC DESIGN CATEGORY - B
SEISMIC RESPONSE COEFFICIENT (Cs) - 0.063
BASIC SEISMIC FORCE RESISTING SYSTEM:
A9 - ORDINARY REINFORCED MASONRY SHEAR WALLS (R=2, $\Omega=2\ 1/2$, Cd=1 3/4)
DESIGN BY EQUIVALENT LATERAL FORCE PROCEDURE.
7. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER IT IS FULLY COMPLETED, IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES AND TO ENSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS, OR TIE-DOWNS WHICH MIGHT BE NECESSARY. SUCH MATERIAL SHALL REMAIN THE CONTRACTOR'S PROPERTY AFTER COMPLETION OF THE PROJECT.
8. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
9. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS RELATING TO EXISTING CONSTRUCTION AND EXISTING SERVICE ON THE SITE.
10. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF COLUMNS, WALLS, OPENINGS ETC. WITH THE ARCHITECTURAL DRAWINGS PRIOR TO PROCEEDING WITH THE WORK. DO NOT SCALE THESE DRAWINGS. USE DIMENSIONS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN STRUCTURAL DRAWINGS AND DRAWINGS OF ANY OTHER DISCIPLINE.
11. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING. THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION DEAD LOAD APPLIED TO THE STRUCTURAL FRAMING.
12. DO NOT MODIFY, ALTER OR REPAIR ANY STRUCTURAL MEMBER WITHOUT PRIOR WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.
13. SHOP DRAWINGS SHALL BE REVIEWED AND STAMPED BY CONTRACTOR PRIOR TO SUBMISSION TO STRUCTURAL ENGINEER.

033000 - CAST-IN-PLACE CONCRETE

1. SPECIFICATIONS AND STANDARDS:
CONCRETE WORK, DETAILING, FABRICATION AND PLACING OF BARS AND CONCRETE SHALL BE GOVERNED BY THE APPLICABLE VERSION OF:
 - A. ACI 301, ACI 315, AND ACI 318.
 - B. CRSI RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS.
 - C. ACI 306 AND ACI 305 FOR COLD AND HOT WEATHER CONCRETING, RESPECTIVELY. THE CONTRACTOR SHALL AT ALL TIMES HAVE A COPY OF THE RELEVANT SPECIFICATIONS QUOTED ABOVE ON THE SITE AND THE SUPERVISORY PERSONNEL SHALL BE THOROUGHLY FAMILIAR WITH THE CONTENTS THEREOF.

3. CONCRETE REQUIREMENTS AND LOCATION IN JOB:				
<u>CLASS</u>	<u>LOCATION</u>	<u>f_c</u>	<u>MAX W/C RATIO</u>	<u>SPECIAL REQUIREMENTS</u>
1	FOOTINGS	3000 PSI		
2	LEAN CONCRETE	1500 PSI		NO TESTS, SOFT SOIL REPLACE
3	FLOWABLE FILL	85 PSI		NO TESTS, UTILITY BACKFILL UNDER FOOTINGS

SUBMIT CONCRETE MIXES FOR APPROVAL IN ACCORDANCE WITH ACI 301 BEFORE PLACING ANY CONCRETE. ALL MIXES SHALL INCLUDE EITHER ASTM C150 PORTLAND CEMENT OR ASTM C595 PORTLAND-LIMESTONE CEMENT AND ALL AGGREGATE SHALL CONFORM TO ASTM C33.

4. REINFORCING REQUIREMENTS:
 - A. BARS: ASTM A615, GRADE 60.
5. FOOTINGS:
 - A. BEND ALL BARS 24 DIAMETERS AROUND CORNERS OF FOOTINGS. BARS AT THE INSIDE FACE OF THE CORNER SHALL BE CONTINUED ACROSS TO THE OUTSIDE AND THEN BENT.
6. SPLICES:
 - A. NO SPLICES IN BEAM, JOIST, OR SLAB STEEL UNLESS SPECIFICALLY SHOWN OTHERWISE.
 - B. TENSION SPLICES, WHEN PERMITTED - LAP IN ACCORDANCE WITH THE ACI CODE AND THE TABLE SHOWN BELOW.

LAP SPLICE SCHEDULE:					
BAR SIZE	LAP CLASS	TOP BAR (f _c >4000 PSI)	TOP BAR (f _c >4000 PSI)	OTHER BAR (f _c >4000 PSI)	OTHER BAR (f _c >4000 PSI)
#3	A	22"	19"	17"	15"
	B	28"	24"	22"	19"
#4	A	29"	25"	22"	19"
	B	37"	32"	29"	25"
#5	A	36"	31"	28"	24"
	B	47"	40"	36"	31"
#6	A	43"	37"	33"	29"
	B	56"	48"	43"	37"
#7	A	62"	54"	48"	42"
	B	81"	70"	62"	54"
#8	A	71"	62"	55"	47"
	B	93"	80"	71"	62"
#9	A	80"	70"	62"	54"
	B	104"	91"	80"	70"
#10	A	91"	78"	70"	60"
	B	118"	102"	91"	78"
#11	A	100"	87"	77"	67"
	B	130"	113"	100"	87"

NOTES:

- TOP BARS ARE DEFINED AS HORIZONTAL BARS WITH MORE THAN 12" OF FRESH CONCRETE BELOW THEM.
- ALL LAP SPLICES SHALL BE CLASS B UNLESS OTHERWISE NOTED.
- VALUES ARE NORMAL WEIGHT CONCRETE NON-EPOXY COATED BARS.

C. LAP WELDED WIRE REINFORCING 1 SPACE = 2" AT ALL EDGES AND ENDS OF SHEETS.

7. COVER:

- MINIMUM CONCRETE COVER, UNLESS NOTED OTHERWISE:
 - FORMED SURFACE IN CONTACT WITH THE GROUND: 3".
 - FORMED SURFACES EXPOSED TO EARTH OR WEATHER: 1 1/2" FOR #5 OR SMALLER, 2" FOR #6 OR LARGER.
 - FORMED SURFACES NOT EXPOSED TO EARTH OR WEATHER: WALLS & SLABS: 3/4", BEAMS & COLUMNS (TO TIES OR STIRRUPS): 1 1/2".

042000 CONCRETE UNIT MASONRY

1. SPECIFICATIONS AND STANDARDS: DESIGN OF MASONRY SHALL BE GOVERNED BY THE APPLICABLE VERSION OF:
- A. TMS 402, TMS 403, and TMS 404.
2. COMPRESSIVE STRENGTH OF MASONRY (f_m) 2,500 PSI, DETERMINED BY UNIT STRENGTH OR PRISM METHOD.
3. MASONRY MATERIALS:
- A. HOLLOW AND SOLID LOAD BEARING CONCRETE MASONRY UNITS - ASTM C90 - NORMAL WEIGHT. NET COMPRESSIVE STRENGTH OF CMU = 3,250 PSI.
 - B. CONCRETE BRICK - ASTM C55 GRADE N1.
 - C. MORTAR:
 - CONCRETE UNIT MASONRY WALLS - ASTM C270 TYPE 5.
 - D. COARSE MASONRY GROUT: COMPLY WITH ASTM C476.
 - 28-DAY COMPRESSIVE STRENGTH TO MATCH F_m GIVEN IN ITEM 2.
 - PROVIDE GROUT WITH A SUMP OF 8-11 INCHES AS MEASURED ACCORDING TO ASTM C143.
 - TESTING - PROVIDE ONE SET OF TESTS FOR EACH 5,000 SF OF WALL WITH A MINIMUM OF ONE TEST PER DAY. TESTS SHALL CONSIST OF EITHER (2) 6"x12" CYLINDERS, (3) 4"x8" CYLINDERS OR A GROUT TEST PER ASTM C1019.
 - E. MASONRY REINFORCEMENT:
 - HORIZONTAL JOINT REINFORCEMENT: 9 GA DEFORMED WIRE, LADDER TYPE REINFORCEMENT.
 - a. IN EVERY SECOND BLOCK COURSE, FULL HEIGHT, AND WHERE SHOWN ON DRAWINGS.
 - b. IN FIRST BED JOINT ABOVE AND BELOW OPENINGS EXTENDING 2'4" BEYOND OPENING.
 - c. LAP REINFORCEMENT A FULL WIDTH AT CORNERS AND INTERSECTIONS.
 - VERTICAL REINFORCEMENT: ASTM A615, GRADE 60.
4. REINFORCED MASONRY:
- A. INSTALL REINFORCING BARS IN LOCATIONS SHOWN. SEE TABLE BELOW FOR LAP SPLICE REQUIREMENTS.
- CMU LAP SPLICE SCHEDULE (f_m=2000 PSI):
- | BAR SIZE | 8" CMU - CENTERED | 12" CMU - CENTERED | 8" CMU - EDGE | 12" CMU - EDGE |
|----------|-------------------|--------------------|---------------|----------------|
| #4 | 13" | N/A | 22" | N/A |
| #5 | 20" | 13" | 35" | 34" |
| #6 | 38" | 24" | 64" | 64" |
| #7 | 52" | 33" | 87" | 87" |
| #8 | 79" | 50" | 131" | 131" |
| #9 | N/A | 64" | N/A | 166" |
- NOTES: CENTERED & EDGE REFER TO THE REINFORCING BAR POSITION IN MASONRY WALL. FOR EDGE CONDITIONS, PROVIDE 2" OF COVER FROM EXTERIOR FACE OF CMU TO EDGE OF REINFORCING BAR.
- B. GROUT BLOCK WITH COARSE MASONRY GROUT VIBRATED IN PLACE TO FILL ALL VOIDS AND INTERSECTIONS. FOLLOW RECOMMENDATIONS OF NCMA TEK NO. 3-2.

061000 - ROUGH CARPENTRY

1. SPECIFICATIONS AND STANDARDS:
 - A. DESIGN AND DETAILING OF CONNECTIONS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION RECOMMENDED PRACTICE BY THE AMERICAN FOREST AND PAPER ASSOCIATION.
2. MATERIALS:
 - A. ONLY USE DIMENSIONAL LUMBER - SPRUCE-PINE-FIR #1/#2 OR BETTER: E = 1,400,000 PSI. Fb = 875 PSI. Fv = 135 PSI. Fc = 1150 PSI. DIMENSIONAL LUMBER FOR PRESSURE TREATED AND FRT STRESSES - BEFORE TREATMENT - SOUTHERN PINE #1 OR BETTER: E = 1,600,000 PSI. Fb = 1250 PSI (2x8). Fy = 175 PSI. Fc = 1500 PSI (2x8).
 - B. NAILS: COMMON WIRE NAILS: ASTM F1667.
 - C. STEEL CONNECTION MATERIALS: ASTM A436.
 - D. WOOD SCREWS: ASME B18.8.1.
 - E. METAL FRAMING ANCHORS AND CONNECTORS: 16 OR 18 GA. GALVANIZED STEEL (ASTM A653, G60) SIZED FOR FULL LOAD CARRYING CAPACITY OF SUPPORTED MEMBER. NOMENCLATURE BASED ON ANCHORS MANUFACTURED BY SIMPSON STRONG-TIE CO., INC.
 - F. ALL SHEATHING TO HAVE EXTERIOR GLUE.
 - G. PRESERVATIVE TREATMENT
 - a. AWPA U1.
 - b. PRESSURE-TREAT ABOVE-GROUND ITEMS WITH WATER-BORNE PRESERVATIVES, CATEGORY UC3b.
 - c. PRESSURE-TREAT MEMBERS IN CONTACT WITH GROUND WITH WATER-BORNE PRESERVATIVES, CATEGORY UC4a.
 - d. STEEL FASTENERS AND CONNECTION MATERIALS IN CONTACT WITH PRESERVATIVE TREATED MATERIAL SHALL BE HOT-DIPPED GALVANIZED PER ASTM A153.
3. CONSTRUCTION REQUIREMENTS:
 - A. MAKE ALL CUTS TRIM AND SQUARE FOR FULL BEARING AT STRUCTURAL JOINTS.
 - B. CONNECT ALL FRAMING SECURELY TOGETHER WITH NAILS, SPIKES, OR FRAMING ANGLES.

SMBH SHEET LIST	
NUMBER	NAME
S-001	GENERAL NOTES
S-101	PLAN

ABBREVIATIONS

[illegible]

o/o	OUT-TO-OUT	W/	WITH
		W/C	WATER/CEMENT RATIO
		W/O	WITHOUT
		WD	WOOD
		WL	WIND LOAD
		WP	WORK (ING) POINT
		WT	WEIGHT
		WWR	WELDED WIRE REINFORCING

XX	EXTRA STRONG
XXS	DOUBLE EXTRA STRONG



HOLY TRINITY LUTHERAN CHURCH
COLUMBARIUM AND RENOVATIONS

PROJECT ADDRESS
2001 Northwest Blvd
Columbus, OH 43212

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PROJECT NUMBER
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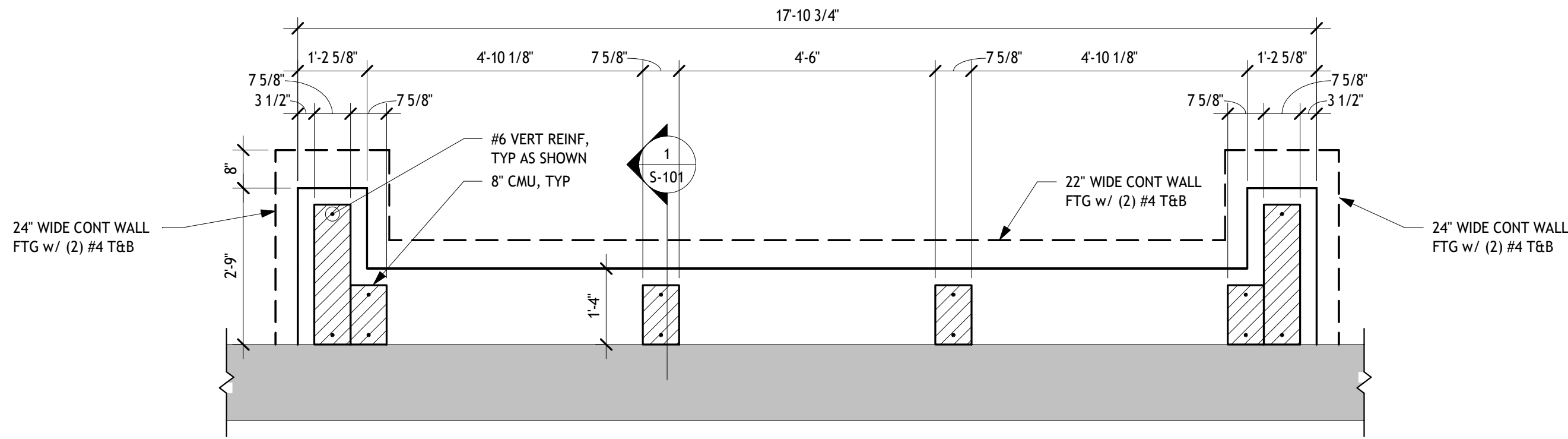
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GENERAL NOTES

S-001

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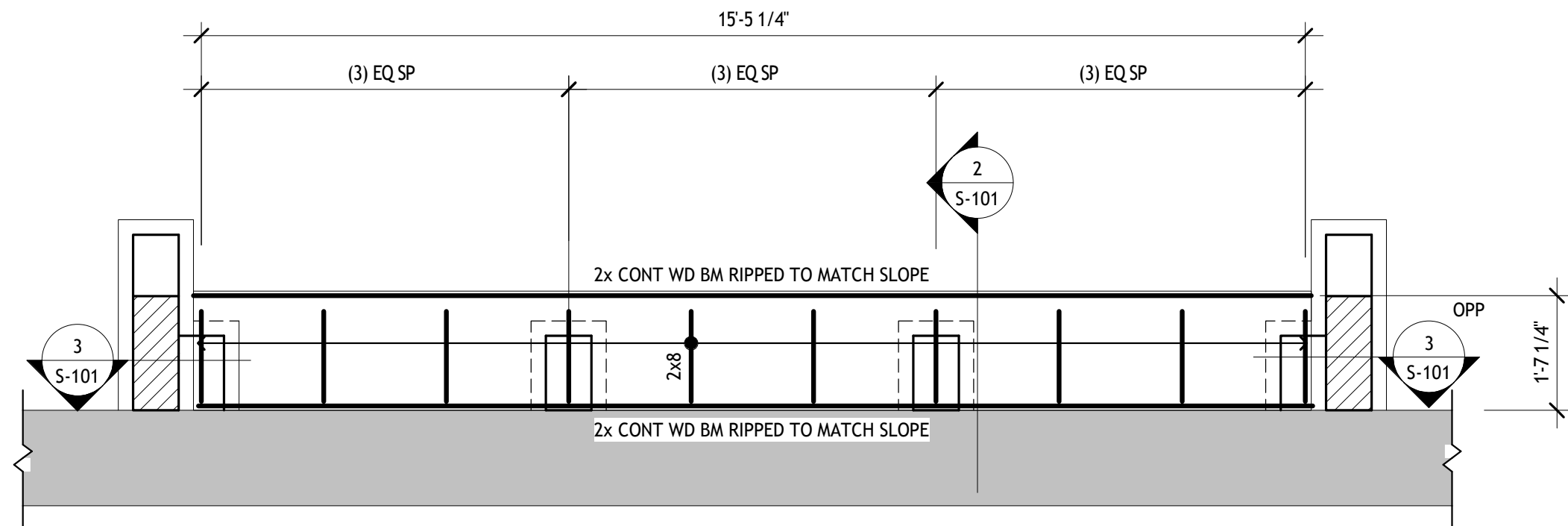


COLUMNBARIUM FOUNDATION PLAN

1/2" = 1'-0"



1. VERIFY LOCATIONS OF COLUMNS, WALLS, OPENINGS, ETC. WITH ARCHITECTURAL DRAWINGS BEFORE PLACING FOUNDATIONS.
2. TOP OF SLAB ELEVATION 100'-0" EXCEPT AS NOTED. SEE CIVIL DRAWINGS FOR REFERENCE SITE ELEVATION.
3. PRESUMPTIVE DESIGN SOIL BEARING PRESSURE 1,500 PSF. ANY SOFT SPOTS OR VARIATIONS IN SUBSURFACE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER. THE DESIGN BEARING CAPACITY SHALL BE FIELD VERIFIED BY AN INDEPENDENT TESTING AGENCY SPECIALIZING IN SOILS INVESTIGATIONS.
4. INFORMATION FOR THE EXISTING BUILDING HAS BEEN TAKEN FROM DRAWINGS AND HAS NOT BEEN VERIFIED IN THE FIELD. CONTRACTOR SHALL VERIFY ALL RELEVANT CONDITIONS AND DIMENSIONS OF EXISTING CONSTRUCTION BEFORE PROCEEDING WITH THE WORK.
5. TOP OF FOOTING ELEVATION 98'-8" UNLESS NOTED.
6. BOTTOM OF ALL EXTERIOR FOOTINGS ARE TO MATCH BOTTOM OF EXISTING FOOTINGS.
7. WHERE FILL IS ON BOTH SIDES OF A FOUNDATION WALL, INSTALL THE FILL UNIFORMLY ON BOTH SIDES OF THE WALL.
8. REFERENCE: GENERAL STRUCTURAL NOTES - S-001.

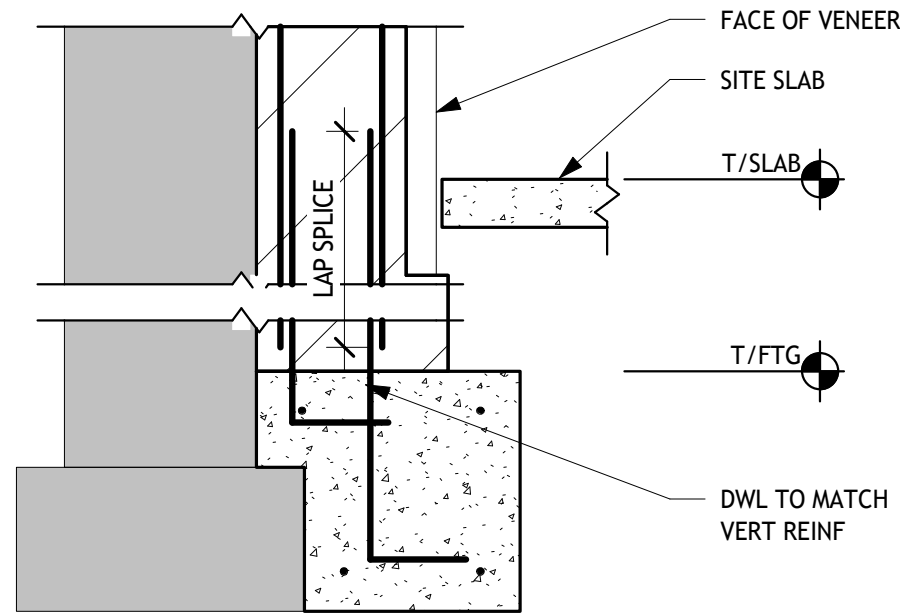


COLUMNBARIUM ROOF FRAMING PLAN

1/2" = 1'-0"

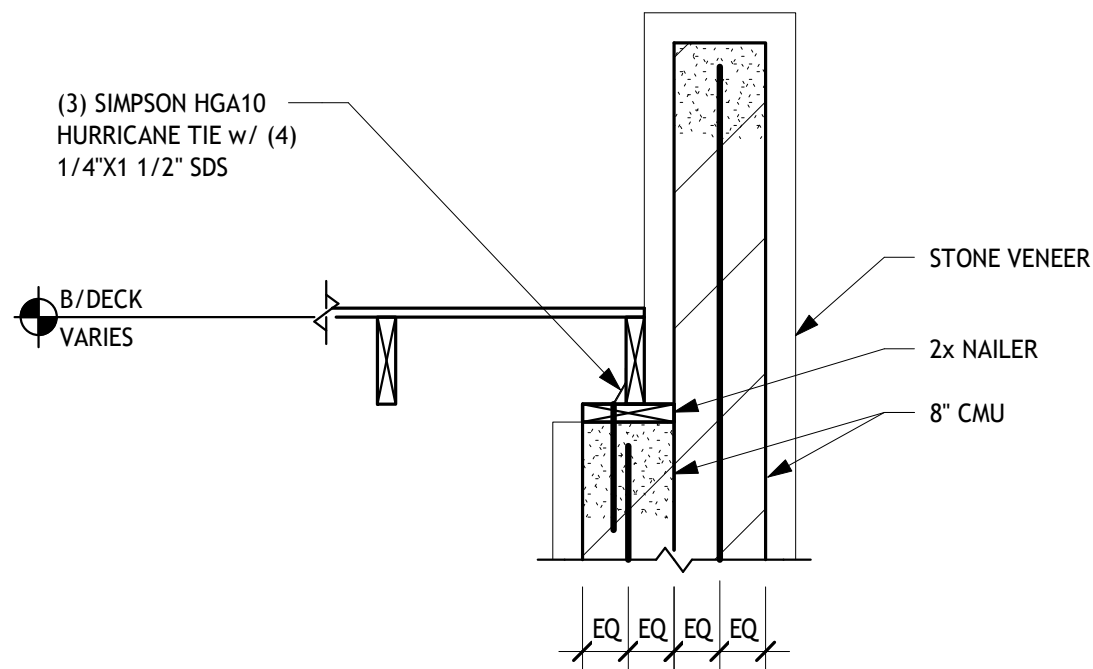


1. DESIGN LIVE LOADS: ROOF SNOW LOAD BASED ON 20 PSF GROUND SNOW LOAD.
2. ROOF CONSTRUCTION: 19/32" (5/8" NOMINAL) APA RATED SHEATHING WITH EDGE CLIPS. PANEL INDEX 32/16, INTERIOR WITH EXTERIOR GLUE. EXPOSURE 1. INSTALL WITH 10d NAILS AT 6" c/c AT SUPPORTED PANEL EDGES AND 10d NAILS AT 12" c/c AT INTERMEDIATE SUPPORTS.
3. SPACE WOOD JOISTS AT 2'-0" ON CENTER. TYPICAL UNLESS NOTED.
4. REFERENCES: GENERAL STRUCTURAL NOTES - S-001



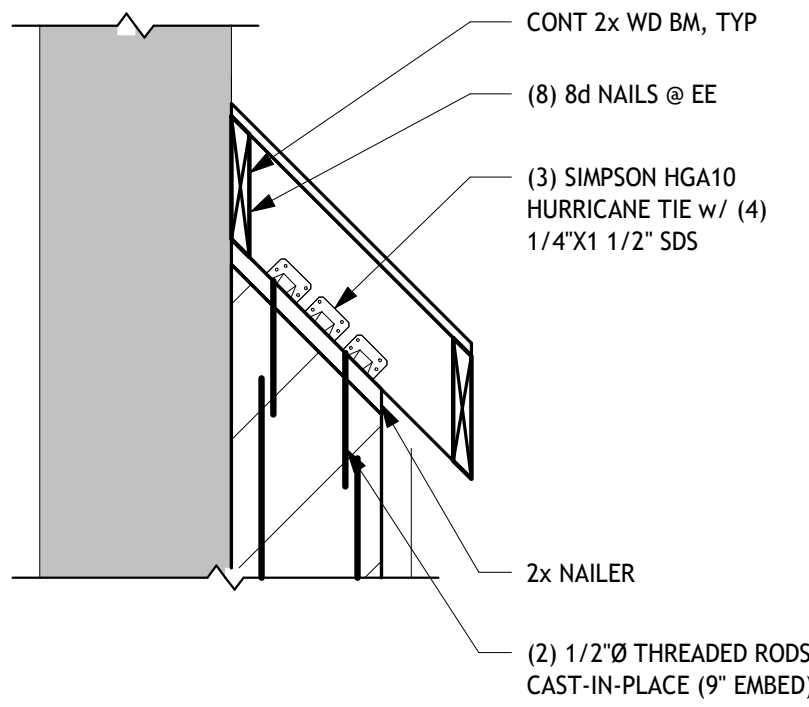
SECTION 1

3/4" = 1'-0"



SECTION 2

3/4" = 1'-0"



SECTION 3

3/4" = 1'-0"

HOLY TRINITY LUTHERAN CHURCH

COLUMNARIUM AND RENOVATIONS

PROJECT ADDRESS
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Columbus, OH 43212

UA BZAP SUBMISSION

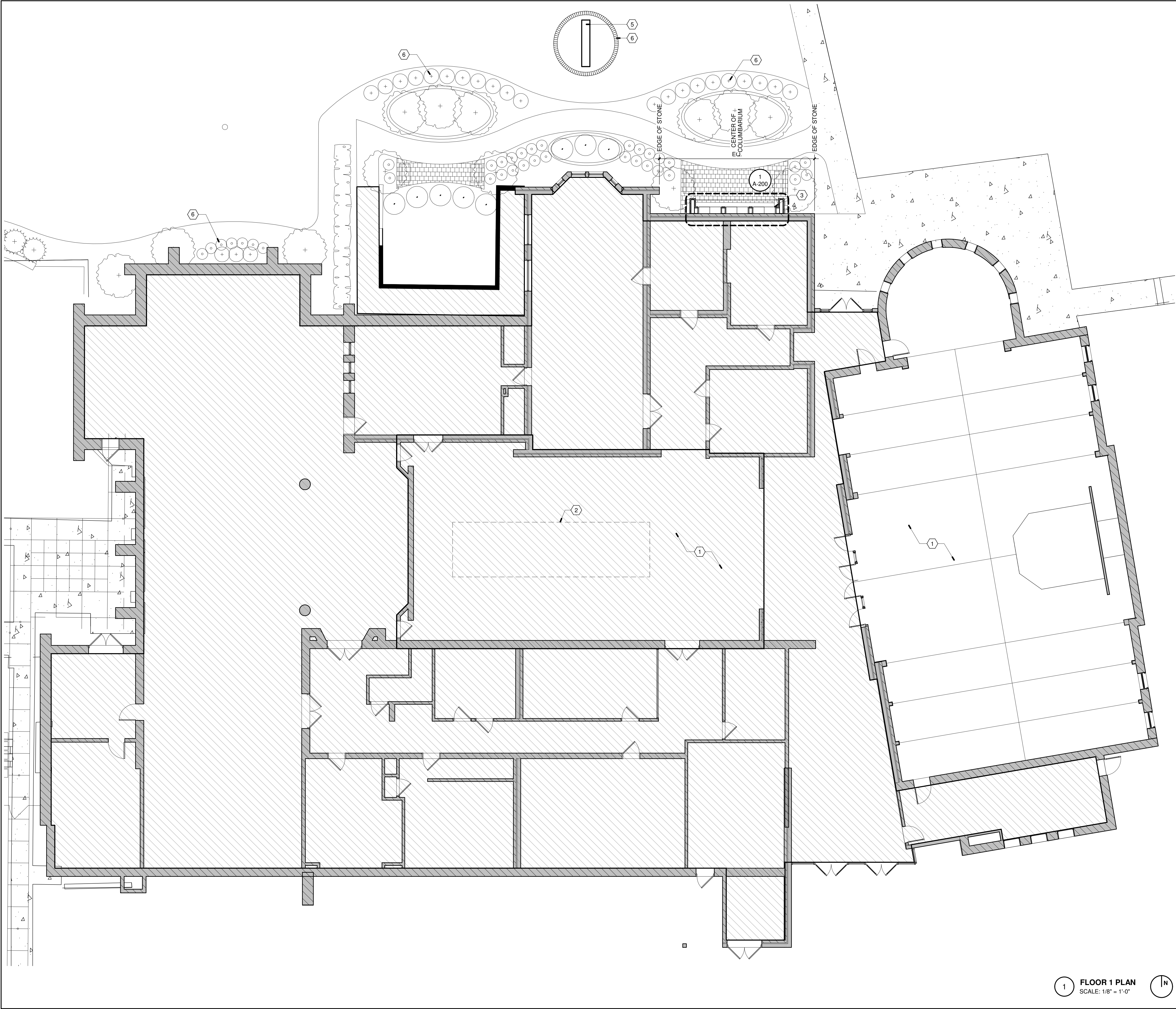
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PLAN

S-101

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1 FLOOR 1 PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS PRIOR TO BEGINNING DEMOLITION AND REPORT ANY DISCREPANCIES WITH THE DRAWINGS AND/OR SPECIFICATIONS TO THE ARCHITECT.
2. THIS DRAWING IS INTENDED TO BE USED IN CONJUNCTION WITH ALL OTHER PROVIDED DRAWINGS AND DOCUMENTS FOR THIS PROJECT.

LEGEND

- AREA NOT IN SCOPE
- NEW DOOR
- EXISTING DOOR TO REMAIN
- NEW GYP BD WALL
- NEW MASONRY WALL
- EXISTING WALL TO REMAIN
- 1 HOUR FIRE PROTECTION
- 2 HOUR FIRE PROTECTION
- 3 HOUR FIRE PROTECTION

CODED NOTES

#	-FLOOR PLAN-
	Description
1	LIGHTING UPDATES IN THIS AREA. SEE ELECTRICAL
2	REPLACE EXISTING SKYLIGHT ABOVE WITH NEW KINGSPAN SKYLIGHT WITHIN EXISTING OPENING, V.I.F.
3	NEW COLUMBARIUM
4	NEW STANDING SEAM METAL ROOF
5	NEW CHURCH SIGNAGE, SEE ELECTRICAL FOR POWER CONNECTION
6	NEW LANDSCAPING, SEE LANDSCAPE

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SANDS DECKER
ENGINEERS & SURVEYORS

EDGE

SMBH
STRUCTURAL ENGINEERS

Karpinski

HOLY TRINITY LUTHERAN CHURCH

COLUMBARIUM AND RENOVATIONS

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Columbus, OH 43212

#	DATE	DESCRIPTION

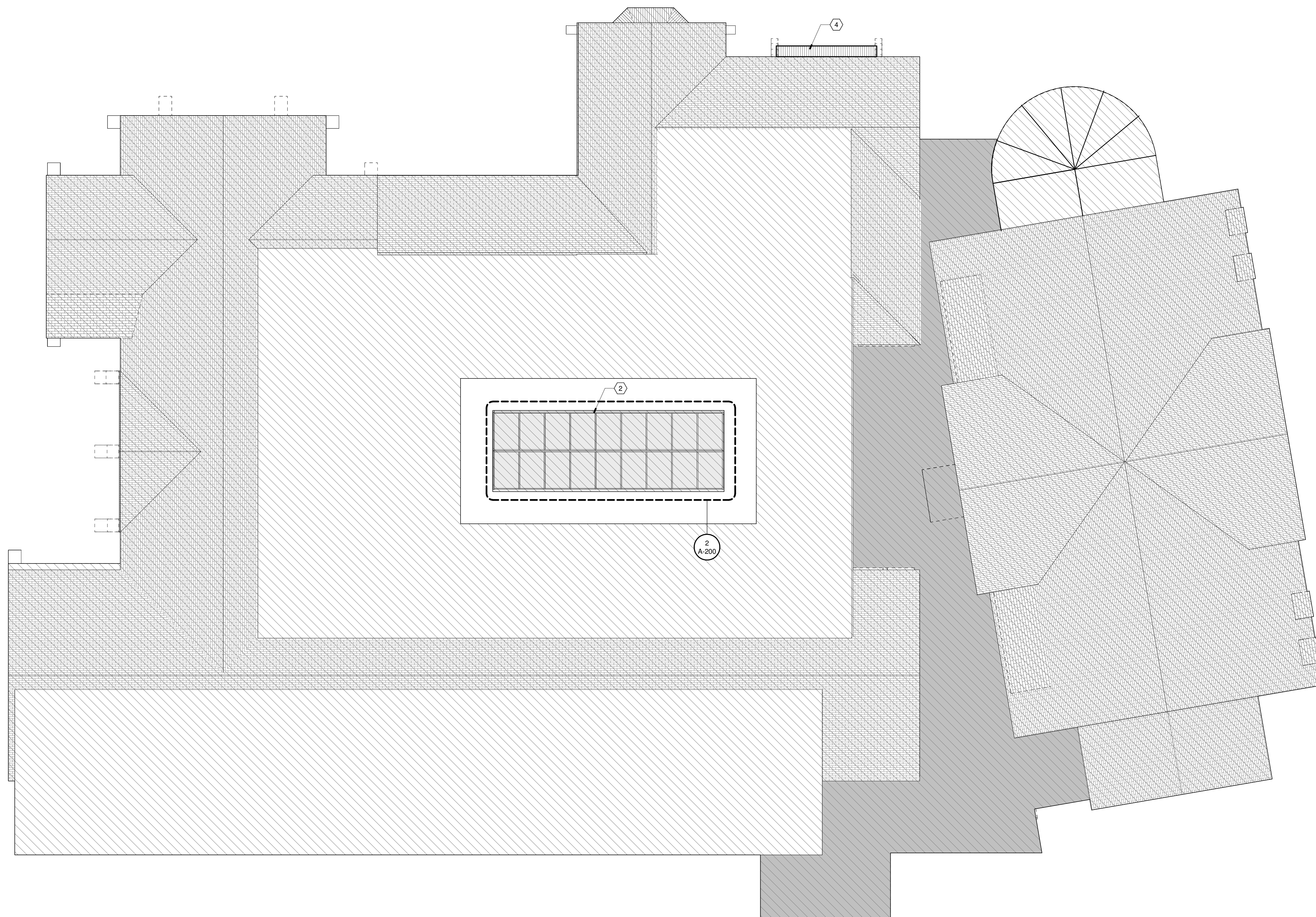
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GROUND FLOOR PLAN

A-101



1 **ROOF PLAN** SCALE: 1/8" = 1'-0" 

GENERAL NOTES

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LEGEND

- | | |
|---|--|
|  | EXISTING SHINGLE ROOFING |
|  | EXISTING MEMBRANE ROOFING (TPO V.I.F.) |
|  | EXISTING MEMBRANE ROOFING 9EPDM V.I.F. |
|  | STANDING SEAM METAL ROOF |
|  | AREA NOT IN SCOPE |

CODED NOTES

#	-FLOOR PLAN-
	Description
	LIGHTING UPDATES IN THIS AREA. SEE ELECTRICAL
2	REPLACE EXISTING SKYLIGHT ABOVE WITH NEW KINGSSPAN SKYLIGHT WITHIN EXISTING OPENING, V.I.F.
3	NEW COLUMBARIUM
4	NEW STANDING SEAM METAL ROOF
5	NEW CHURCH SIGNAGE. SEE ELECTRICAL FOR POWER CONNECTION
6	NEW LANDSCAPING. SEE LANDSCAPE

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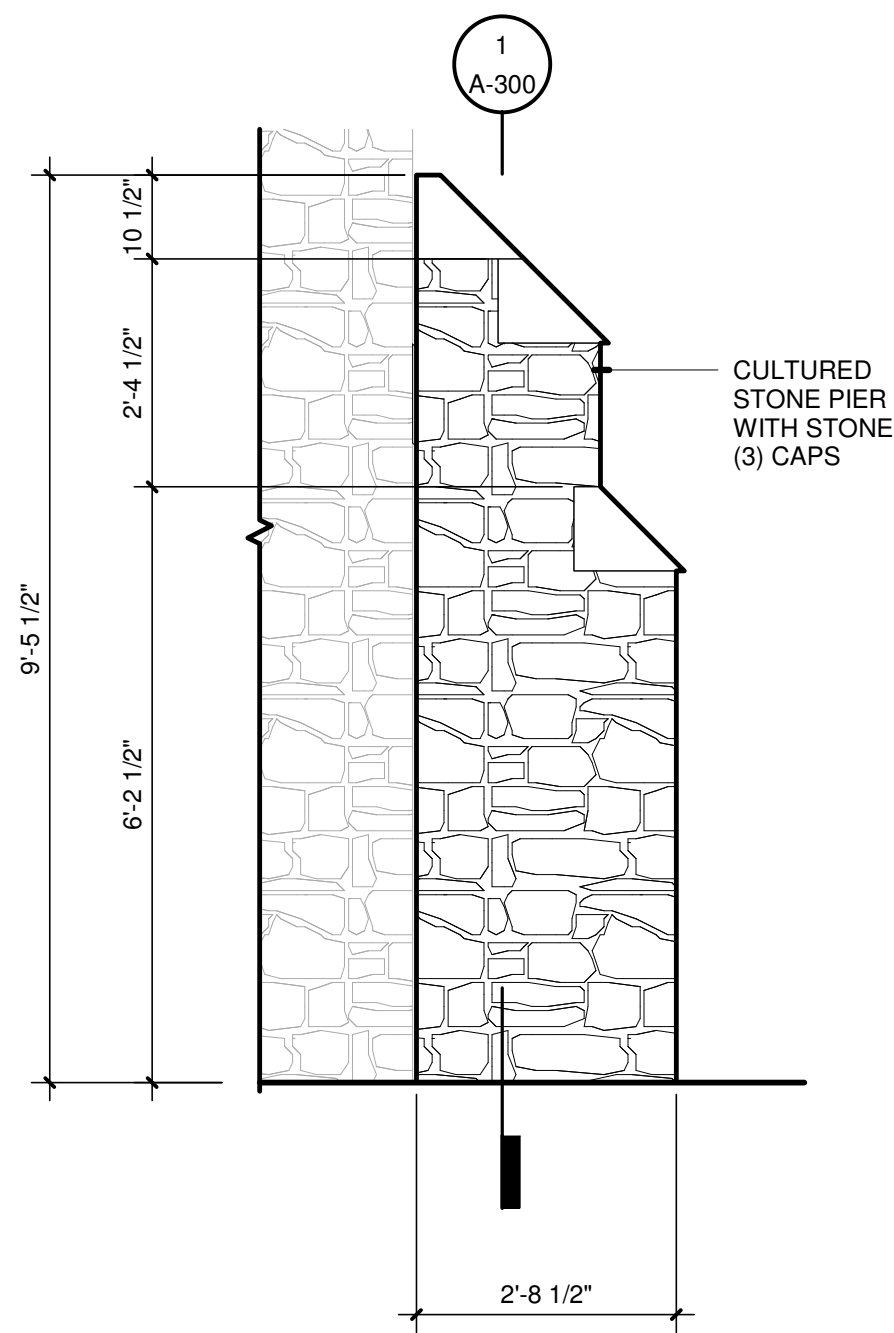
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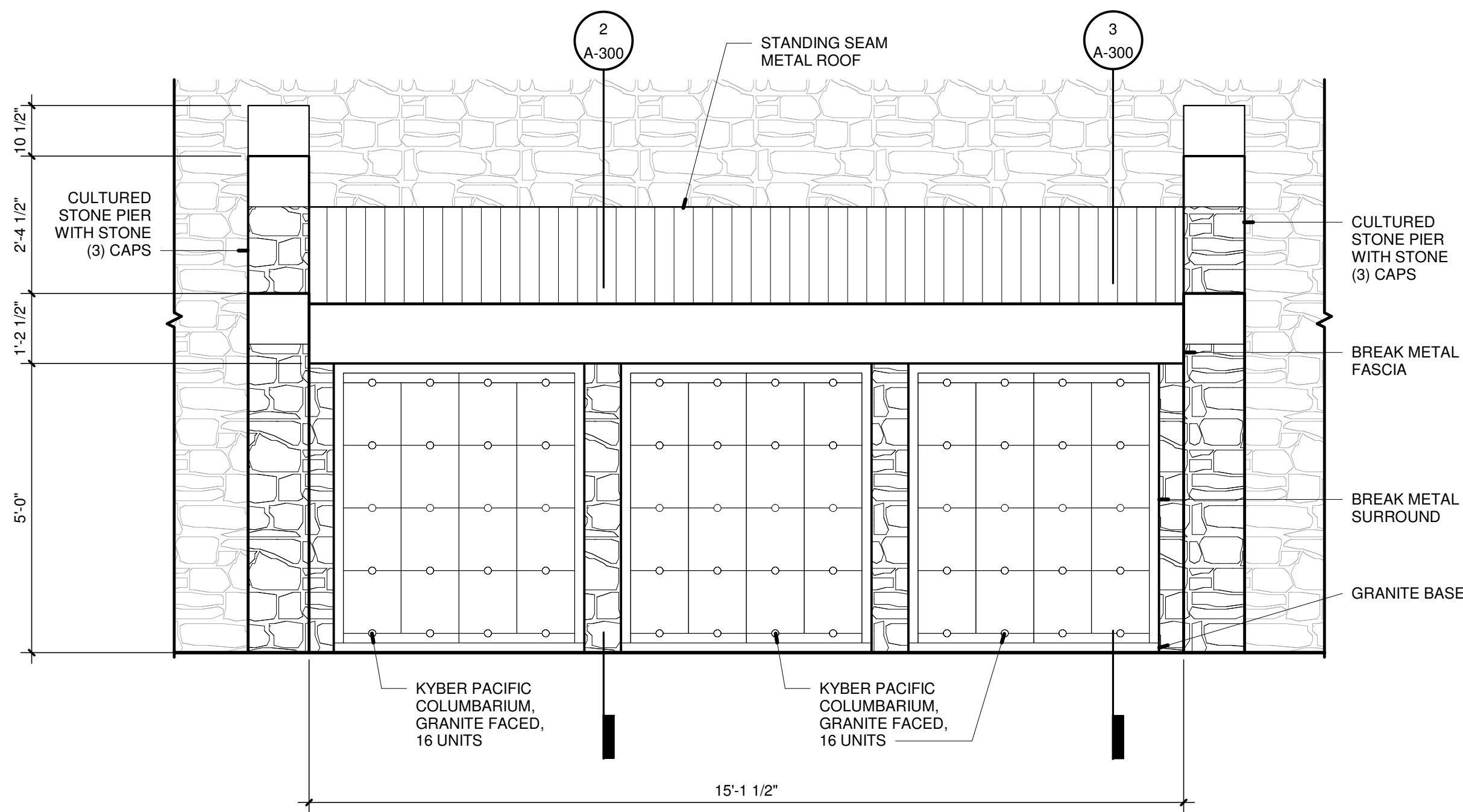
ROOF PLAN

A-102

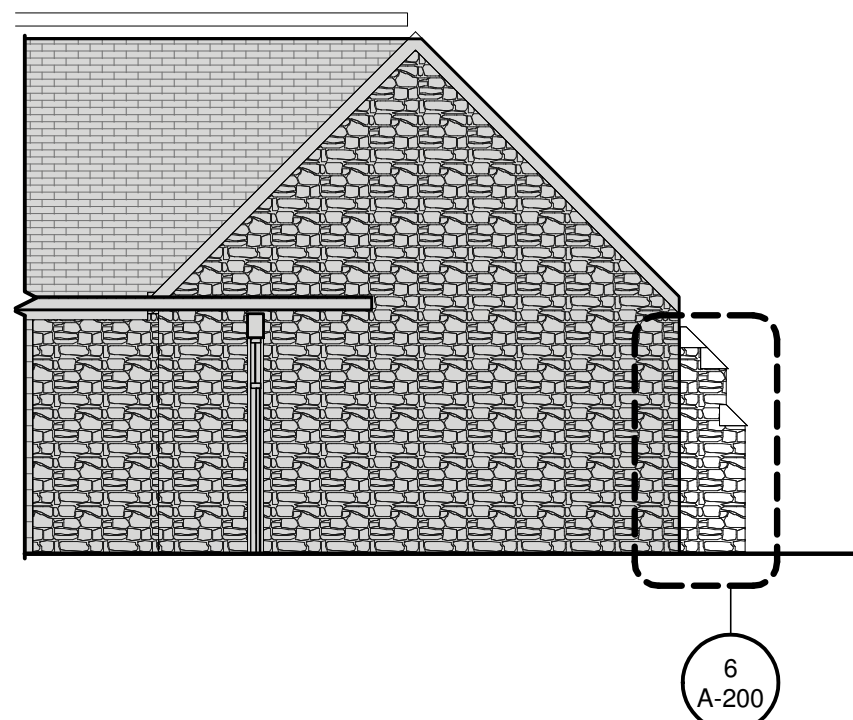
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6 COLUMBARIUM SIDE ELEVATION
SCALE: 1/2" = 1'-0"



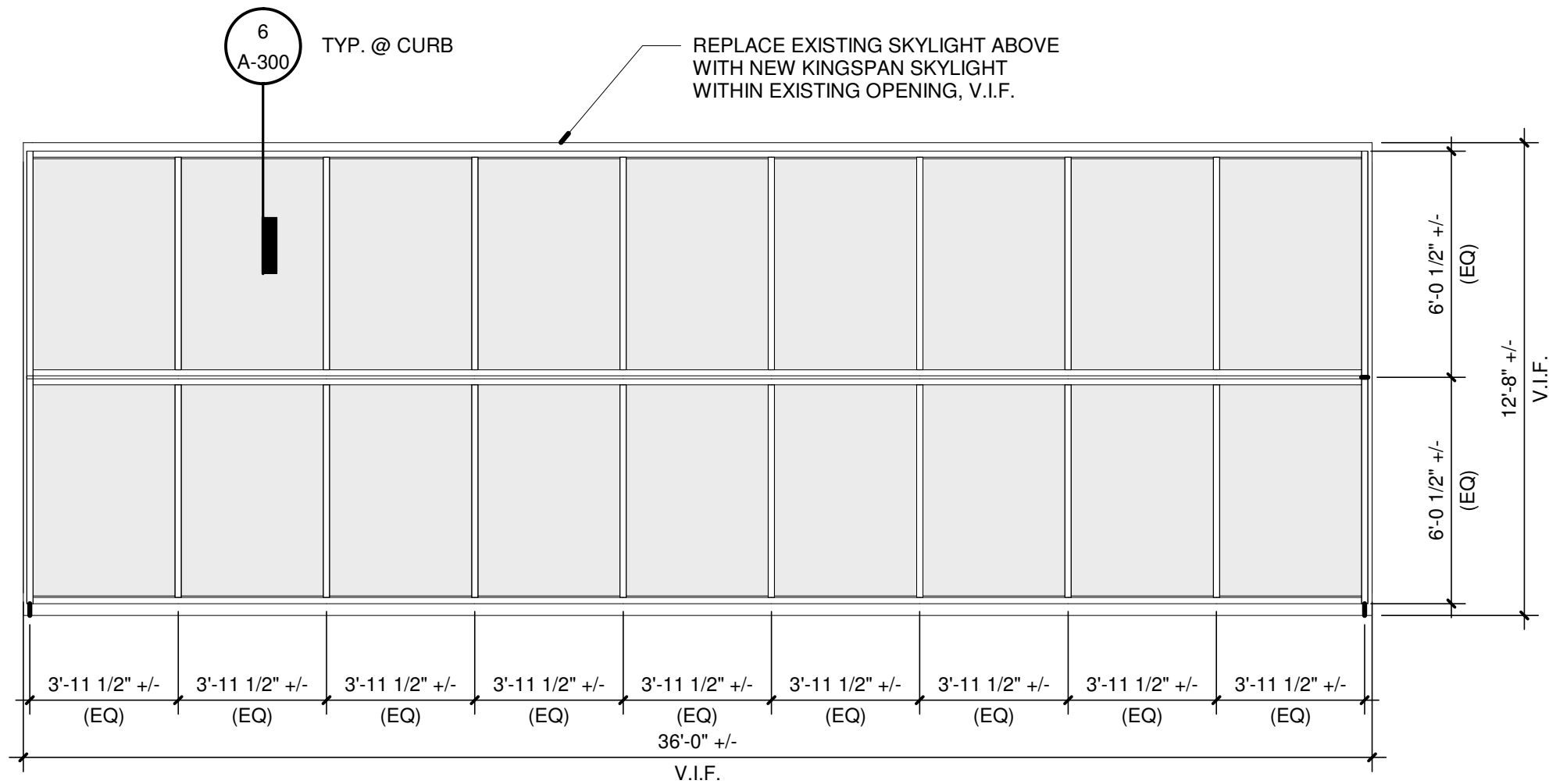
5 COLUMBARIUM FRONT ELEVATION
SCALE: 1/2" = 1'-0"



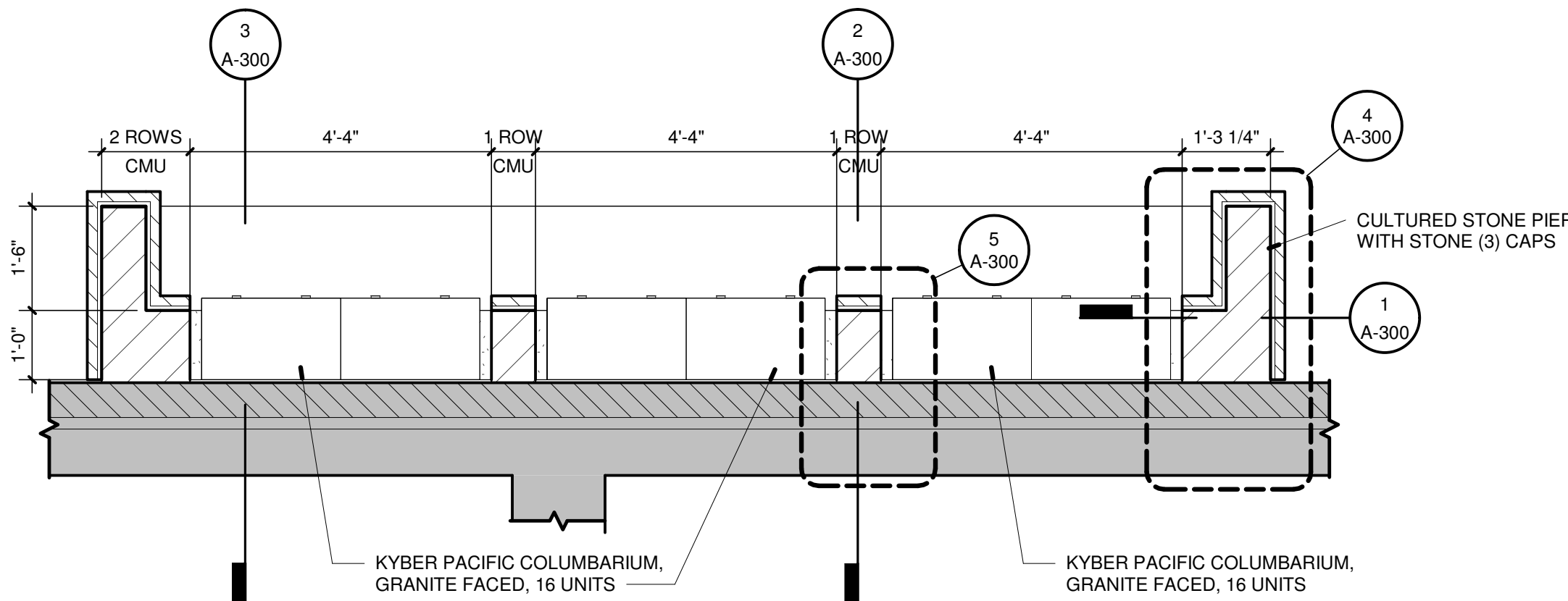
4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



2 ROOF SKYLIGHT ENLARGED PLAN
SCALE: 1/4" = 1'-0"



1 COLUMBARIUM ENLARGED PLAN
SCALE: 1/2" = 1'-0"

GENERAL NOTES

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2. THIS DRAWING IS INTENDED TO BE USED IN CONJUNCTION WITH ALL OTHER PROVIDED DRAWINGS AND DOCUMENTS FOR THIS PROJECT.

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ENGINEERS & SURVEYORS

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COLUMBARIUM AND RENOVATIONS

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Columbus, OH 43212

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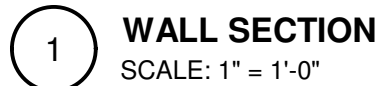
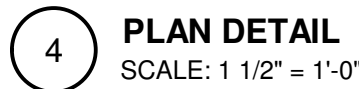
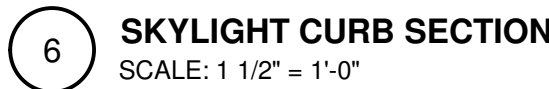
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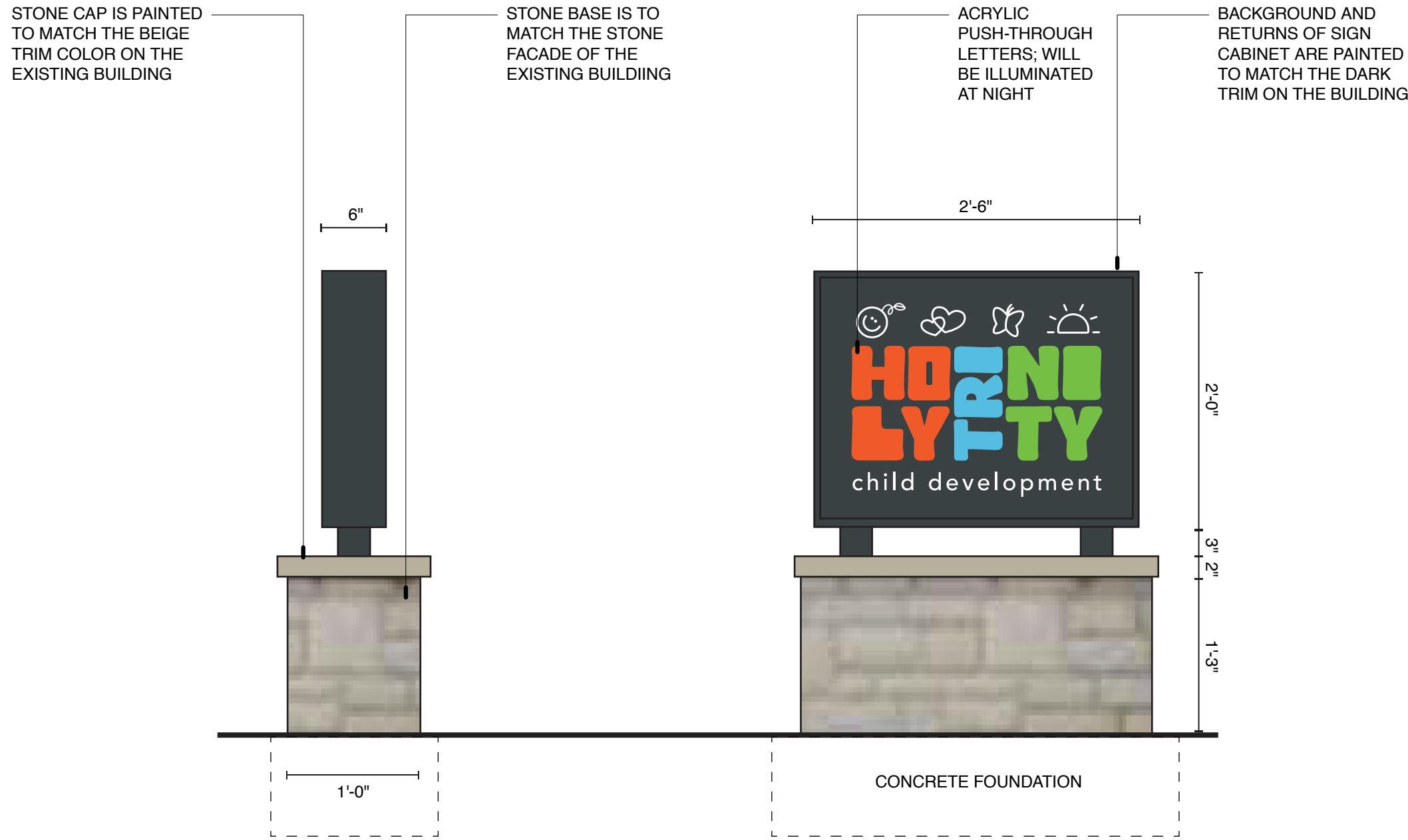
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ENLARGED PLANS AND
BUILDING ELEVATIONS

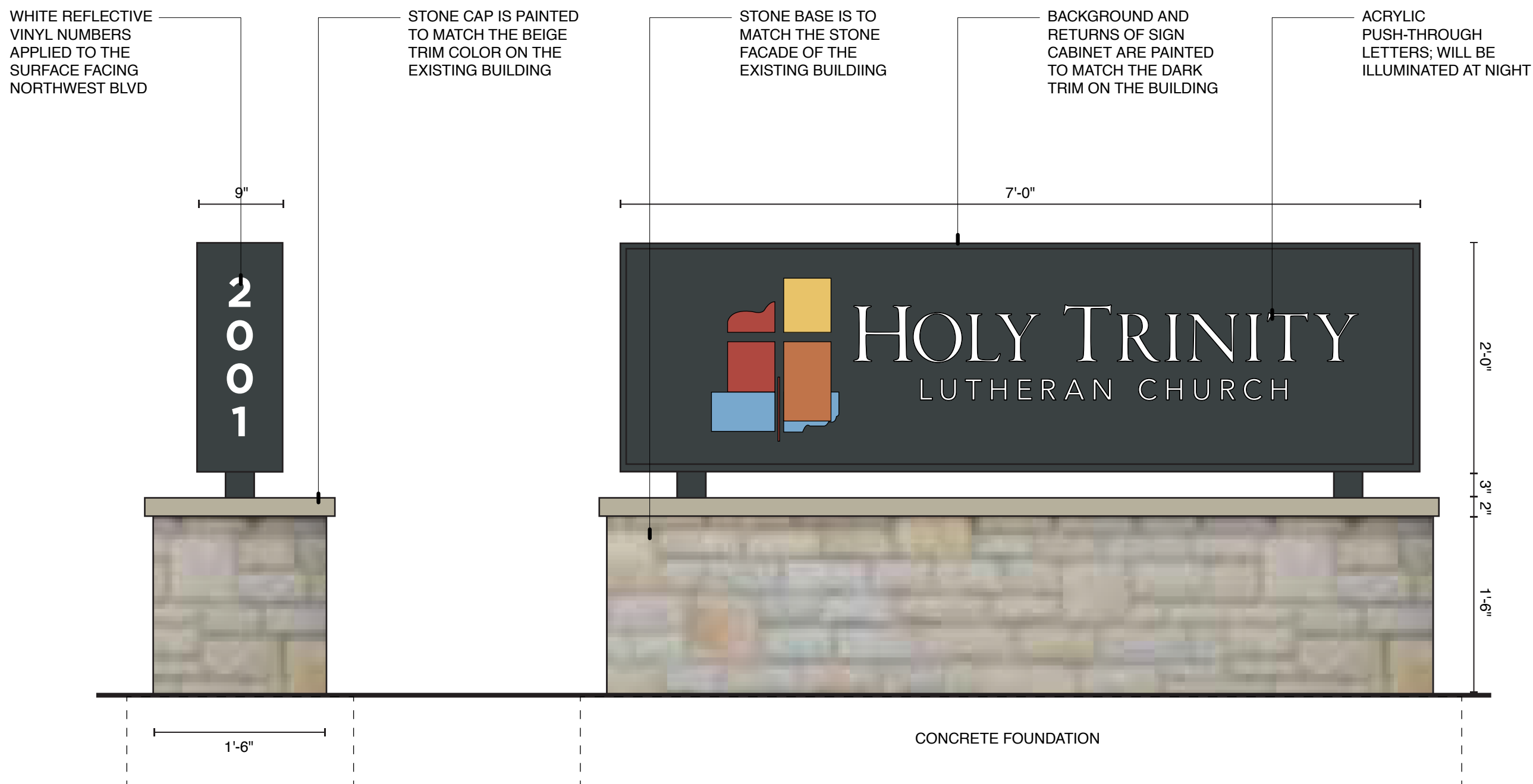
A-200



GENERAL NOTES



2 CHILD DEVELOPMENT SIGN ON GLENN AVE — TWO-SIDED
SCALE 1" = 1'-0"



1 MONUMENT SIGN ON NORTHWEST BLVD — TWO-SIDED
SCALE 1" = 1'-0"

HOLY TRINITY LUTHERAN CHURCH
COLUMBARIUM AND RENOVATIONS

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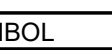
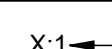
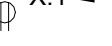
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EXTERIOR SIGNS

I-300

§ LOW VOLTAGE CONTROL STATION TYPE SCHEDULE	
LABEL	DESCRIPTION

LEGEND - ONE LINE DIAGRAM	
SYMBOL	DESCRIPTION
	BRANCH PANELBOARD
	ISOLATED POWER PANELBOARD
	GROUND
	MOLDED CASE CIRCUIT BREAKER (NON-ADJUSTABLE)
	CIRCUIT BREAKER WITH SOLID STATE ELECTRONIC TRIP, ADJUSTABLE TRIP SETTING. FRAME SIZE AND TRIP SIZE AS INDICATED
	DRAW OUT LOW VOLTAGE POWER CIRCUIT BREAKER
	FUSED SWITCH AND FUSE SIZE
	MOTOR STARTER
	NON-FUSED DISCONNECT SWITCH
	CIRCUIT BREAKER IN AN ENCLOSURE
	FUSED DISCONNECT SWITCH IN AN ENCLOSURE
	NON-FUSED DISCONNECT SWITCH IN AN ENCLOSURE
	COMBINATION MAGNETIC MOTOR STARTER/FUSED DISCONNECT SWITCH IN AN ENCLOSURE
	ELEVATOR CONTROL SWITCH
	SURGE PROTECTIVE DEVICE
	VARIABLE FREQUENCY DRIVE - FURNISHED BY OTHERS
	ELECTRONIC METER
	ELECTRONIC METER CABINET
	UTILITY METER
	TRANSFORMER (SECONDARY 600 VOLTS OR LESS)
	TRANSFORMER (SECONDARY 600 VOLTS OR MORE)
	TRANSFORMER (SECONDARY 600 VOLTS OR MORE)
	TRANSFORMER (SECONDARY 600 VOLTS OR LESS)
	EMERGENCY/STANDBY GENERATOR WITH CIRCUIT BREAKER DISCONNECT SWITCH
	AUTOMATIC TRANSFER SWITCH
	BYPASS ISOLATION AUTOMATIC TRANSFER SWITCH
	FIRE PUMP CONTROLLER / AUTOMATIC TRANSFER SWITCH
	MANUAL TRANSFER SWITCH FOR TEMPORARY GENERATOR
	MANUAL TRANSFER SWITCH FOR TEMPORARY GENERATOR AND LOAD BANK
	MANUAL TRANSFER SWITCH AND SEPARATE TAP BOX FOR TEMPORARY GENERATOR
	MEDIUM VOLTAGE CIRCUIT BREAKER, DRAW-OUT
	MEDIUM VOLTAGE FUSED DISCONNECT SWITCH
	MEDIUM VOLTAGE PROTECTIVE RELAY
	MEDIUM VOLTAGE NON-FUSED DISCONNECT SWITCH
	SURGE ARRESTOR
	BATTERY
	CURRENT TRANSFORMER
	GROUND FAULT
	GROUND FAULT INDICATION
	KEY INTERLOCK
	SHUNT TRIP
	SPLICE

POWER CIRCUITING GUIDE	
SYMBOL	DESCRIPTION
 XXX X:1	POWER CIRCUITING DESIGNATION X: PANEL NAME 1: CIRCUIT NUMBER
 XXX X:1	DEVICE, JUNCTION BOX, FLOOR BOX, ETC.
 XXX X:1	EQUIPMENT ABBREVIATION, REFER TO EQUIPMENT ABBREVIATION SCHEDULE FOR ADDITIONAL INFORMATION

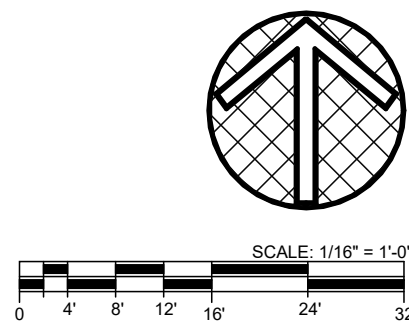
CONDUIT SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	CONDUIT STUB
	CONDUIT TURNED DOWN
	CONDUIT TURNED UP
	CONDUIT INSTALLED BELOW GRADE OR BELOW FINISHED FLOOR
E-1	ELECTRICAL CONNECTION TO EQUIPMENT ITEM 'E-1' (LETTER DESIGNATION AS APPLICABLE) - SEE CORRESPONDING EQUIPMENT CONNECTION SCHEDULE

DRAWING LIST - ELECTRICAL	
NUMBER	NAME
E0-1	ELECTRICAL SYMBOL LEGEND AND GENERAL NOTES
E0-2	LUMINAIRE SCHEDULE
E0-3	LOW VOLTAGE CONTROL STATION DETAILS
E0-4	LIGHTING CONTROLS
E1-1	FIRST FLOOR LIGHTING PLAN
E1-2	SITE LIGHTING PLAN
E6-1	ELECTRICAL DETAILS AND DIAGRAMS

[illegible]

SITE LIGHTING PLAN

1/16" = 1'-0"



PROGRESS
PRINT NOT FOR
CONSTRUCTION

HOLY TRINITY LUTHERAN CHURCH

COLUMBARIUM AND RENOVATIONS

PROJECT ADDRESS
2001 Northwest Blvd,
Columbus, OH 43212

UA BZAP SUBMISSION

DATE PRINTED
20 MAR 2024
PROJECT NUMBER
202406.00

DRAWN BY: CSS CHECKED BY: CC

SITE LIGHTING PLAN

E1-2

882 S. FRONT STREET
COLUMBUS, OH 43206
614.824.1633

SANDS
DECKER
ENGINEERS & SURVEYORS

EDGE

SMBH
STRUCTURAL ENGINEERING

Karpinski

Revised: May 2023

Certification of Notice

Applicant Name: Kurt Miller, AIA - WSA

Location of property subject to BZAP request: 2001 Northwest Blvd., Columbus, Ohio 43212

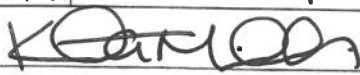
This application will be heard by the Board of Zoning and Planning on: 04.17.2024

Describe activity which requires Board of Zoning and Planning review:

Construction of a new exterior columbarium and adjacent exterior site and landscape upgrades, and replacement of an existing skylight. Addition and replacement of interior light fixtures in the sanctuary space.

Board of Zoning and Planning (BZAP) meetings begin at 6 PM on Wednesdays and are held at the Upper Arlington Municipal Services Center, 3600 Tremont Road, Upper Arlington, Ohio, 43221. Meeting location details and additional instructions will be provided on the Agenda, which is posted on the City's website at upperarlingtonoh.portal.civicclerk.com. For further information, please contact the Planning Division at planning@uaoh.net.

Your signature below **DOES NOT** constitute approval or disapproval of the request. Your signature only represents that you have been properly notified of the request. You are encouraged to attend any and all meetings regarding this matter.

Address of Property to be notified:	Property Owner Name:	Property Owner Signature or Certified Mail No.:	Date obtained or Mail sent:
1970 Glenn Ave. Columbus, OH 43212-1199	Jeffrey and Stephanie Baehler	9589 0710 5270 1540 8368 73	3/12/2024
1956 Glenn Ave. Columbus, OH 43212-1199	Janice Harris and Holly Harris	9589 0710 5270 1540 8368 66	3/12/2024
1973 Glenn Ave. Columbus, OH 43212-1199	Michael and Paige Trotta	9589 0710 5270 1540 8368 59	3/12/2024
1942 Westwood Ave. Columbus, OH 43212-1199	Lynn Meehan	9589 0710 5270 1540 8368 28	3/12/2024
1999 Glenn Ave. Columbus, OH 43212-1199	Christine Bohannon	9589 0710 5270 1540 8368 11	3/12/2024
4271 Stratton Rd Columbus, OH 43220	MSJ Sycamore Properties LLC	9589 0710 5270 1540 8368 04	3/12/2024
2355 Andover Rd Columbus, OH 43221	Robert Owens and Jeanne Owens	9589 0710 5270 1540 8367 98	3/12/2024
2618 Bryden Rd Columbus, OH 43209	2022 Northwest, LLC	9589 0710 5270 1540 8367 81	3/12/2024
2006 Northwest Blvd. Columbus, OH 43212-1199	Samuel Stephenson	9589 0710 5270 1540 8367 74	3/12/2024
2004 Northwest Blvd Columbus, OH 43212-1199	Peter Haggard	9589 0710 5270 1540 8367 67	3/12/2024
1520 McCoy Rd Columbus, OH 43220	Nisring, Hamed and Thura Harfi	9589 0710 5270 1540 8367 50	3/12/2024
2000 Northwest Blvd Columbus, OH 43212-1199	Ryan Abbruzzese	9589 0710 5270 1540 8367 43	3/12/2024
1965 Glenn Ave Columbus, OH 43212-1199	David Dwarney	9589 0710 5270 1540 8367 05	3/12/2024
Applicant Signature: 			Date: 03.20.24



Revised: May 2023

Certification of Notice

Applicant Name: Kurt Miller, AIA - WSA

Location of property subject to BZAP request: 2001 Northwest Blvd., Columbus, Ohio 43212

This application will be heard by the Board of Zoning and Planning on: 04.17.2024

Describe activity which requires Board of Zoning and Planning review:

Construction of a new exterior columbarium and adjacent exterior site and landscape upgrades, and replacement of an existing skylight. Addition and replacement of interior light fixtures in the sanctuary space.

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Address of Property to be notified:	Property Owner Name:	Property Owner Signature or Certified Mail No.:	Date obtained or Mail sent:
1991 Glenn Ave. Columbus, OH 43212-1199	Divyanga Singh and Amar Vallamudi	9589 0710 5270 1540 8369 34	3/12/2024
1981 Glenn Ave Columbus, OH 43212-1199	Keith and Rachel Jones	9589 0710 5270 1540 8369 41	3/12/2024
2025 Northwest Blvd Columbus, OH 43212-1199	Ohio Bell Telephone Co.	9589 0710 5270 1540 8369 58	3/12/2024
1962 Glenn Ave Columbus, OH 43212-1199	James McGuire and Lenore Rickert	9589 0710 5270 1540 8369 96	3/12/2024
P.O. Box 309 Plain City, OH 43064	Markritz LLC	9589 0710 5270 1540 8368 80	3/12/2024
1966 Westwood Ave Columbus, OH 43212-1199	Andrew and Gina Glynn	9589 0710 5270 1540 8368 97	3/12/2024
2845 Margate Rd Columbus, OH 43221	Michael Peppe	9589 0710 5270 1540 8369 27	3/12/2024
1951 Westwood Ave Columbus, OH 43212-1199	Kelli Briggs	9589 0710 5270 1540 8370 30	3/12/2024
1958 Westwood Ave Columbus, OH 43212-1199	Todd and Amber Kuehn	9589 0710 5270 1540 8370 23	3/12/2024
1978 Glenn Ave Columbus, OH 43212-1199	Jay Zenitsky Patricia Rancourt	9589 0710 5270 1540 8370 09	3/12/2024
1943 Westwood Ave Columbus, OH 43212-1199	Robert and Elizabeth Mackin	9589 0710 5270 1540 8370 10	3/12/2024
Applicant Signature: <u>K. Miller</u>			Date: <u>03.20.24</u>

Date: Friday, March 29, 2024

To: Kurt Miller, WSA Studio

From: Alyssa Kelly, AICP, Planning Officer

RE: Holy Trinity Lutheran Church – 2001 Northwest Boulevard (DEV-01-24)

This memo serves as a summary of preliminary Staff comments regarding the March 20, 2024 submittal of an Amended Major Site Plan for proposed exterior modifications to Holy Trinity Lutheran Church, as well as a Conditional Use for a columbarium. Board of Zoning and Planning (BZAP) review of an Amended Major Site Plan and Conditional Use are required per Unified Development Ordinance (UDO) Articles [4.05\(F\)](#) and [4.05\(N\)](#).

The City's Technical Review Committee has met to discuss this application, and comments have been compiled below for your review. These issues should be addressed and/or resolved in order to improve the prospect of approval. This letter will be reviewed at the April 3, 2024 Work Session. Your team should be prepared to introduce the project to the Board and respond to each of the items noted.

The items identified in this letter are based on the City's preliminary review of the application and is not an exhaustive list of items that may need to be addressed to comply with the UDO and City code. The City reserves the right to address additional items on this project as necessary.

- 1) **Variances Required** - Staff has identified variances that will be required for the replacement sign regarding its location in a residential district, as well as details related to size, location on the property, landscaping requirements, etc. Please review [UDO 6.06](#) for signage requirements and meet code requirements as closely as possible.
- 2) **Landscape Plan** – The City Forester has provided initial comments on the landscape plan (see attached). Please modify plans to address these comments.
- 3) **Additional Information Required** – Please submit the existing and proposed development coverage for the site, details on the proposed internment area, and details on the proposed exterior lighting, including fixture type.
- 4) **State Requirements** – Please confirm that the proposed columbarium will meet all state requirements, including those in the Ohio Revised Code and Ohio Administrative Code.
- 5) **Public Hearing Sign** – A “Ready for a Change” sign will be placed at the site. Please ensure this sign remains visible on the property until the BZAP process is complete. This is to help passersby and neighbors become aware of the potential project.
- 6) **Neighbor Concerns** – Staff has received at least one call from a neighbor (Peppe) regarding the proposed columbarium. You may choose to proactively contact this individual prior to the formal BZAP hearing.

Thank you for submitting this application and for your work on these improvements. Please contact me with any questions or concerns.

Best Regards,

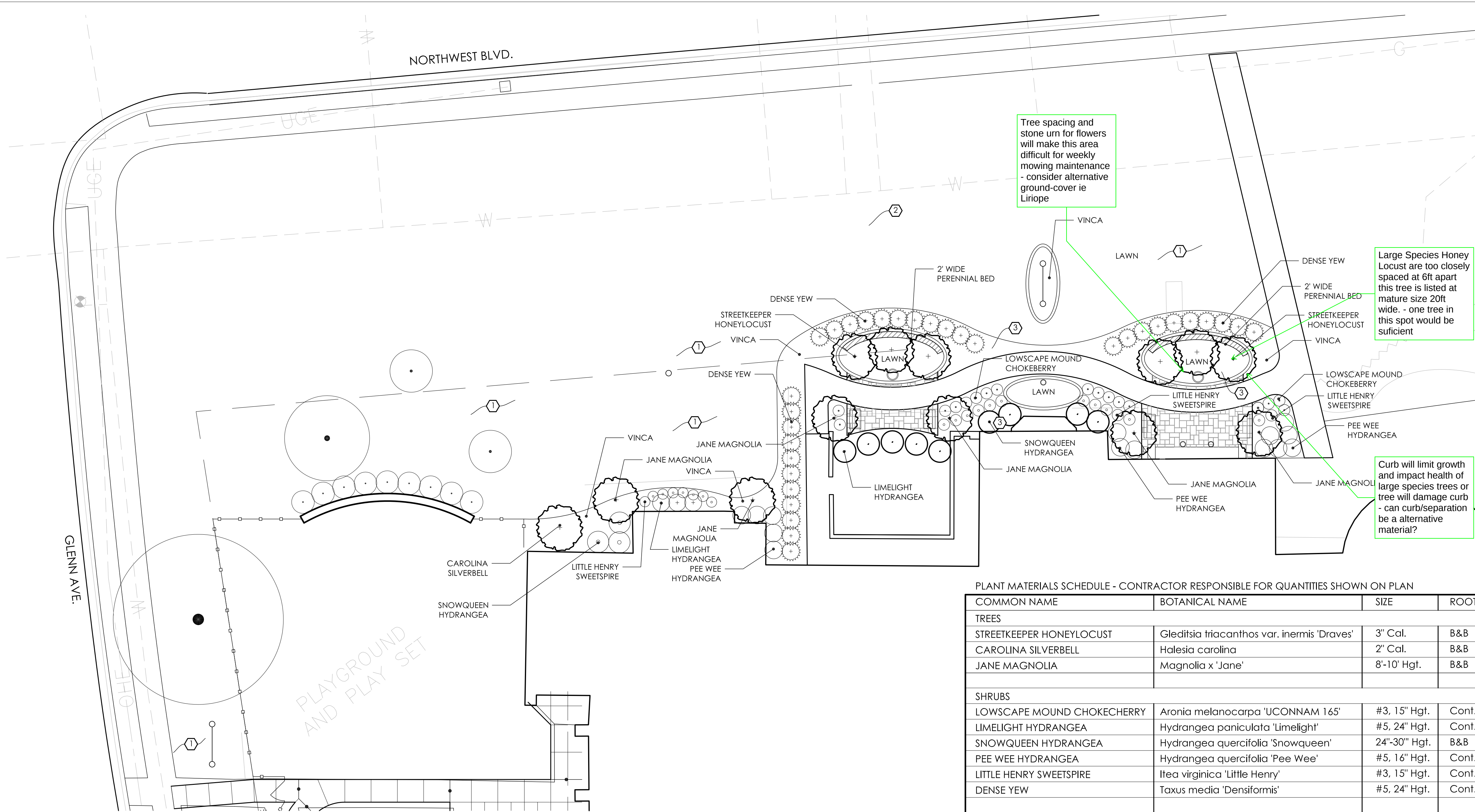
Alyssa Kelly

Planning Officer
614-583-5071
akelly@uaoh.net

C: Steven Schoeny, City Manager
Jackie Thiel, PE, Assistant City Manager
Chad Gibson, AICP, Community Development Director
Justin Milam, AICP, Senior Planner
Roger Eastep, Chief Building Official
Gary Wilfong, PE, Public Service Director
Carla Odebralski, PE, City Engineer
Aaron Scott, PE, Assistant City Engineer
Alan Thompson, UAFD Battalion Chief
Brian Brown, Lieutenant
Darlene Pettit, Assistant City Attorney
Sam Simmons, City Forester

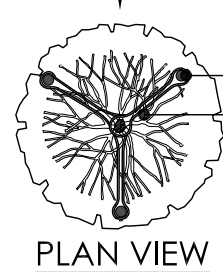
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8/15/2024 2:28:39 PM



1 PLANTING PLAN

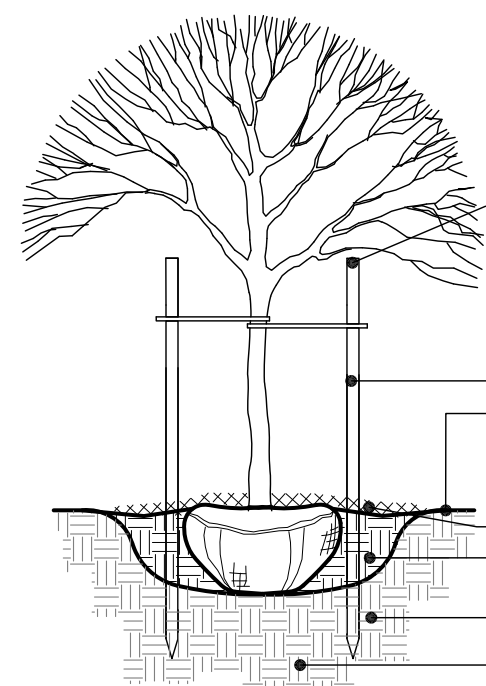
PREVAILING WIND



WOOD STAKES
RUBBER TIES

NOTES:

1. ROOT FLARE TO BE FLUSH WITH ADJACENT FINISH GRADE
2. REMOVE ROPE AND BURLAP FROM TOP 1/3 OF ROOT BALL CUT TOP 1/3 OF WIRE BASKET FROM ROOT BALL. REMOVE ALL LABELS, TAGS OR OTHER FOREIGN MATERIALS FROM LIMBS.



TWO (2) 2" DIA. WOOD STAKES. INSTALL APPROX. 2" AWAY FROM EDGE OF ROOT BALL. STAKE LOCATION SHALL NOT INTERFERE WITH BRANCHES.

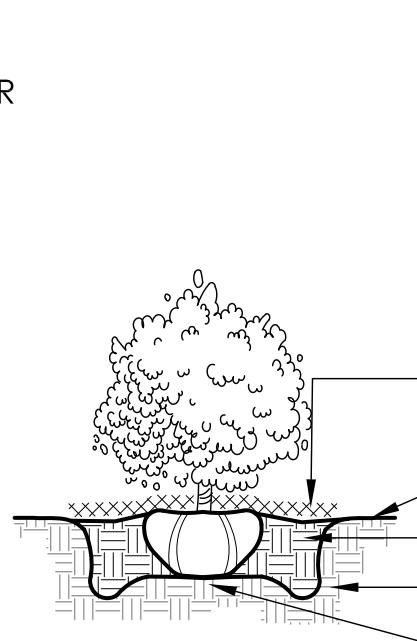
NON-ABRASIVE RUBBER TIES
FINISH GRADE

HARDWOOD BARK MULCH
BACKFILL PLANTING SOIL MIX

EXISTING SOIL
UNDISTURBED SOIL OR COMPACTED BACKFILL

2 DECIDUOUS TREE PLANTING

NTS



NOTES:

1. TOP OF ROOT BALL TO BE 2"-3" ABOVE ADJACENT FINISH GRADE
2. REMOVE ROPE AND BURLAP FROM TOP 1/3 OF ROOT BALL. REMOVE ALL LABELS, TAGS OR OTHER FOREIGN MATERIALS FROM LIMBS.

HARDWOOD BARK MULCH

FINISH GRADE

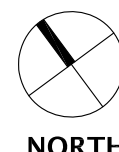
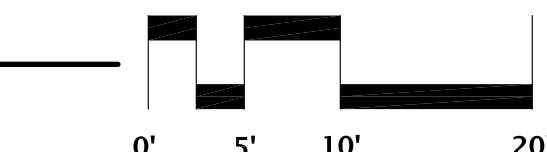
BACKFILL PLANTING SOIL MIX

EXISTING SOIL

UNDISTURBED SOIL OR
COMPACTED BACKFILL

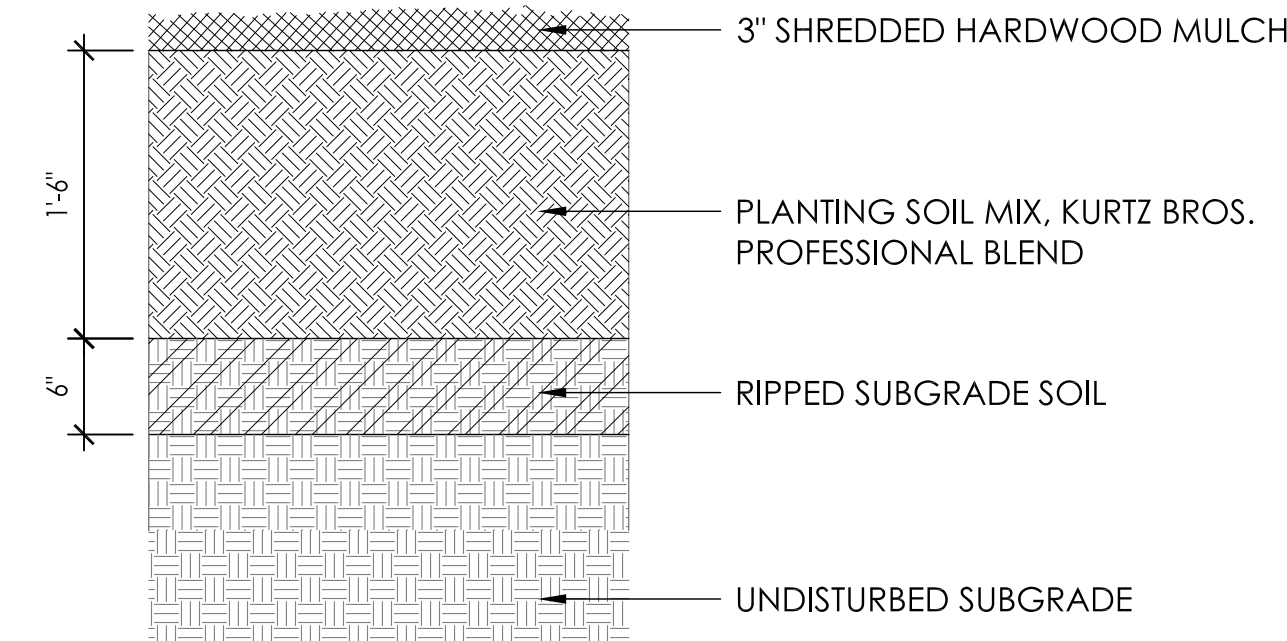
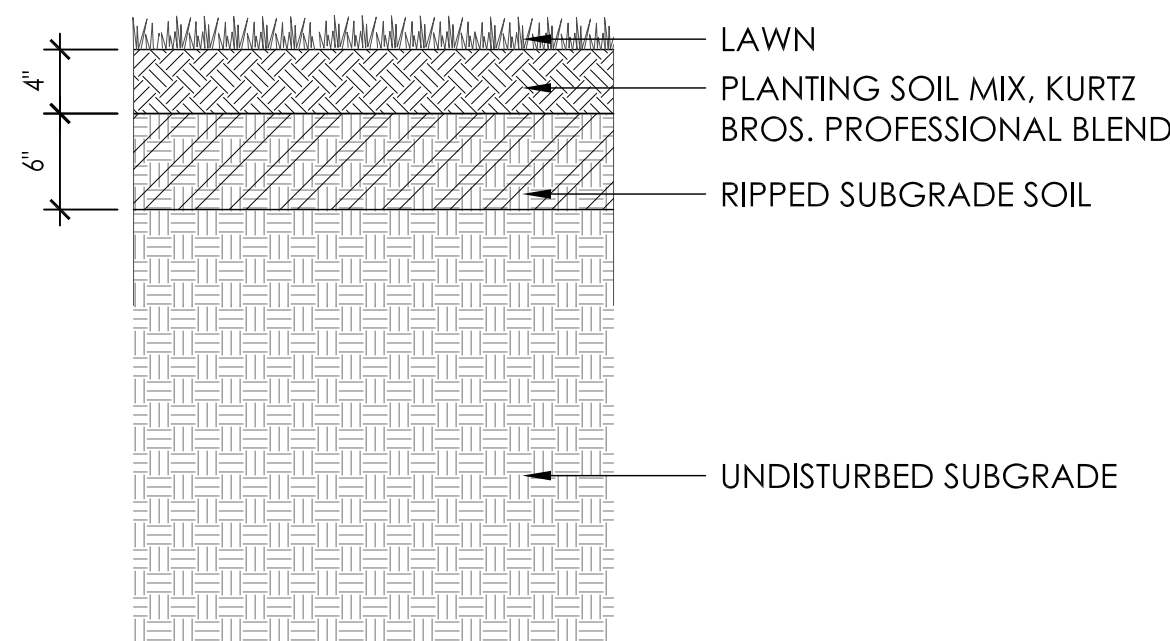
3 SHRUB PLANTING

NTS



4 SOIL PROFILE AT LAWN

NTS



5 SOIL PROFILE AT PLANT BED

NTS

PLANT MATERIALS SCHEDULE - CONTRACTOR RESPONSIBLE FOR QUANTITIES SHOWN ON PLAN

COMMON NAME	BOTANICAL NAME	SIZE	ROOT
TREES			
STREETKEEPER HONEYLOCUST	Gleditsia triacanthos var. inermis 'Draves'	3" Cal.	B&B
CAROLINA SILVERBELL	Halesia carolina	2" Cal.	B&B
JANE MAGNOLIA	Magnolia x 'Jane'	8'-10' Hgt.	B&B
SHRUBS			
LOWSCAPE MOUND CHOKECHERRY	Aronia melanocarpa 'UCCONNAM 165'	#3, 15" Hgt.	Cont.
LIMELIGHT HYDRANGEA	Hydrangea paniculata 'Limelight'	#5, 24" Hgt.	Cont.
SNOWQUEEN HYDRANGEA	Hydrangea quercifolia 'Snowqueen'	24"-30" Hgt.	B&B
PEE WEE HYDRANGEA	Hydrangea quercifolia 'Pee Wee'	#5, 16" Hgt.	Cont.
LITTLE HENRY SWEETSPIRE	Itea virginica 'Little Henry'	#3, 15" Hgt.	Cont.
DENSE YEW	Taxus media 'Densiflora'	#5, 24" Hgt.	Cont.
GROUND COVER & PERENNIALS			
PERIWINKLE	Vinca minor	2 1/4" Peat Pot	Flat
PERENNIAL MIX	X	#1	Cont.

GENERAL NOTES:

1. EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
2. CONTRACTOR IS RESPONSIBLE FOR COST OF REPAIRS TO EXISTING CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR DAMAGES TO THE SATISFACTION OF THE OWNER.
3. ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD BARK MULCH BED.
4. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LAWN AREAS.
5. FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
6. CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION. SEE PLAN.
7. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
8. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
9. ALL PLANT BEDS SHALL BE IRRIGATED. PROVIDE IRRIGATION PLANS FOR REVIEW.

PLANTING CONSTRUCTION NOTES:

1. REPAIR LAWN AREA, FILL VOIDS WITH TOPSOIL AS REQUIRED AND MEET ADJACENT SURFACES FLUSH. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
2. NEW LAWN AREA, FILL AREA WITH CLEAN FILL, AS REQUIRED TO BRING TO GRADE, PROVIDING TOPSOIL ON TOP 6" AND MEETING ADJACENT SURFACES FLUSH. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
3. LANDSCAPE AREA, PROVIDE MINIMUM DEPTH OF 18" SOIL MIX FOR SHRUBS AND PERENNIALS AND 24" DEPTH SOIL MIX WHEN TREES ARE PLANTED IN BED. SEE SPECIFICATIONS FOR SOIL MIX. HOLD TOP OF SOIL DOWN 3" FROM TOP OF CURB AND/OR ADJACENT PAVEMENT TO ALLOW FOR INSTALLATION OF MULCH. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.

WSA

882 S. FRONT STREET
COLUMBUS, OH 43206
614.824.1633

**SANDS
DECKER**
ENGINEERS & SURVEYORS

EDGE

SMBH
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Karpinski

HOLY TRINITY LUTHERAN CHURCH

COLUMBARIUM AND RENOVATIONS

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Columbus, OH 43212

**PRELIMINARY
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CONSTRUCTION**

UA BZAP SUBMISSION

DATE PRINTED
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DRAWN BY: KK CHECKED BY: PL

PLANTING
PLAN

L2.01