



8/5/2026 | 6:00 PM

**Municipal Services Center, Council Chamber
3600 Tremont Road**

1. Call to Order/Roll Call

2. Current Projects

- a. 2430 Kensington Drive (#26-3317) - Review of a new home design and site plan for a replacement home of a Contributing Structure in the Historic District. [A previous design was approved on July 24, 2024, as part of a Certificate of Economic Hardship.]

3. Preliminary Reviews

- a. 2314 Edington Road (#26-3405) - Informal review of a proposed new home that does not meet neighborhood compatibility requirements.

4. Training

- a. Overview of the City's economic development strategies and policies.

5. Adjournment



Authors: Justin Milam, AICP, Senior Planner

BZAP Meeting Date: August 5, 2026

Subject: 2430 Kensington Drive (#26-3317) - Review of a new home design and site plan for a replacement home of a Contributing Structure in the Historic District. [A previous design was approved on July 24, 2024, as part of a Certificate of Economic Hardship.]

Overview

At the July 24, 2024, BZAP hearing, the Board approved a Certificate of Economic Hardship to permit the demolition of a Contributing Structure built in 1926 (see [minutes](#)). As part of the review, the Board approved its replacement — a stone Tudor-style home that was similar to the previous home. Since that time, the property has changed ownership from 2430 Kensington Drive LLC to Michael Edwards Building & Design, and a new home is proposed.

The proposed home is a 32-foot-tall brick and siding Colonial Revival-style home set along the 40-foot building line. Access will relocate to the west side of the property and lead to a three-car detached garage. A large covered front porch is shown on the front elevation. All development standards are met, including: setbacks, lot coverage, side yard longwall, rear yard profile, and neighborhood compatibility. This new design has the support of the City's third-party architect, subject to minor revisions. These have been shared with the applicant and are noted below:

- Consider replacing the board & batten siding with clapboard siding (stronger design strategy and would match the detached garage);
- Strong recommendation for dining room mass to be clad in brick and not clapboard siding; and
- Front dormer material and placement adjustments.

Zoning Code Requirements

[Article 4.07\(I\)](#) of the City's Unified Development Ordinance (UDO) requires replacement structures to complete design review with BZAP before a Building Permit is issued.

Because the Board previously approved the Certificate of Economic Hardship and its replacement home, a new Certificate is not needed. The Board does need to review the new home design, as the one previously approved will not be built.



Staff has reviewed the application and plans, met with the applicant, and re-visited the site. The new design meets neighborhood compatibility measures and all development standards. While not a replacement Tudor-style home, the proposed Colonial Revival will blend into the existing neighborhood. Both styles coexist throughout the community, especially south of W. Lane Avenue. The proposed brick matches others on the street and complements the predominant use of stone. The proposed height and massing are in line with the street segment. Staff recommends that the proposed design be approved.

Attachments

1.	2430 Kensington Dr_Applicant Narrative
2.	2430 Kensington Dr_Revised Plan
3.	2430 Kensington Dr_BZAP Staff Report Pics (2024)
4.	2430 Kensington Dr_Approved Home (2024)



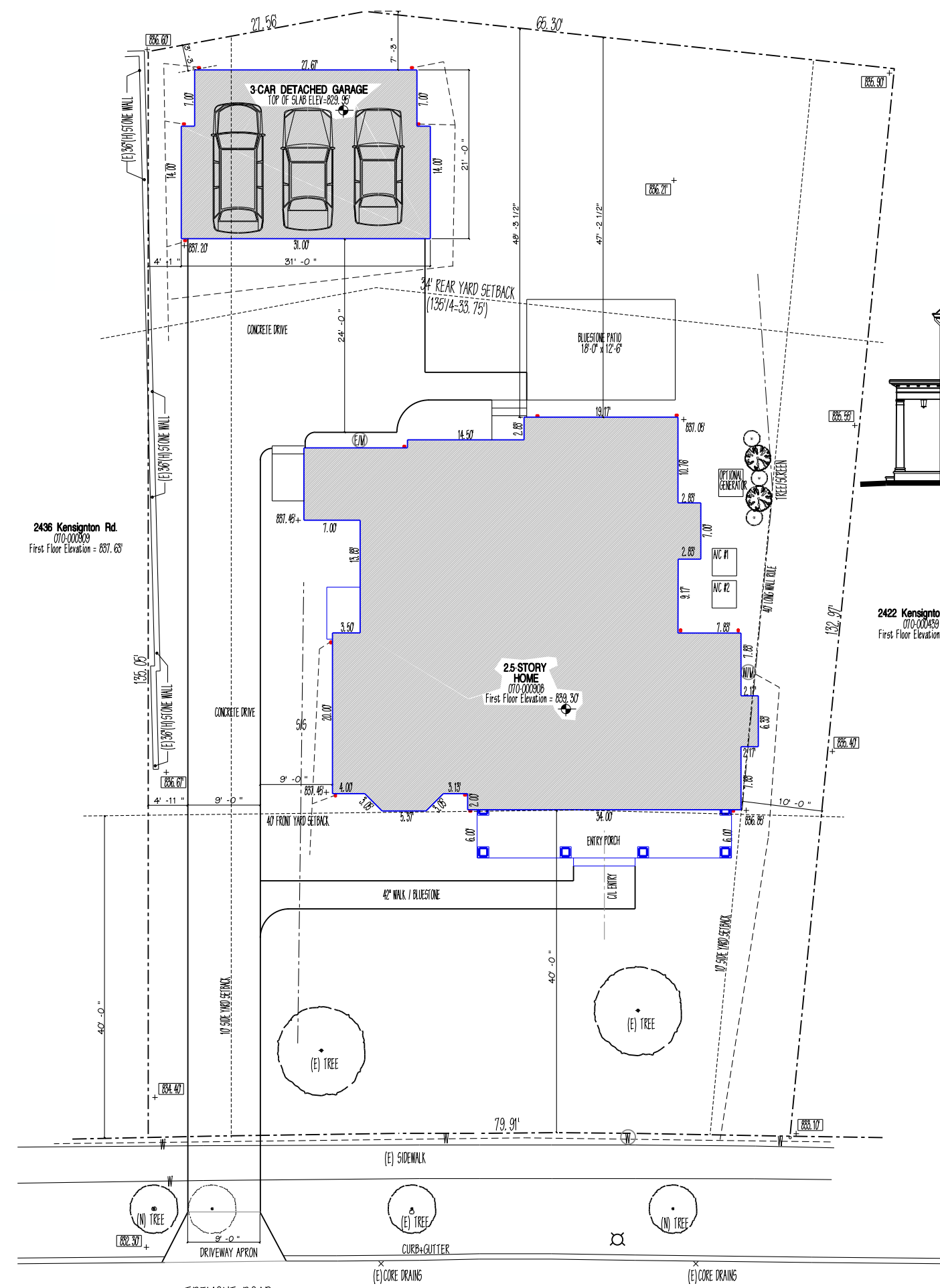
Michael Edwards Building and Design plans to build a new home at 2430 Kensington Road. Our company purchased this lot from a previous owner who demolished a historic residence. Our home design adheres to all building and zoning rules and regulations. The main mass of the home is brick and has a large front porch to connect with the neighborhood. The home also has a charming bay window with copper roof and a 3 car detached garage. The design of our new home should blend nicely with the existing homes on this street.



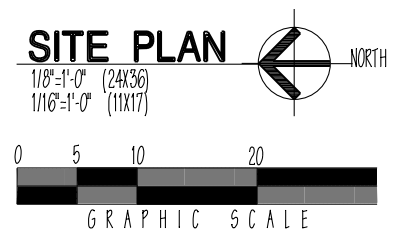
FRONT/ WEST ELEVATION



MICHAEL EDWARDS
Building + Design



South Elevation (N.T.S.)
Rear Yard Profile Coefficient



UTILITIES:
ALL EXISTING UTILITIES ARE TO BE RE-USED
AT THEIR EXISTING LOCATIONS.
NOTIFY MICHAEL EDWARDS, BUILDING & DESIGN,
IF EXISTING LOCATIONS ARE NOT ADEQUATE.

S/S = SANITARY SEWER
W = WATER MAIN SERVICE
(W) = EXISTING WATER VALVE
STM = STORM SEWER
U/E = UNDERGROUND ELECTRIC
O/E = OVERHEAD ELECTRIC
G = UNDERGROUND GAS LINE
☀ = LIGHT POLE

KEY:

- + 808.19 = EXISTING GRADE
- + 808.40 = PROPOSED GRADE
- - - - = DOWNSPOUT + CONDUCTOR LINE

GRADING

FINISH GRADE TO SLOPE AWAY FROM HOME FOUNDATION A MINIMUM OF 6" WITHIN THE FIRST 10'-0" FROM THE HOMES FOUNDATION.

(GRADE ELEVATIONS ARE ALL BASED FRANKLIN COUNTY AUDITORS MAP(COUNTOURS))

CURBS, & SIDEWALKS & GENERAL NOTES:

1. All concrete flat work and hand placed curb located in row shall be casted using city of Columbus Class S-4500 psi type concrete.
2. Concrete placed in drive approach & sidewalk crossing driveway shall be 6 inches thick
3. All concrete construction joints shall be constructed with rubberized expansion joint material.
4. All construction in city row shall be performed in accordance with the City of Columbus Construction & Material Specifications.
5. Refer to the Upper Arlington standard curb and gutter drawing #2010, standard sidewalk drawing #2500 and Upper Arlington curb & gutter replacement drawings, or refer to the Columbus curb and gutter.
6. All joints in expansion joint on city property to be per reflex concrete joint filler & expansion joint material specifications.
7. Refer to Upper Arlington standard road drain opening drawing when terminating row drains to city street.



FRONT/West Elevation

1'-0"=1/4" (24x36)
1'-0"=1/8" (11x17)



LEFT SIDE/North Elevation

1'-0"=1/4" (24x36)
1'-0"=1/8" (11x17)



155 E. Broad Street
Columbus, Ohio 43215
ph: (614) 241-2070

T. WALTON CARR
ARCHITECTS



Front/ West + Left
Elevations

2430 Kensington Road
Upper Arlington, Ohio, 43221

07-15-2026
CONSTRUCTION SET
REVISIONS

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job name
2430 Kensington Road



Rear Elevation
1"-0"=1/4" (24x36)
1"-0"=1/8" (11x17)

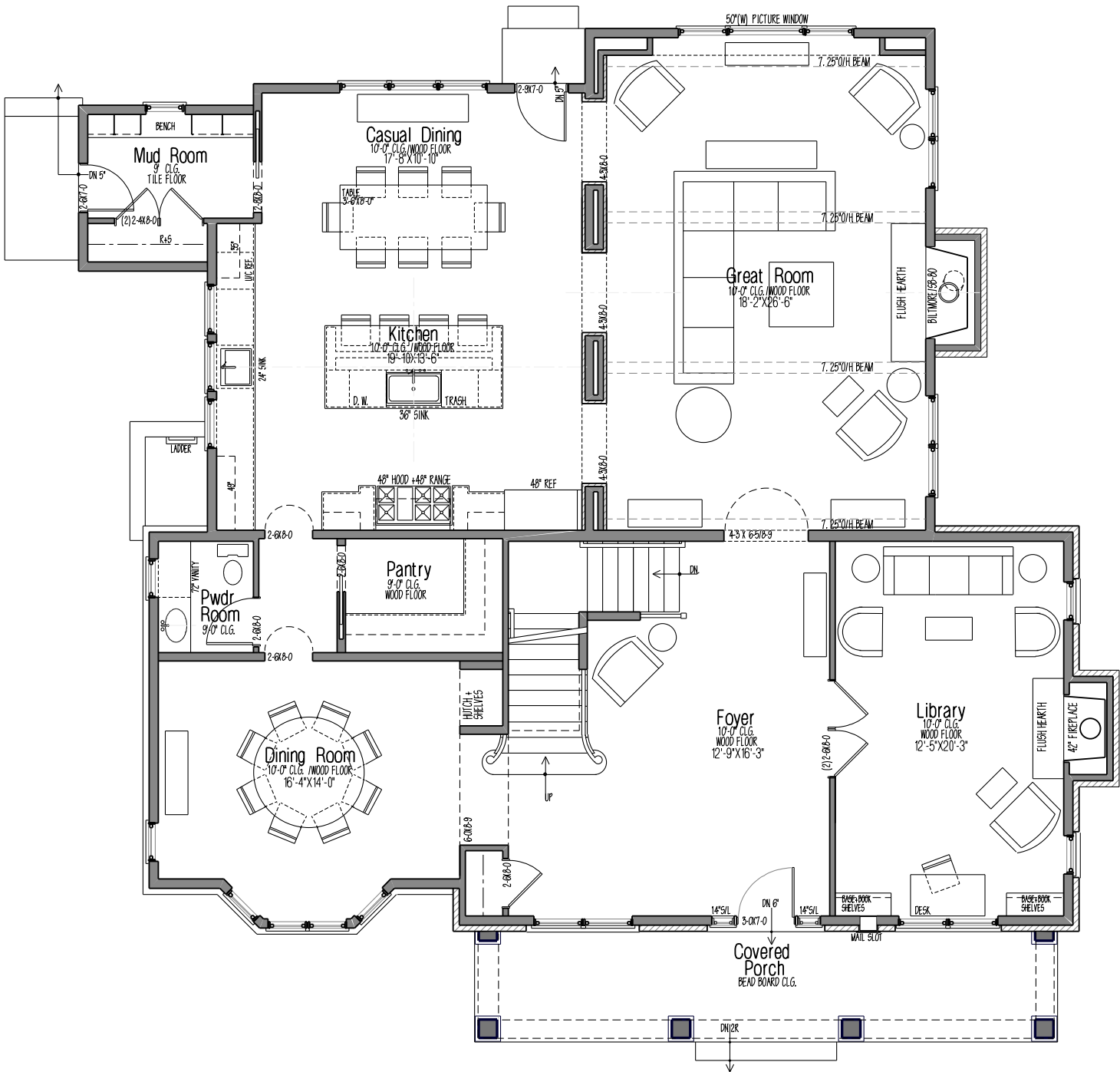
RIGHT SIDE/South Elevation
1"-0"=1/4" (24x36)
1"-0"=1/8" (11x17)

2430 Kensington Road
Upper Arlington, Ohio, 43221

07-15-2026
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job name
2430 Kensington Road



FLOOR AREA:
FIRST FLOOR = 2,155 S. F.
SECOND FLOOR = 2,012 S. F.
THIRD FLOOR = 507 S. F.
FIRST, SECOND + THIRD FL. = 4,674 S. F.
FINISHED LOWER LEVEL = 1,082 S. F.

FIRST FLOOR PLAN
1/4"=1'-0" (24X36)
1/8"=1'-0" (11X17)

FRAMING NOTES

1. CONNECTIONS

- a. PLYWOOD TO FLOOR JOISTS: GLUE + NAIL. USE Bd COATED SINKERS, @ 6" O.C. PANEL EDGES, 12"O.C. @ INTERMEDIATE SUPPORTS. Use adhesives meeting APA specifications AP-01 and applied in accordance with manufacturer's recommendations.
 - b. Plywood to roof trusses, rafters, walls: Nailed using Bd coated sinkers at 6"/c at panel edges and 12"/cat intermediate supports. Provide plywood clips at unsupported edges over 16" for roof sheathing.
 - c. It is assumed that the sheathing will provide lateral bracing for studs. If no sheathing is provided, then solid blocking must be provided @ 48"O.C.
 - d. Sole plate to subfloor: Nailed using 16d coated sinker @ 6"/c, staggered.
 - e. Studs to sole plate and cap plates: Nailed using (2) 16d coated sinkers.
 - f. Studs: Nail studs together using (1) 16d coated sinker at 6"/c, staggered.
 - g. Double Plates: Nail together using (1) 16d coated sinkers @ 6" o.c. staggered.
 - h. Roof trusses and Rafters to Wall plate: Where required, use Simpson Strong-Tie anchor H2.5 otherwise, nail using (2) 16d coated sinkers (one of each side of member into plate).
 - i. Lintels made up of multiple 2x lumber: Glue and nail using 16d sinkers, as required
 - j. Multiple LVL Beams: Fasten Together per manufacturer recommendations.
 - k. Roof trusses and Rafters to LVL's: Where required, use Simpson Strong-Tie anchor H10210.
 - l. Drywall: May be attached using the fastening schedule in the 2019 R.C.O. (702.3.5) or per manufacturer specifications.
 - m. All fasteners used in conjunction with treated lumber to be stainless steel or hot dipped galvanized.
2. MISCELLANEOUS
- a. In all areas where top chord of trusses do not receive plywood sheathing, provide 1x4 continuous bridging perpendicular to top chords and spaced @ 36" o.c.
 - b. Use solid blocking cross bridging at 36" o.c. max. for all floor joists and rafters.
 - c. Use double joists under interior partitions parallel with the direction of the floor joists unless noted otherwise.
 - d. Use one full height stud and one jack stud under each beam and lintel bearing, unless noted otherwise. Where three or more studs are shown on plan use one as jack and remainder as full height studs.
 - e. Apply a continuous bead of glue on floor joist when fastening subfloor to floor joists.
 - f. The following notes are taken from the 2019 R.C.O.
 - RCO.11 Firestopping required. Firestopping shall be provided to cut off all concealed draft openings, (both vertical + horizontal), and to form an effective fire barrier between stories, and between a top story and the roof space. Firestopping shall be provided in wood-frame construction in the following locations:
 - 1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
 - 1.1 Vertically at the ceiling and floor levels.
 - 1.2 Horizontally at intervals not exceeding 10 feet.
 - 2. At all interconnections between concealed vertical and horizontal spaces that occur at soffits, drop ceilings, cove ceilings, etc., . . .
 - 3. In concealed spaces between stair stringers at the top and bottom of the run.
 - 4. At the openings around vents, pipes, ducts, chimneys and fireplaces at ceiling and floor level, with noncombustible materials.
 - 5. For the fireblocking of chimneys and fireplaces, see section R1001.16.
 - 6. Fireblocking of corners of a two-family dwelling is required at the line of dwelling unit separation.
 - g. All wood subject to termite damage and/or decay shall be pressure treated and comply with section S17 of the 2019 R.C.O.
 - h. All exterior walls shall comply to the bracing techniques as described in 2019 R.C.O. Chapter 6- "Wall Construction".
 - i. Chimneys and fireplaces shall comply with chapter 10 of the 2019 R.C.O.

INDEX TO DRAWINGS

Sheet#	Drawing Title
COVER	COVER /STREET ELEVATION+GENERAL NOTES
SP1	SITE PLAN, Rear Yard Profile Coefficient
S1	FOUNDATION WALL , WALL BRACING DETAIL+ NOTES
A1	FOUNDATION PLAN
A1.1	FINISHED LOWER LEVEL PLAN
A2	FIRST FLOOR PLAN
A3	SECOND FLOOR PLAN
A4	THIRD FLOOR/ ROOF FRAMING PLAN
A5	THIRD FLOOR/ ROOF PLAN
A6	FRONT (EAST)+REAR ELEVATIONS
A7	RIGHT (NORTH)+ LEFT SIDE ELEVATIONS
A8	STAIR SECTIONS/BLDG. CROSS SECTIONS+ DETAILS
A9	THREE CAR DETACHED GARAGE

BUILDING CODE COMPLIANCE

- a. ALL ASPECTS OF THIS BUILDING SHALL COMPLY WITH THE 2019 RESIDENTIAL CODE OF OHIO
- b. ALL ELECTRICAL WORK SHALL COMPLY WITH THE CODE REQUIREMENTS OF THE GOVERNING MUNICIPALITY, THE NATIONAL ELECTRIC CODE.
- c. ALL PLUMBING WORK SHALL COMPLY WITH THE CODE REQUIREMENTS OF THE GOVERNING MUNICIPALITY, AND THE OHIO PLUMBING CODE.
- d. ALL HEATING, AIR CONDITIONING, AND OTHER MECHANICAL SYSTEMS TO BE INSTALLED TO COMPLY WITH UNDERWRITERS APPROVAL + MANUFACTURERS SPECIFICATIONS. HEATING SYSTEMS SHALL BE DESIGNED TO MAINTAIN THE TEMPERATURE SET FORTH BY THE GOVERNING MUNICIPALITY.
- e. INSTALL INSULATION IN COMPLIANCE WITH THE TECHNIQUES DESCRIBED IN CHAPTER 11 OF THE RESIDENTIAL CODE OF OHIO.

ENERGY CODE COMPLIANCE

The following table demonstrates compliance of the design for this house with the 2019 International Energy Conservation Code, prescriptive insulation and fenestration requirements for Climate zone 5. These requirements are listed in Table 402.1.1 of the 2019 IECC. Insulation Contractor to provide Res-check for this project, prior to start of construction to Michael Edwards Building + Design.

Building Element	Required R or U value	Design R or U value
Fenestration	.35	.35 max
Skylight	n/a	n/a
Glazed Fenestration	NR	NR
Ceiling R-Value	36	36
Wood framed wall R-Value	20	20
Mass Wall R-Value	13/7	n/a
Floor R-value	30	30
Basement wall R-Value	10/13	R13
Slab R-value+depth	7, 5"	n/a
Crawl space wall R-value	n/a	n/a
(Wood frame wall R-value of 20 Based on R-19 batt insulation, plus R-.5 (0.5" B. Sheathing), plus R-.5 (Gypsum Board)		
THE GLASS TO WALL RATIO FOR THIS DESIGN, IS 7.5% (20% MAXIMUM ALLOWED)		

MECHANICAL SCOPE OF WORK

- PROPOSED ELECTRICAL:
- One, (1) 300 AMP Electric panel to be installed on foundation wall per plan.
 - All bedrooms to receive a switched overhead light
 - All electrical outlets to be placed not more than 6' from a corner or doorway, and within 12' lineal feet of each other along walls
 - All stairways to be illuminated and switched at top and bottom.
- PROPOSED PLUMBING:
- Install, hot water in basement per plan.
 - Install Seven (7) water closets per plan.
 - Install Eight, (8) bathroom lavatories per plan.
 - Install Three (1) Kitchen sinks, One (1) Laundry sink.
 - Install One (1) Bar sink.
 - Install One (1) Washer hook up, per plan.
 - Install Five (5) Shower bases, One (1) Tub per plan.
- PROPOSED HVAC:
- Two (2) Carrier 92+ AFUE furnace with 15 SEER air conditioner with media cleaner per plan.
 - All supply air to be ducted through out the house.
 - All return air to be pulled from various loctions of the house.

BUILDING + DEVELOPMENT COVERAGE

LOT AREA: 11,674 SF

DEVELOPMENT COVERAGE ALLOWED = 5,253 SF (45.0% LOT AREA)
DEVELOPMENT COVERAGE PROPOSED = 4,983 SF (43.0% LOT AREA)

BUILDING COVERAGE ALLOWED = 3,585 SF (31.0% LOT AREA)
BUILDING COVERAGE PROPOSED = 2,981 SF (25.5% LOT AREA)

FRONT YARD AREA: = 3,281 SF
FRONT YARD COVERAGE ALLOWED = 800 SF (25.0% FRONT YARD AREA)
FRONT YARD COVERAGE PROPOSED = 715 SF (21.8% FRONT YARD AREA)

BUILDING HEIGHT ALLOWED = 35'-0" (MEASURED FROM AVERAGE GRADE HEIGHT @ ENTRY)
BUILDING HEIGHT PROPOSED = 31'-9"

DETACHED GARAGE HEIGHT ALLOWED = 17'-0" (MEASURED FROM AVERAGE GRADE HEIGHT @ ENTRY)
DETACHED GARAGE HEIGHT = 17'-0"

BUILDING AREA

FIRST FLOOR = 2,155 S.F.
SECOND FLOOR = 2,082 S.F.
THIRD FLOOR = 507 S.F. (670 S.F. MAX)

TOTAL BASEMENT = 2,166 S.F.
FINISHED BASEMENT = 1,082 S.F.

3-CAR DETACHED GARAGE = 632 S.F.

PERMIT SQUARE FOOTAGE = 7,491 S.F.
TOTAL LIVING SPACE = 5,756 S.F.
(REVISED 7/18/26)



2 WORKING DAYS

BEFORE YOU DIG

CALL TOLL FREE: 1-800-362-2764 (OHIO) OR 811 (NATIONAL)

Ohio Utilities Protection Service



PRINT DATE: 7/18/26



MICHAEL EDWARDS
BUILDING and DESIGN INC.

495 S. High Street
Columbus, Ohio 43215
ph: (614) 241-2070
fax: (614) 241-2080

I. WALTON CARR
ARCHITECTS



Cover Sheet +
General Notes

2430 Kensington Road
Upper Arlington, Ohio, 43221

11-15-2021
CONSTRUCTION SET
REVISIONS

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job name
2430 Kensington Road

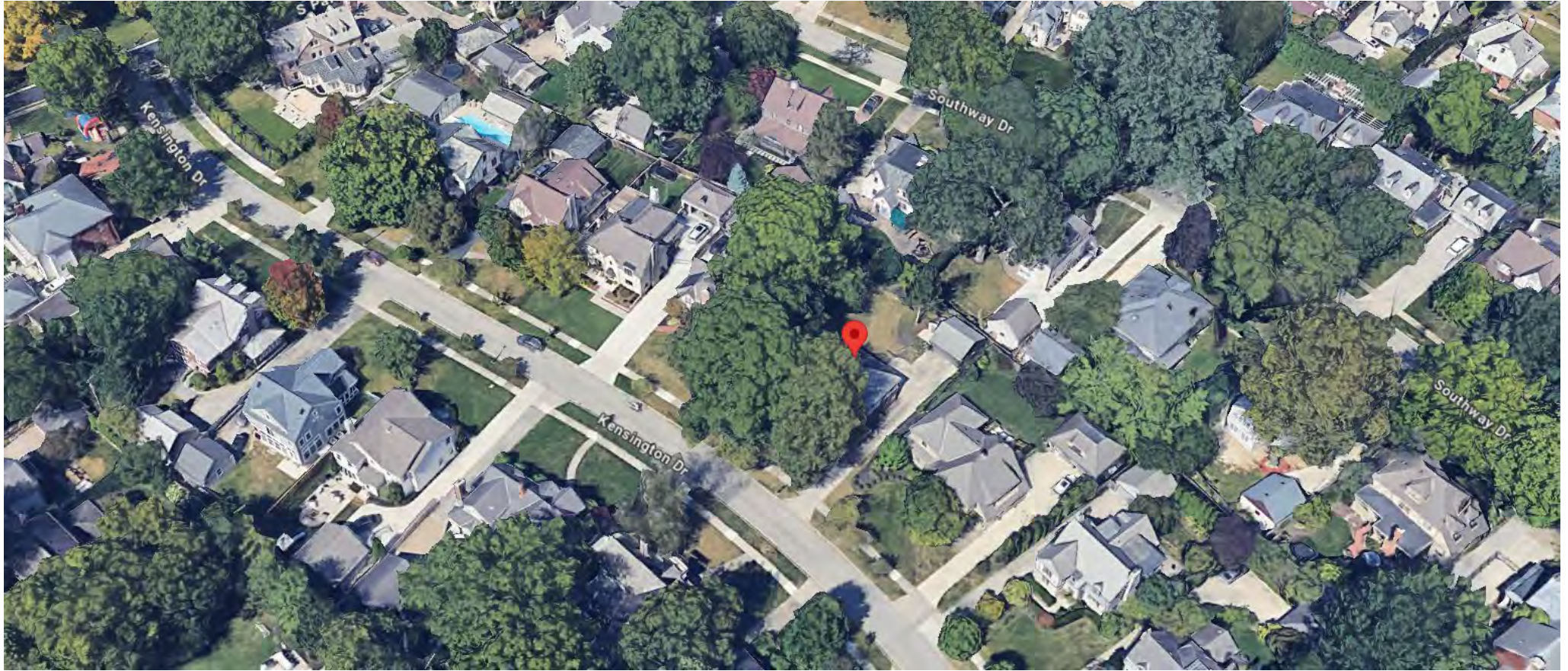
SHEET
COVER

2430 Kensington Drive

BZAP Staff Report Pictures



Google Maps ® Aerial – Looking North



Existing Front Elevation



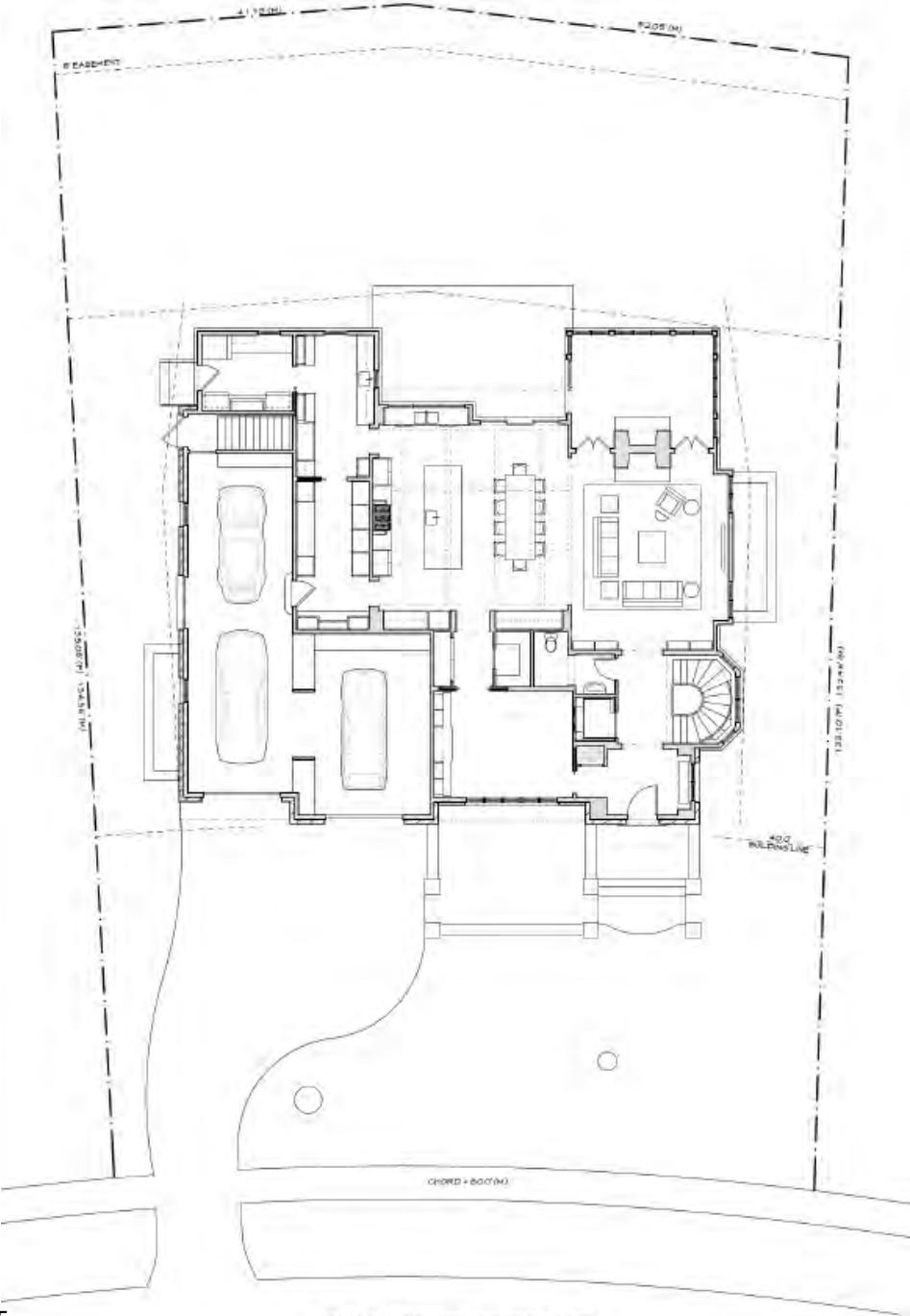
Proposed Front Elevation



PROPOSED FRONT ELEVATION



Proposed Site Plan





EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION

M I

M A T R K A
G R O U P



EXISTING SOUTH ELEVATION

2430 KENSINGTON DRIVE

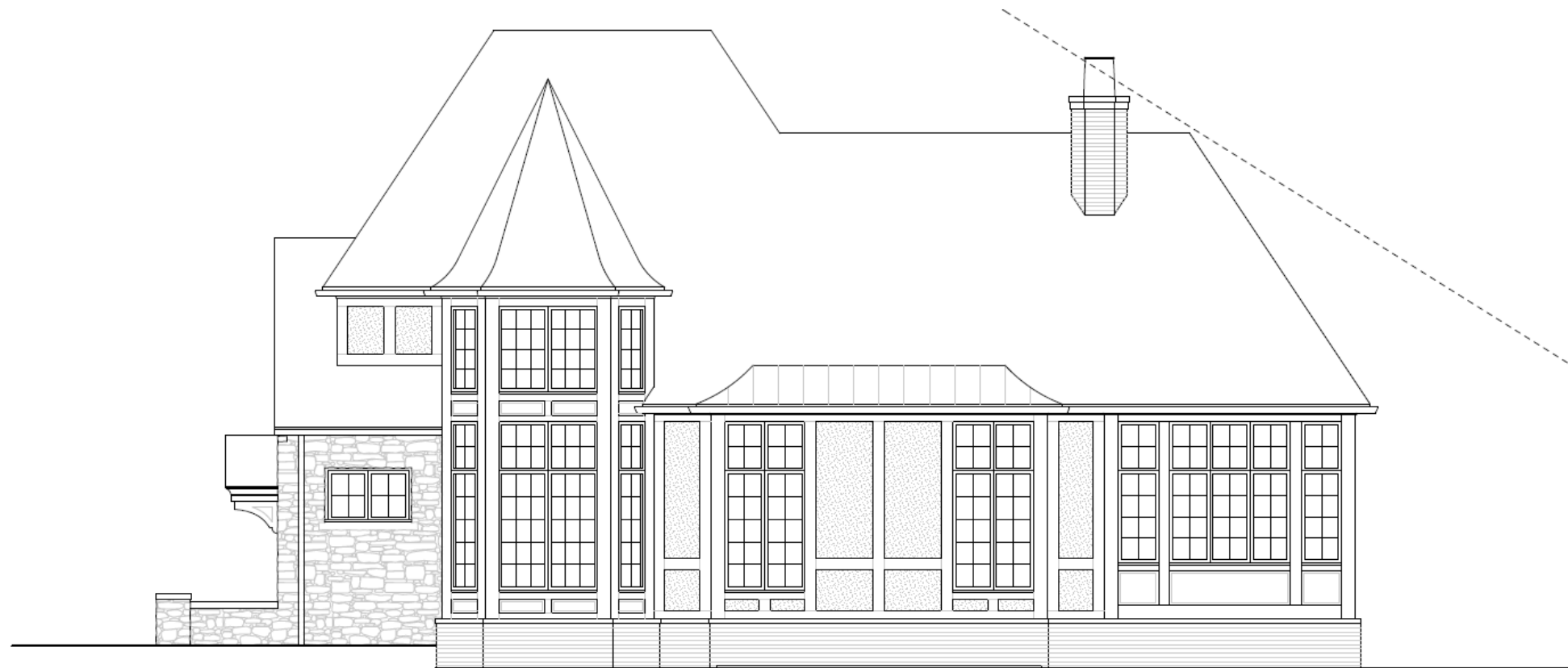
UPPER ARLINGTON, OHIO



STOCK & STONE

ARCHITECTS • LLC

3686 North High Street Columbus, Ohio 43214 614-261-5810



PROPOSED SOUTH ELEVATION
SCALE 1/4"=1'-0"



EXISTING NORTH ELEVATION



PROPOSED NORTH ELEVATION

2430 KENSINGTON DRIVE

UPPER ARLINGTON, OHIO



STOCK & STONE

ARCHITECTS • LLC

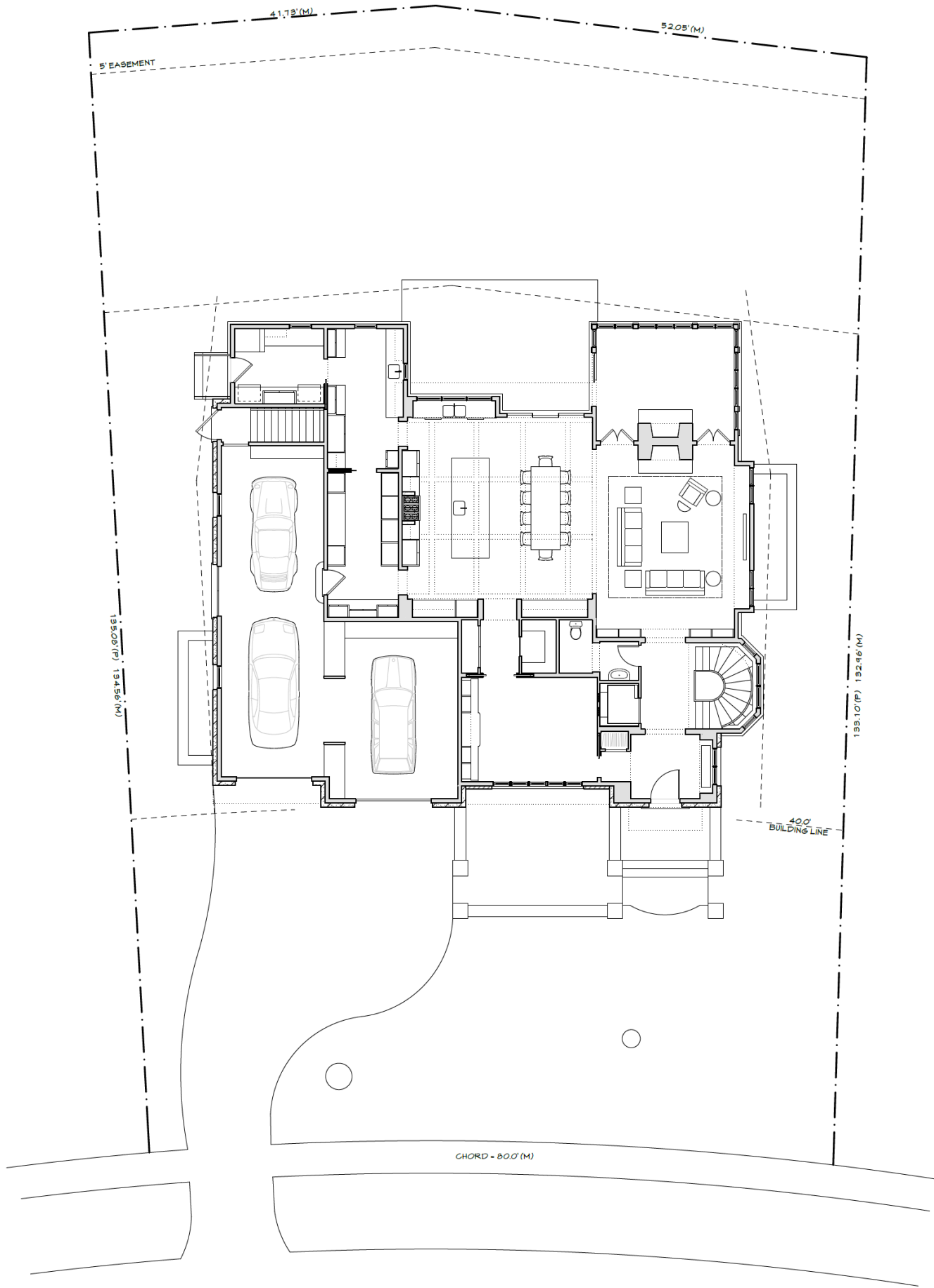
3686 North High Street Columbus, Ohio 43214 614-261-5810



EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION



KENSINGTON DRIVE

2430 KENSINGTON DRIVE

UPPER ARLINGTON, OHIO



STOCK & STONE

ARCHITECTS • LLC

3686 North High Street Columbus, Ohio 43214 614-261-5810

LOT AREA = 11,803.0 SQ. FT.

PRINCIPLE BUILDING REQUIREMENTS	PERMITTED	PROPOSED
DEVELOPMENT COVER PERMITTED	5,311.4 SQ. FT. (45.0%)	4,853.4 SQ. FT. (41.1%)
BUILDING COVER PERMITTED	3,422.9 SQ. FT. (29.0%)	3,422.5 SQ. FT. (28.9%)
PERMITTED HEIGHT	35.0 FT.	32.7 FT.
MAX. NUMBER OF STORIES	2.5	2.0
FRONT YARD DEPTH	40.0 FT.	40.0 FT.
MIN. REAR YARD	33.1 FT.	33.1 FT.
MIN. SIDE YARD	10.0 FT.	10.0 FT.
MIN. SIDE YARD SUM	20.0 FT.	20.0 FT.



M A T R K A
G R O U P

Projected increase in material cost over the next 12 months

Window increase 4%

Slate increase 40%

Copper increase 30%

Stone 10% (north shore, blue stone)

Delaying construction start by 6 months would add six figures to construction budget.

Authors: Justin Milam, AICP, Senior Planner

BZAP Meeting Date: August 5, 2026

Subject: 2314 Edington Road (#26-3405) - Informal review of a proposed new home that does not meet neighborhood compatibility requirements.

Overview

In early December 2025, the applicant contacted Staff regarding general zoning and detached garage requirements for the subject property, 2314 Edington Road. No proposed improvements were discussed or shared with Staff at that time. The following month, the applicant contacted Staff regarding a proposed front porch, followed by inquiries about a proposed detached garage. Shortly after, the applicant submitted a preliminary new home design for Staff's review.

At 33'-6" tall, the proposed two-story home violated the City's neighborhood compatibility ordinance and Policy for both height and design, which have been in effect since August 2022. The applicant was unfortunately unaware of these standards and questioned if they were codified. Staff initially advised the applicant that the permitted maximum height was around 26 feet; after further investigation and a more in-depth field study of the neighborhood, this maximum height increased to 27'-3" feet. The applicant was also notified that a third-party architect would review the revised home design. A revised design was recently submitted, which essentially lowered the roof to reach the currently proposed 28'-7" height.

The City's third-party architect reviewed the proposed elevations, shared the City's concerns with the height and design, and offered requirements to improve them (see attached). Staff strongly believes that these changes, along with the necessary height reduction, would eliminate the need for a neighborhood compatibility variance and allow it to better blend into the character of the street.

The applicant will be present to seek feedback from the Board regarding potential variance requests. They noted that further height reductions are not feasible due to mechanical equipment housed in the attic. No plan revisions have been submitted since the third-party architect's comments were provided on July 29. Should the applicant decide to pursue a variance, the application submittal deadline for the September 16 meeting is August 19.



Zoning Code Requirements

- To allow the construction of a new single-family residence that does not meet residential design compatibility standards ([Article 7.17](#)).

Unified Development Ordinance (UDO) Article 7.17 applies to the "design of new single-family homes" and requires that "The proposal shall be consistent and compatible with the noticeable and recognizable characteristics of the homes and lots on the street segment. Such characteristics include lot width and size, architectural style and materials, heights and massing, front yard setbacks, roof pitch and shape, garage location, amount of impervious surface, and other defining features of the street segment." It adds: "The Policy for Neighborhood Compatibility shall be used to determine compliance."

This application fails to follow the following sections of the [Policy](#):

- 4.2: Building height shall not exceed more than 150 percent of the street segment median, which includes both sides of the street between two intersecting streets. The five most adjacent homes to the rear (example: one home to the rear and then the two homes to each side of it) are to be included in this calculation.
- 4.5: Building footprints exceeding 2,000 square feet and/or within 10 percent of the maximum building cover limit for the zoning district shall implement massing-reducing measures, including but not limited to, detailed roof forms, projecting or recessed elements, lower roof eaves, and appropriate material changes.

Building height:

Based on the homes on the street segment and the five behind, the building height limit for this property is 27.2 feet, or 27'-3". This figure is based on 150 percent of the median height of existing, recent, and under-construction homes. [Height is taken from a variety of reliable sources and is measured from grade to peak.] The home's height could increase to 31'-8", or 175 percent of the street segment median, if certain conditions are met; those conditions would not be met here.

- 2364 Edington Road is under construction, 27'-4" height
- 2355 Farleigh Road (behind, to the north), 26'-3" height

Building design:

Because the footprint exceeds 2,000 square feet, mass-reducing measures are required to better blend the home into the neighborhood and street segment. This especially applies to proposed two-story homes in predominantly ranch neighborhoods. While the proposed architectural style fits the neighborhood context, its overall scale and massing must be reduced. Staff fully supports the recommendations from the City's third-party architect to achieve this.

Note:

The proposed detached garage [to store a golf cart] is more of a storage shed. This label



should be revised, and its height should not exceed 10 feet; otherwise, a driveway would be required.

Attachments

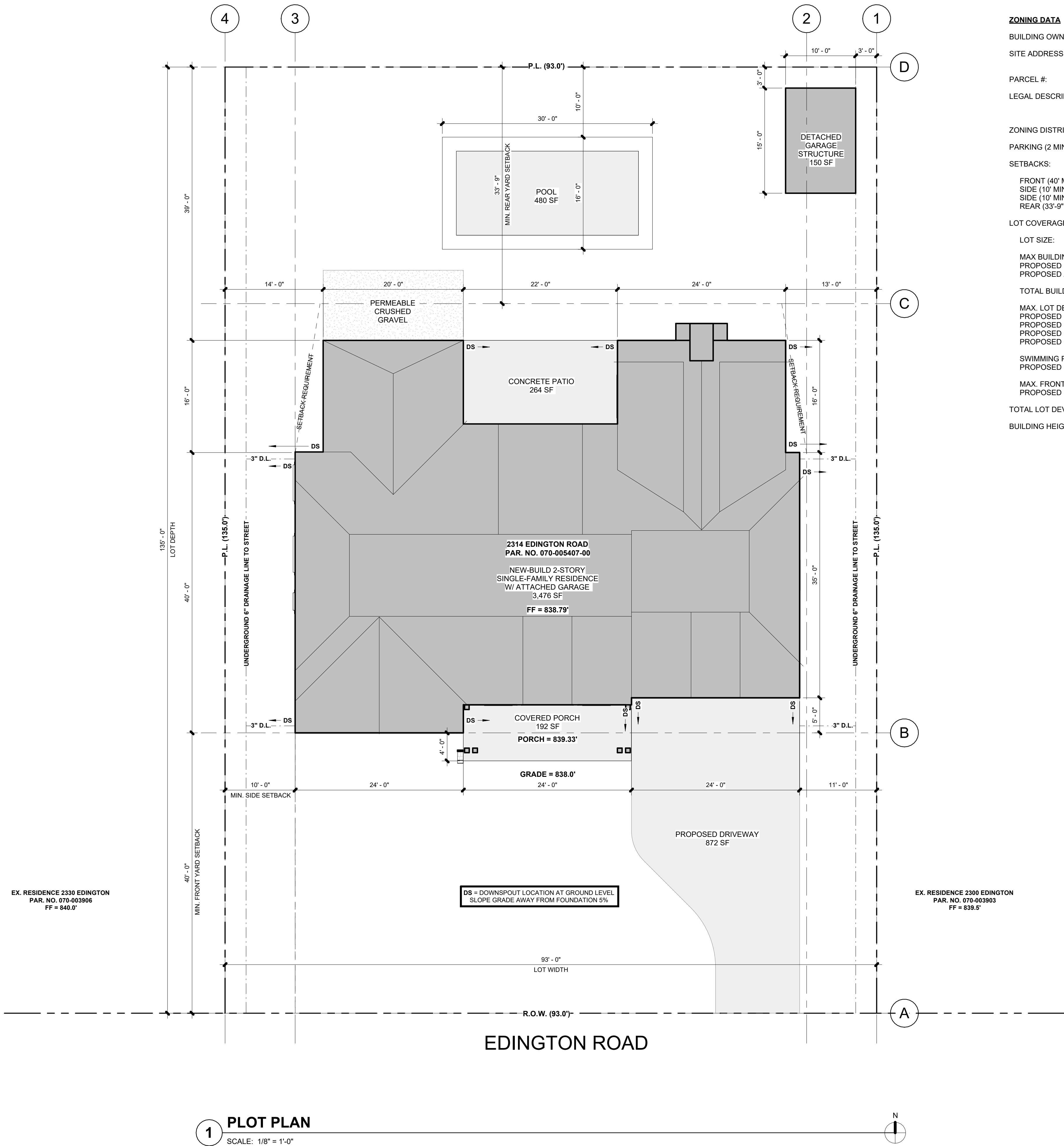
1.	2314 Edington Rd_Narrative
2.	2314 Edington Rd_Proposed Plans
3.	2341 Edington Rd_City architect review



Mangum Residence Narrative

The applicant requests a traditionally proportioned 1½-story single-family residence that modestly exceeds the maximum building height established by the Neighborhood Compatibility Policy.

- Requesting approximately 1 foot of additional height.
- Adjacent home is approximately 29' tall.
- Subject block is not uniform in height.
- Homes in the study range from 15' to 44'.
- Lower homes behind the property skew the median calculation.
- Additional height to accommodate structural and mechanical systems.



ZONING DATA	
BUILDING OWNER:	ROBERT & KRISTEN MANGUM
SITE ADDRESS:	2314 EDINGTON ROAD COLUMBUS, OH 43221
PARCEL #:	070-005407-00
LEGAL DESCRIPTION:	EDINGTON RD L5 & 30 FT WSL 4 MOUNTVIEW PL 4-6 BLK 216
ZONING DISTRICT:	R-1C RESIDENTIAL
PARKING (2 MIN):	2
SETBACKS:	
FRONT (40' MIN):	40'
SIDE (10' MIN.):	10' AT WEST
SIDE (10' MIN.):	11' AT EAST
REAR (33'-9" MIN.):	39'
LOT COVERAGE:	
LOT SIZE:	0.29 ACRES (12,555 SF)
MAX BUILDING COVERAGE (29%):	3,641 SF MAX
PROPOSED BUILDING COVERAGE:	3,476 SF
PROPOSED ACCESSORY STRUCTURE:	150 SF
TOTAL BUILDING COVERAGE:	3,626 SF (28.9%)
MAX. LOT DEVELOPMENT (45%):	5,591 SF MAX
PROPOSED BUILDING COVERAGE:	3,626 SF
PROPOSED DRIVEWAY:	872 SF
PROPOSED COVERED PORCH:	192 SF
PROPOSED CONCRETE PATIO:	264 SF
SWIMMING POOL (5%):	628 SF MAX
PROPOSED SWIMMING POOL:	480 SF
MAX. FRONT YARD DEVELOPMENT (25%):	930 SF MAX
PROPOSED FRONT YARD COVERAGE:	824 SF
TOTAL LOT DEVELOPMENT:	5,434 SF (43%)
BUILDING HEIGHT (27.2' MAX):	28.2' PROPOSED

GREG DUTTON
STUDIO

Client
ED & KRISTEN MANGUM

2314 EDINGTON ROAD
COLUMBUS, OH 43221

Architect

DUTTON STUDIO, LLC

51 W LONG STREET
COLUMBUS, OH 43215
T. 614.706.7947

Engineer

Professional seal

PRELIMINARY

**NOT FOR
CONSTRUCTION**

PROJECT TITLE:

Mangum Residence

2314 EDINGTON ROAD, COLUMBUS, OH 43221

Issues

Revisions

PROJECT NO:

26.001

PROJECT PHASE:

**CONSTRUCTION
DOCUMENTATION**

SHEET TITLE:

SITE PLAN

SHEET NO:

A0.1

CONSTRUCTION NOTES	
NO.	NOTE

GREG DUTTON
STUDIO

Client
ED & KRISTEN MANGUM

2314 EDINGTON ROAD
COLUMBUS, OH 43221

Architect

DUTTON STUDIO, LLC

51 W LONG STREET
COLUMBUS, OH 43215
T. 614.706.7947

Engineer

Professional seal

PRELIMINARY

NOT FOR
CONSTRUCTION

PROJECT TITLE:

Mangum Residence

2314 EDINGTON ROAD, COLUMBUS, OH 43221

Issues

Revisions

PROJECT NO:

26.001

PROJECT PHASE:

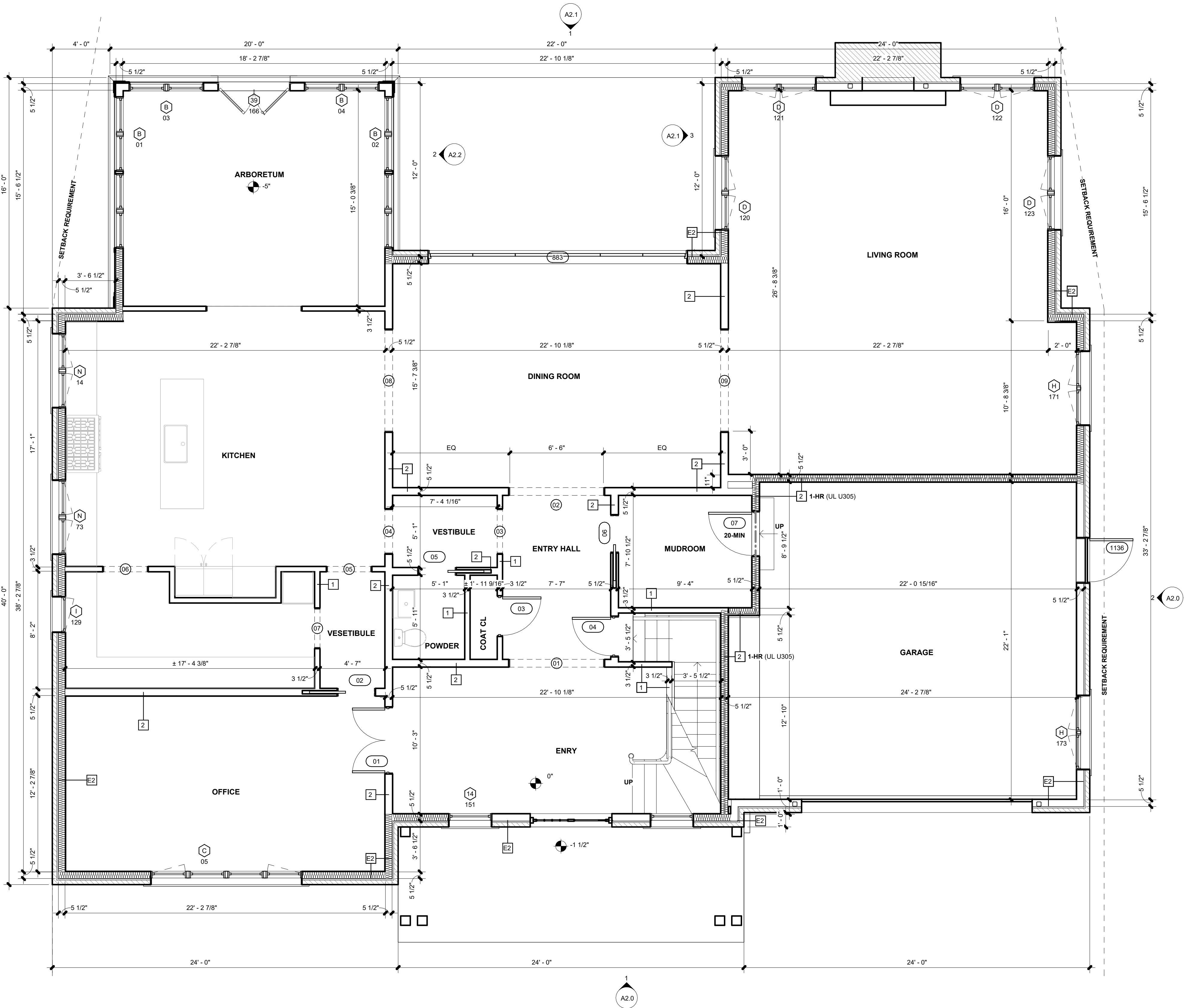
**CONSTRUCTION
DOCUMENTATION**

SHEET TITLE:

**CONSTRUCTION PLAN -
FIRST FLOOR**

SHEET NO:

A1.1



1 FIRST FLOOR CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"

3 WALL TYPES

SCALE: 1" = 1'-0"

- E1** EXTERIOR WALL
- EXTERIOR (AT FOUNDATION) (2) LAYERS WATER RESISTANT BARRIER
14" CONCRETE; SEE STRUCTURAL FOUNDATION PLAN FOR REINFORCEMENT
1"-2" U.O.N.
INTERIOR (SEE INTERIOR WALL TYPES)
- E2** EXTERIOR WALL
- EXTERIOR
BRICK, RUNNING BOND, U.O.N.; PAINTED
1" BRICK TIES SPACED 16" O.C. HORZ. AND VERT.
1" MIN. AIRSPACE
7/16" PLYWOOD SHEATHING WITH TYVEK MOISTURE BARRIER
2X6 STUD WALL @ 16" O.C.
R-19 BATT INSULATION
1/2" GYP. WALL BOARD
1/2" MR GYP. WALL BOARD AT WET LOCATIONS
INTERIOR
- 1** INTERIOR WALL
- INTERIOR
2X4 STUD WALL @ 16" O.C.; V.I.F.
1/2" GYP. WALL BOARD, EACH SIDE
1/2" MRGWB AT WET LOCATIONS
THERMAL BATT INSULATION WHERE INDICATED
INTERIOR
- 2** INTERIOR WALL
- BEARING WALL WHERE INDICATED
INTERIOR
2X6 STUD WALL @ 16" O.C.; V.I.F.
THERMAL BATT INSULATION WHERE INDICATED
1/2" GYP. WALL BOARD, EACH SIDE
1/2" MRGWB AT WET LOCATIONS
INTERIOR
- 3** INTERIOR FURRED WALL
- INTERIOR
2X4 STUD WALL @ 16" O.C.; V.I.F.
1/2" GYP. WALL BOARD
1/2" MR GYP. WALL BOARD AT WET LOCATIONS
THERMAL BATT INSULATION WHERE INDICATED
INTERIOR
- 4** INTERIOR FURRED WALL
- INTERIOR
2X4 STUD WALL @ 16" O.C.; V.I.F.
1/2" GYP. WALL BOARD
THERMAL BATT INSULATION WHERE INDICATED
1" AIRSPACE
INTERIOR
- 5** INTERIOR WALL
- 1-HR (UL U305)
INTERIOR
2X6 STUD WALL @ 16" O.C.; V.I.F.
THERMAL BATT INSULATION WHERE INDICATED
5/8" TYPE X" GYP. WALL BOARD, EACH SIDE
INTERIOR

CONSTRUCTION NOTES	
NO.	NOTE

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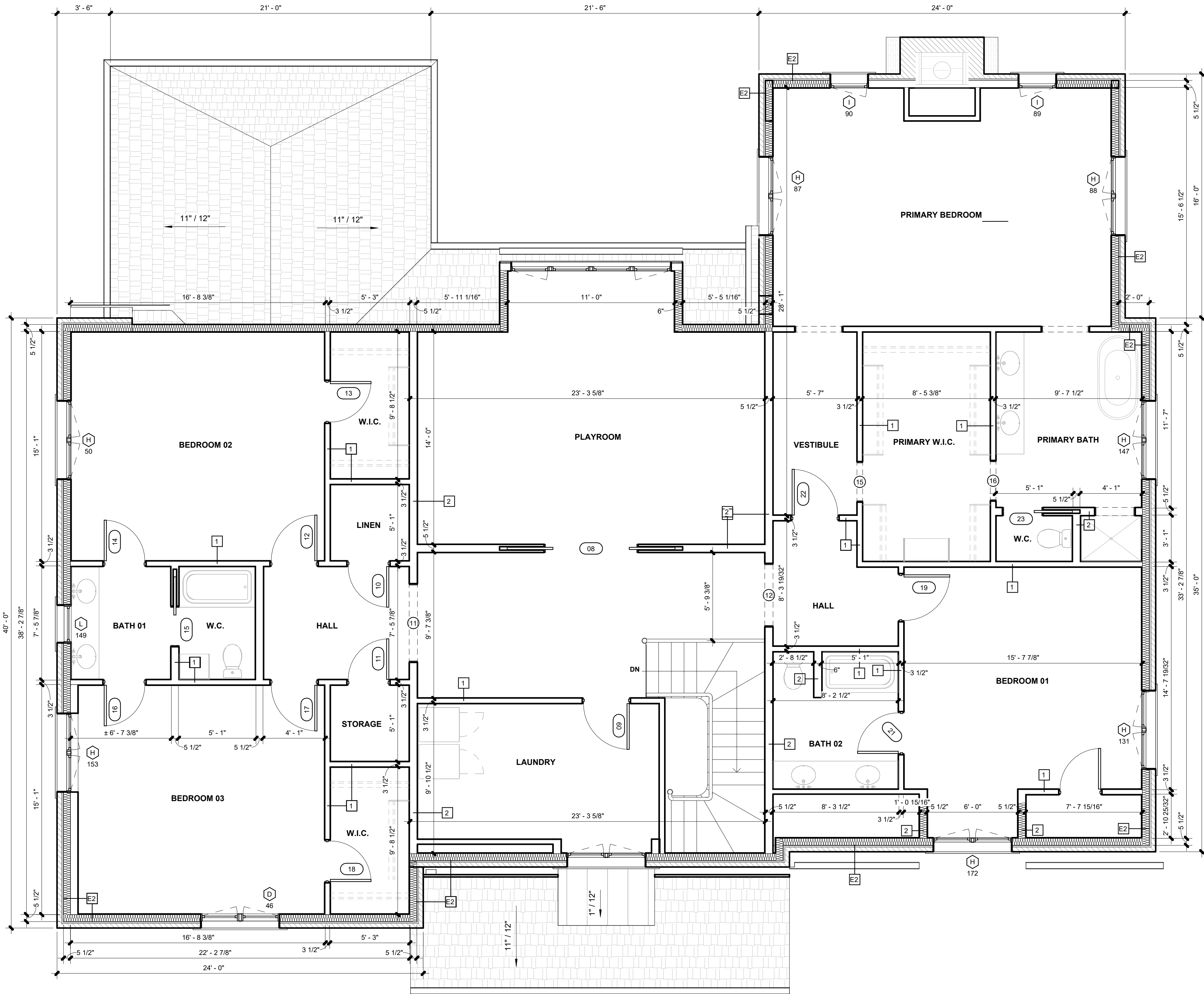
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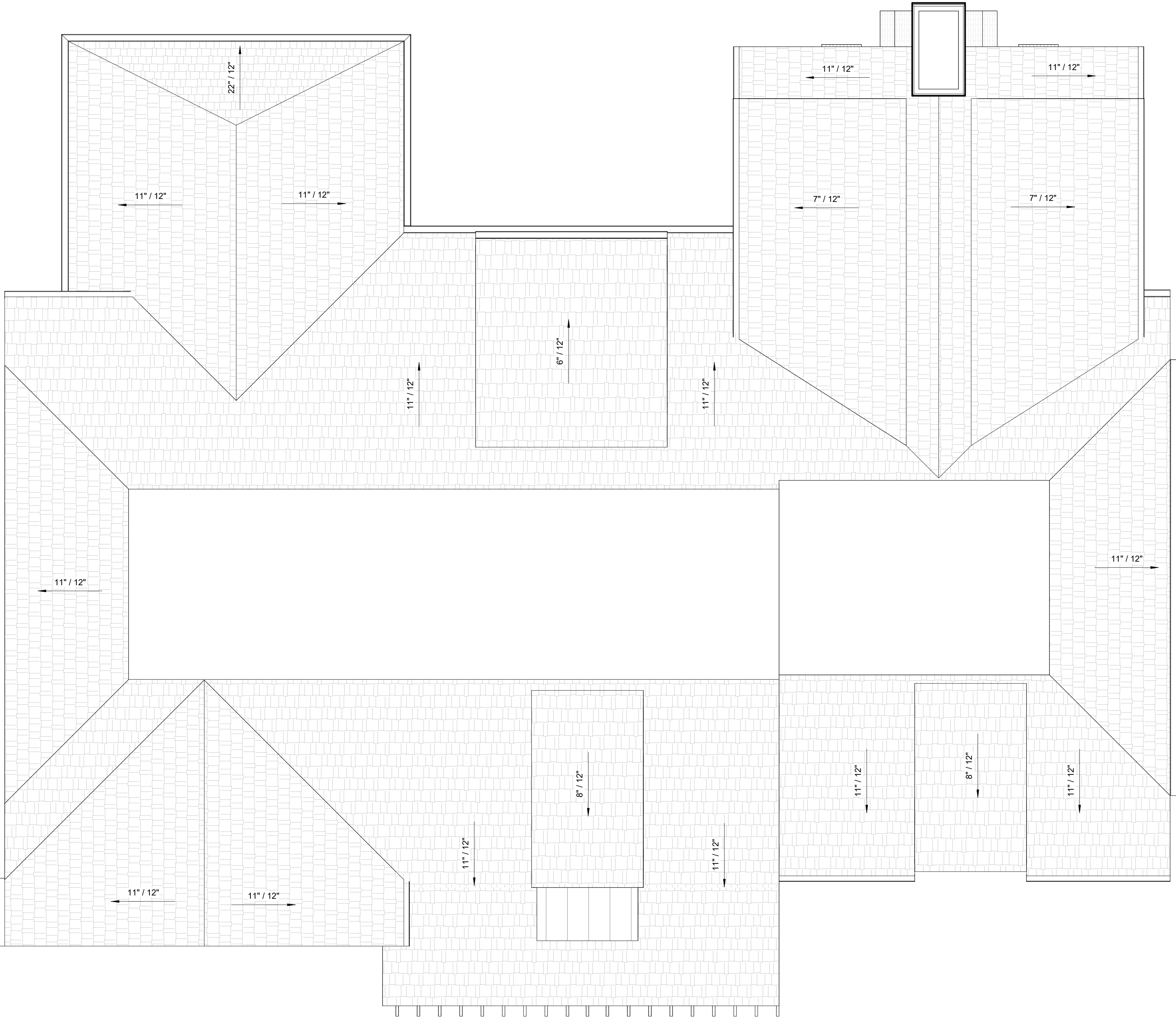
**CONSTRUCTION PLAN -
SECOND FLOOR**

SHEET NO:

A1.2



1 SECOND FLOOR CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"



1 ROOF CONSTRUCTION PLAN

SCALE: 1/4" = 1'-0"

CONSTRUCTION NOTES	
NO.	NOTE

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**CONSTRUCTION
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SHEET TITLE:

**CONSTRUCTION PLAN -
ROOF**

SHEET NO:

A1.3



2 EXTERIOR ELEVATION - EAST FACING

SCALE: 1/4" = 1'-0"



1 EXTERIOR ELEVATION - SOUTH FACING

SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES	
NO.	NOTE

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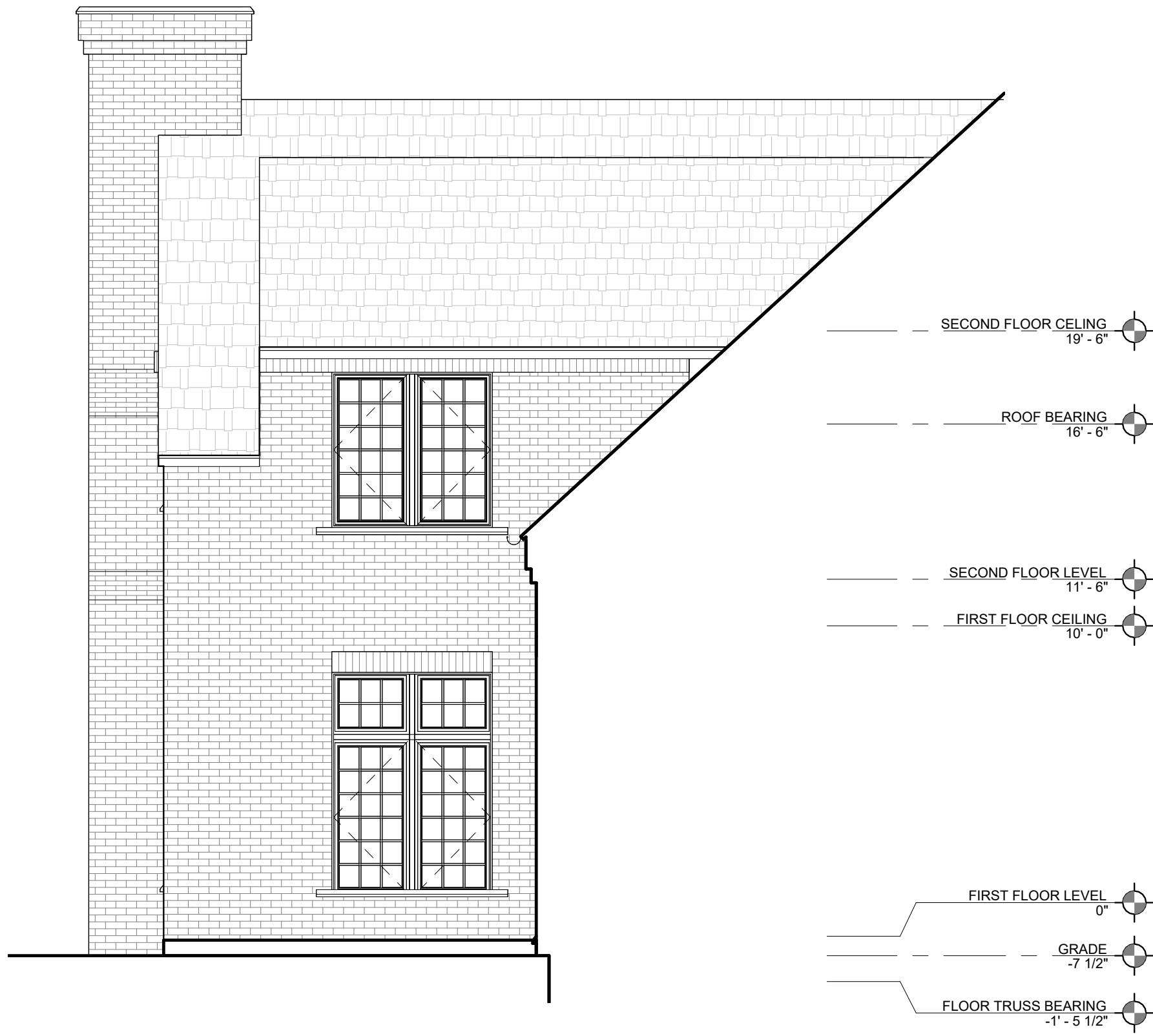
SHEET TITLE:

EXTERIOR ELEVATIONS

SHEET NO:

A2.0

EXTERIOR ELEVATION NOTES	
NO.	NOTE



3 COURTYARD - WEST FACING
SCALE: 1/4" = 1'-0"



1 EXTERIOR ELEVATION - NORTH FACING
SCALE: 1/4" = 1'-0"

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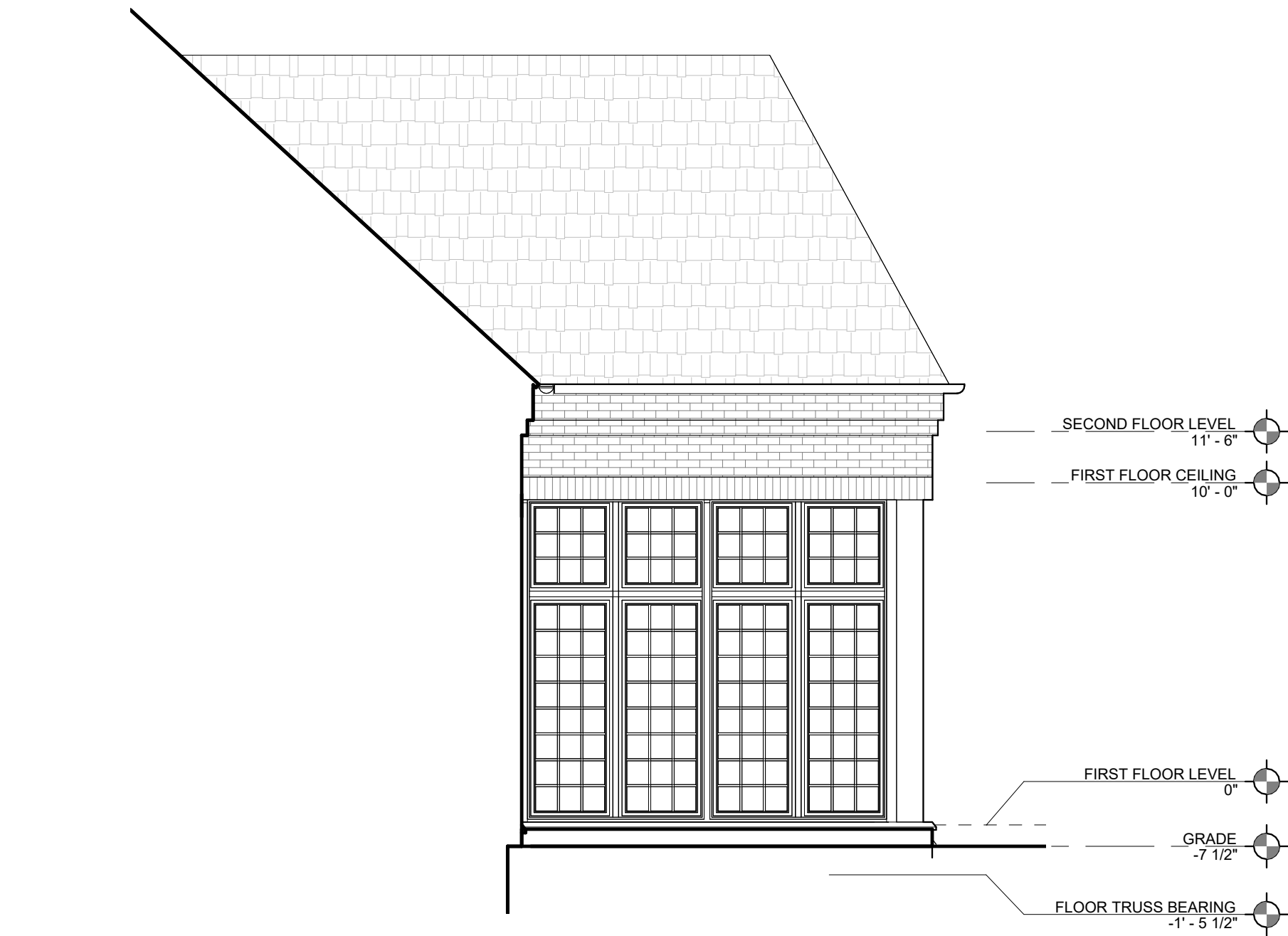
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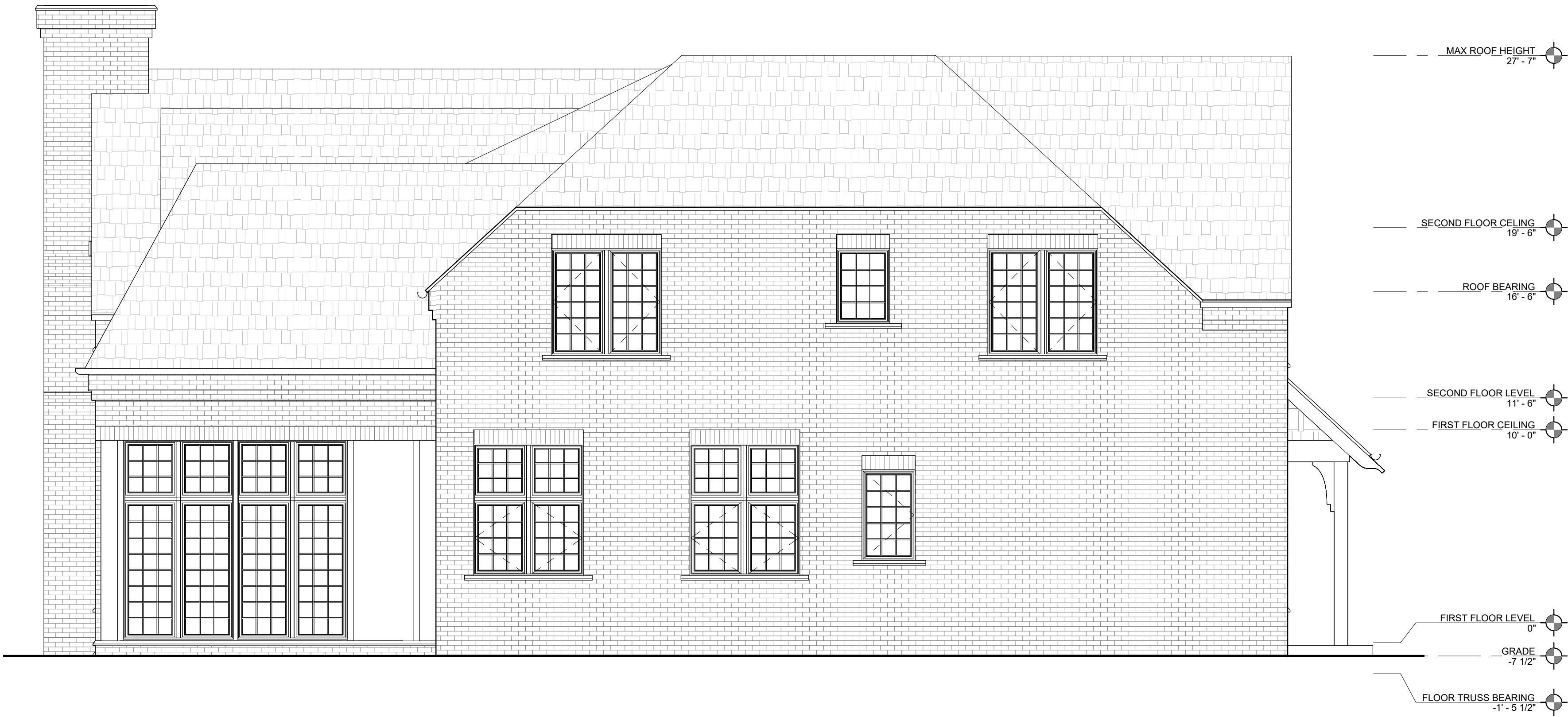
SHEET NO:

A2.1

EXTERIOR ELEVATION NOTES	
NO.	NOTE



2 COURTYARD - EAST FACING
SCALE: 1/4" = 1'-0"



1 EXTERIOR ELEVATION - WEST FACING
SCALE: 1/4" = 1'-0"



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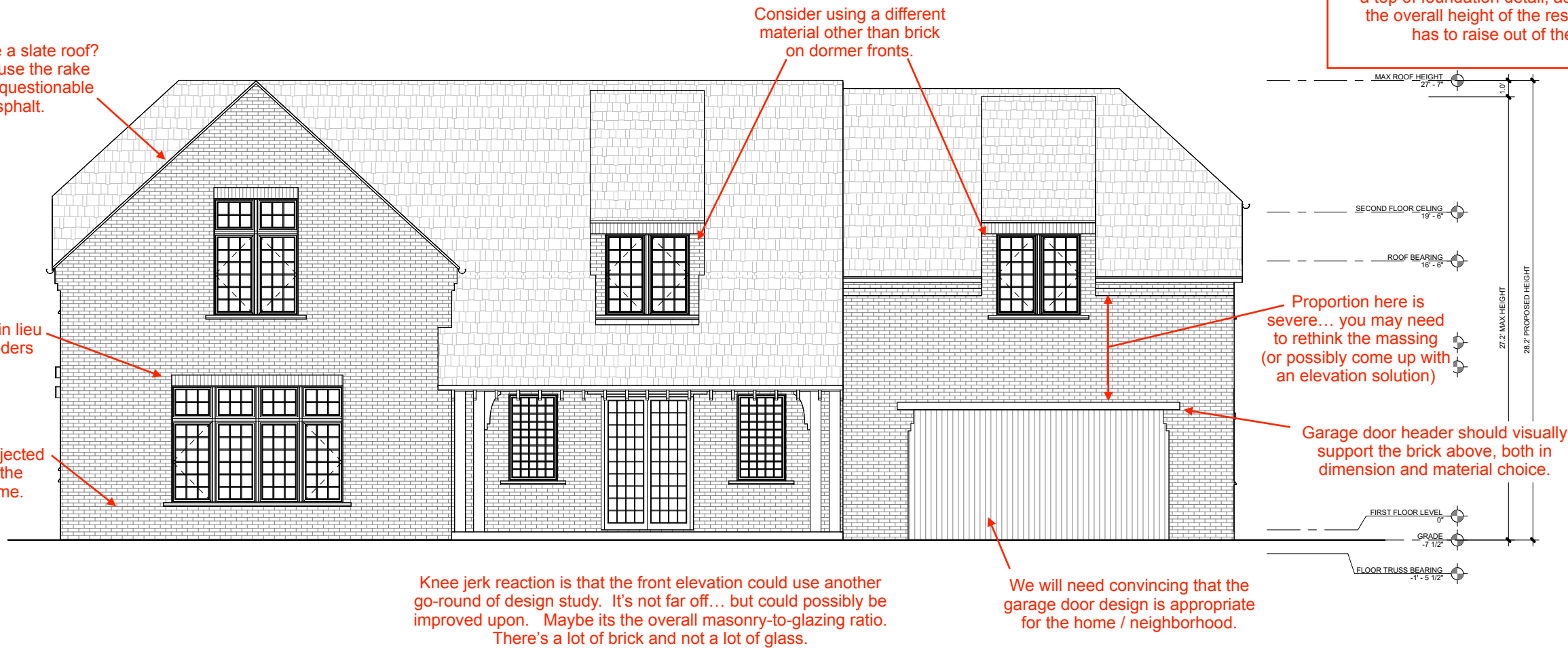
A2.2



2 EXTERIOR ELEVATION - EAST FACING
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES	
NO.	NOTE

IMPORTANT:
2019 RCOH 404.1.6 requires top of concrete foundation to be min. 4" higher than finished grade when mason veneer is used. We recommend consulting with your structural engineer to determine a top of foundation detail, as this could affect the overall height of the residence (if house has to raise out of the ground).



1 EXTERIOR ELEVATION - SOUTH FACING
SCALE: 1/4" = 1'-0"

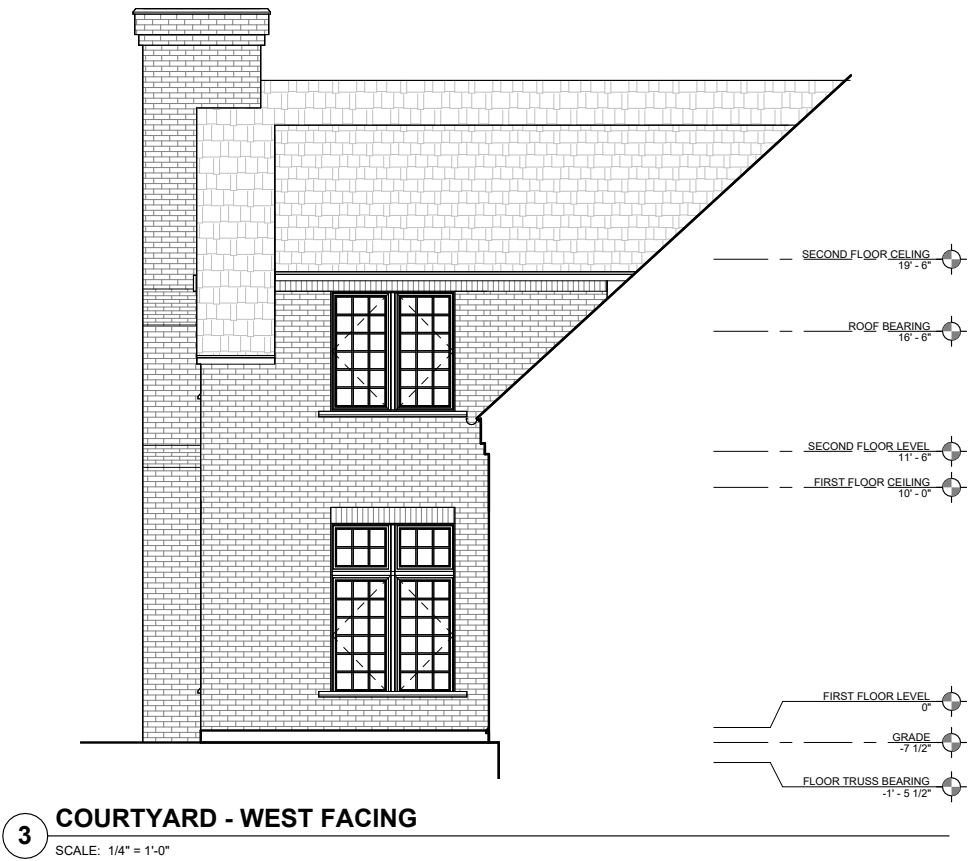


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EXTERIOR ELEVATION NOTES	
NO.	NOTE



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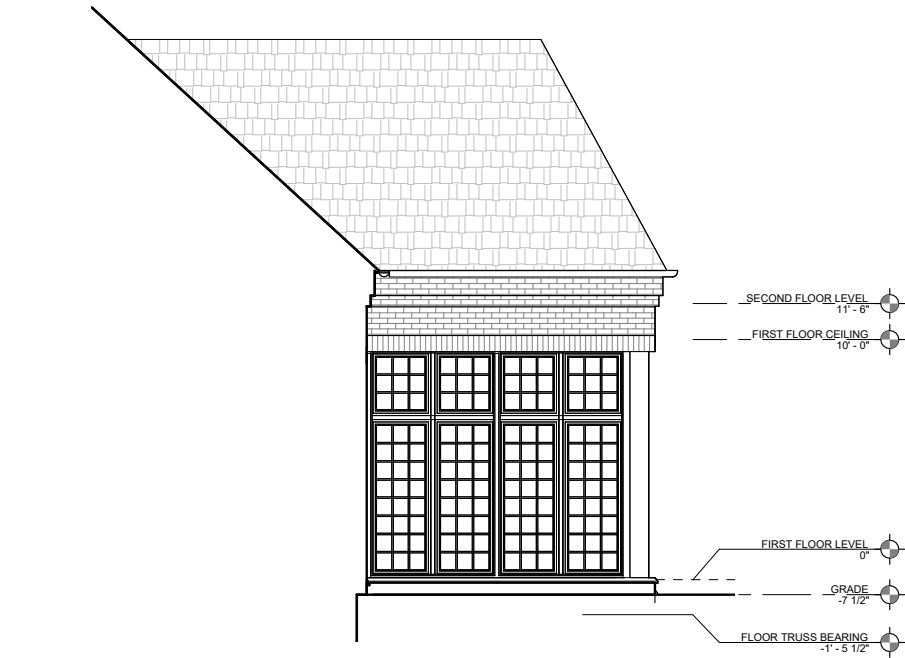
EXTERIOR ELEVATIONS

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EXTERIOR ELEVATION NOTES	
NO.	NOTE



2 COURTYARD - EAST FACING
SCALE: 1/4" = 1'-0"



1 EXTERIOR ELEVATION - WEST FACING
SCALE: 1/4" = 1'-0"

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EXTERIOR ELEVATIONS

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