

2/4/2026 | 6:00 PM

**Municipal Services Center, Council Chamber
3600 Tremont Road**

1. Call to Order/Roll Call

2. Unfinished Business

- a. 2490 Wickliffe Road (VAR-10-26) - To allow the construction of a new single-family residence that does not meet residential design standards. [Postponed from January 21, 2026 BZAP hearing.]
- b. 1694 Essex Road (VAR-12-26) - To allow a two-story addition and garage which results in two variances: a 7.34 inch encroachment into the side yard longwall setback where an 11.34-inch setback is required, and projects into the rear yard profile. [Postponed from January 21, 2026 BZAP hearing.]

3. Current Projects

- a. 2728 Swansea Road (#26-69) - Confirmation that a new home with an attached garage is acceptable along this segment of Swansea Road per the residential design standards.

4. Preliminary Reviews

- a. The Wellington School, 3650 Reed Road (#26-302) - Informal review of proposed future improvements to the Upper School and Lower School areas.
- b. 2641 Alliston Court (#26-337) - Informal review of a two-story accessory dwelling unit (ADU) for family members.

5. Adjournment

Authors: Justin Milam, AICP, Senior Planner

BZAP Meeting Date: February 4, 2026

Subject: 2490 Wickliffe Road (VAR-10-26) - To allow the construction of a new single-family residence that does not meet residential design standards. [Postponed from January 21, 2026 BZAP hearing.]

Overview

At the January 21, 2026 BZAP hearing, the Board postponed consideration of the proposed 1.5-story single-family residence, which required variances to the residential design standards. The Board appeared to be generally supportive of the proposed design, including the proposed exterior materials, but recommended several modifications:

1. Revise the front porch so that the roof is above the first floor level, similar to a previous design;
2. Examine the placement and types of windows used on all elevations so that they coordinate; and
3. Expand the proposed landscaping plan to the front yard.

The Board felt the front porch revision would help improve the massing and accessibility of the home, and agreed with Staff that the window package needed closer study. They were accepting of the proposed landscape plan, which helps mitigate the proposed depth of the home, but wanted to see it expanded to the front yard. They also felt the proposed exterior materials were prudent for the design and were used elsewhere on the street segment. There were limited concerns about its proposed depth and garage orientation.

Zoning Code Requirements

- To allow the construction of a new single-family residence that does not meet residential design compatibility standards (Article 7.17).

Unified Development Ordinance (UDO) Article 7.17 applies to the "design of new single-family homes" and requires that "The proposal shall be consistent and compatible with the noticeable and recognizable characteristics of the homes and lots on the street segment. Such characteristics include lot width and size, architectural style and materials, heights and massing, front yard setbacks, roof pitch and shape, garage location, amount of impervious surface, and other defining features of the street segment." It adds: "The Policy for Neighborhood Compatibility shall be used to determine compliance." After revisions per the Board's direction, which eliminated two of the three previous items of concern, this application



only fails to meet the height section of the code and Policy:

~~4.1: New homes shall be consistent with the architectural style and era in which the street segment was built.~~

4.2: Building height shall not exceed more than 150 percent of the street segment median, which includes both sides of the street between two intersecting streets. The five most adjacent homes to the rear (example: one home to the rear and then the two homes to each side of it) are to be included in this calculation.

~~4.4: Exterior Materials: Exterior materials are to be consistent with the architectural style of the home and with others on the street segment.~~

[The City's third-party architect has approved the revised plan based on the Board's feedback from the recent hearing and continues to support the additional height (see original staff report). The proposed height is at the 28-foot height limit for the River Ridge. Based on the policy, a variance would not be needed if the home's depth were four feet shorter. The applicant has explored ways to eliminate this request, but has been unable to identify space to remove. A variance would also not be needed if the height of the home were reduced by 2'-6". This additional height was required by the third-party architect in order to get a steeper roof pitch to blend with the existing street segment.]

Should the Board offer a motion on this request, Staff would recommend that Finding #3 (minimum necessary) and #4 (essential character) be considered.

Attachments

| | |
|----|--|
| 1. | 2490 Wickliffe Rd Revised Staff Presentation |
| 2. | 2490 Wickliffe Rd Revised Plans |



2490 Wickliffe Road

BZAP Work Session Staff Report Pictures
Variance Application 10-26
February 4, 2026



Google Maps ® Aerial Photo

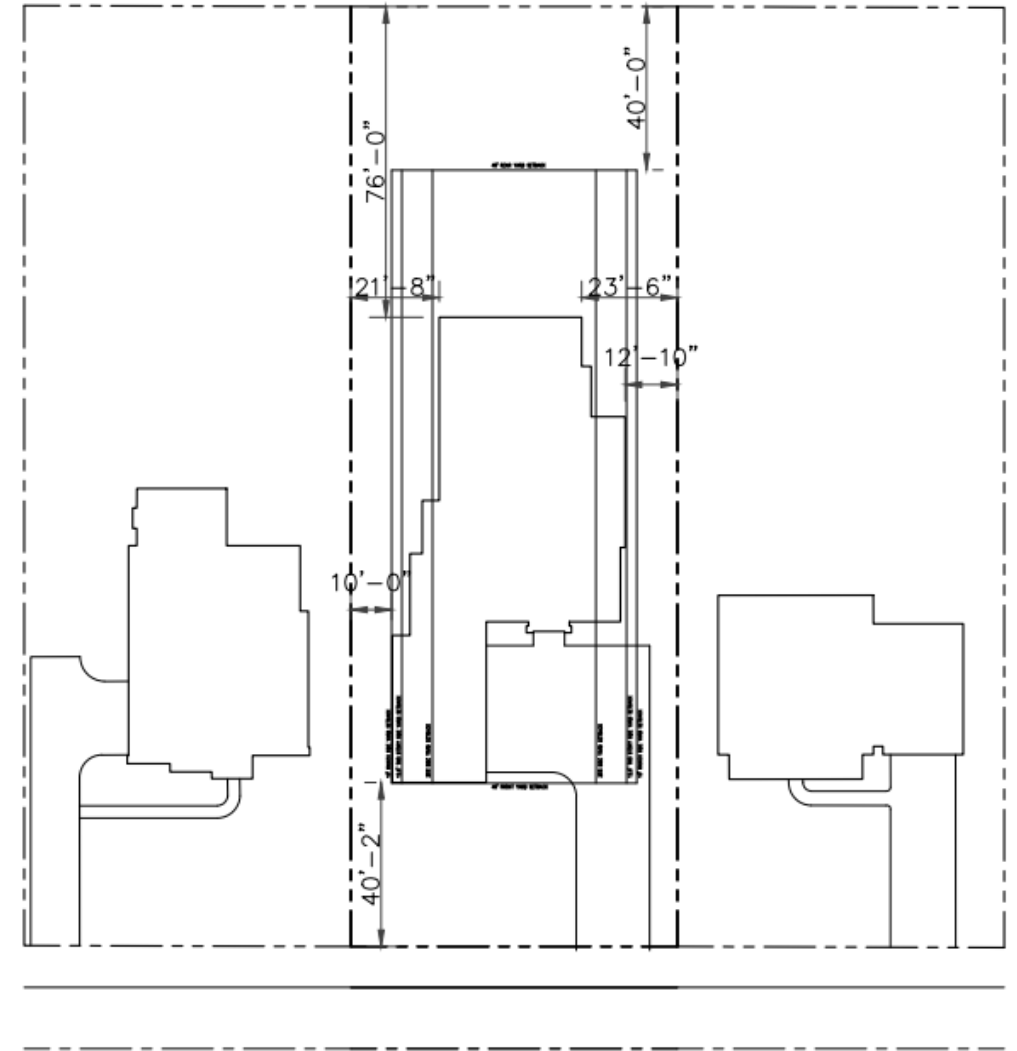


Existing Site Conditions



Proposed Site Plan

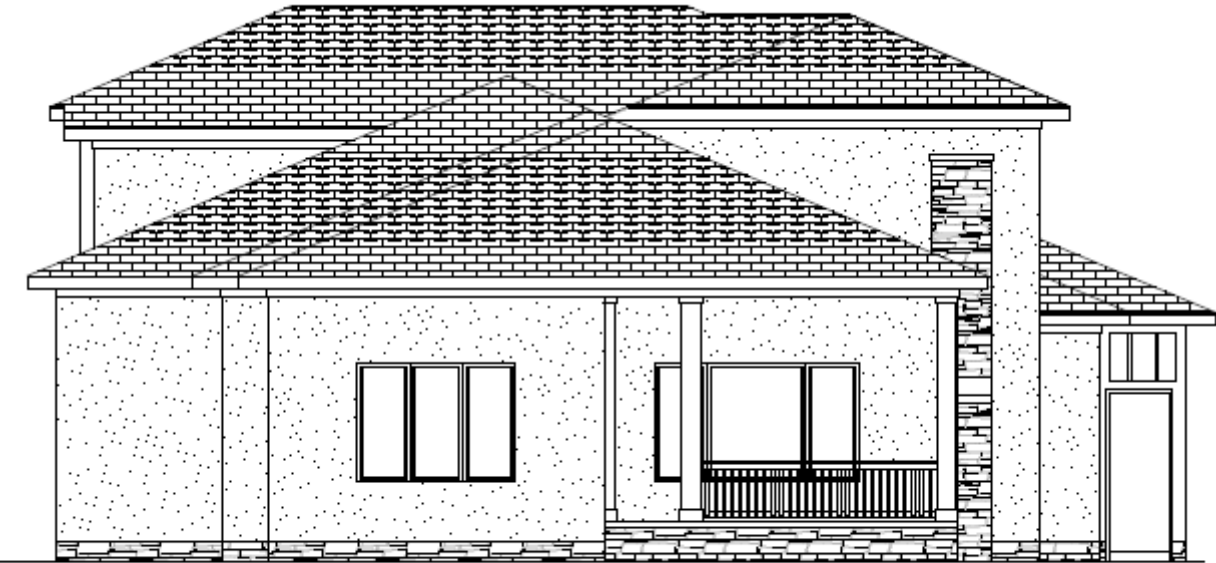
- Proposed improvement:
 - The construction of a new 1.5-story single-family residence with an attached garage on an existing vacant parcel.
- Variance:
 - To allow the construction of a new single-family residence that does not meet residential design standards.



Elevations



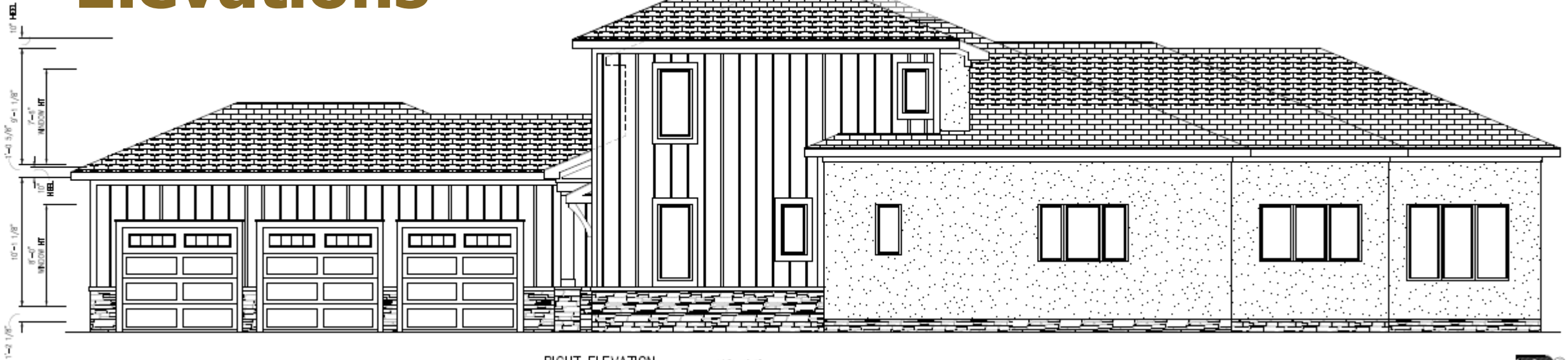
FRONT ELEVATION $1/8" = 1'-0"$
- ALL TIM IS WOOD (HARD AND SMARTIE)



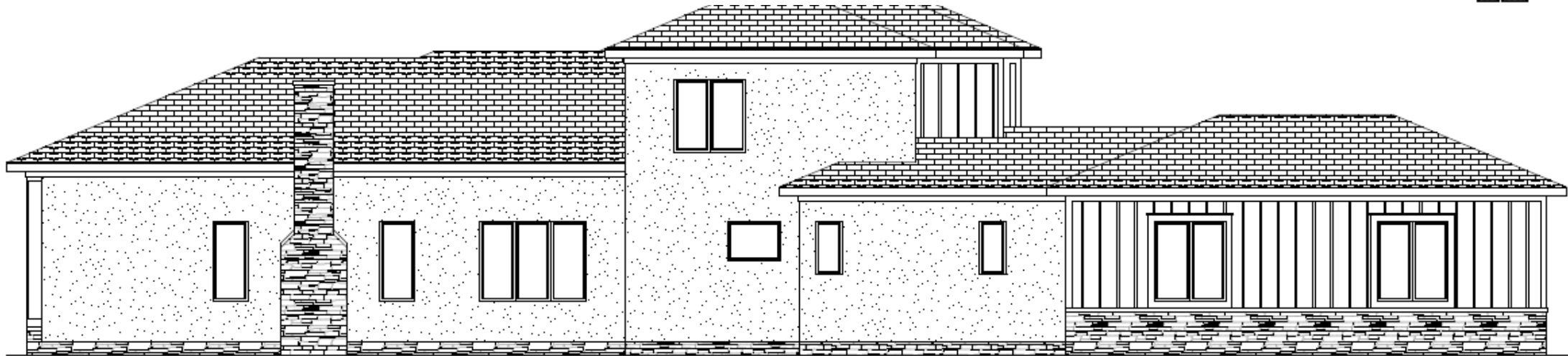
REAR ELEVATION $1/8" = 1'-0"$
- ALL TIM IS WOOD (HARD AND SMARTIE)



Elevations



RIGHT ELEVATION $1/4" = 1'-0"$
- ALL TRIM IS WOOD (HARD AND SMARTLINE)



LEFT ELEVATION $1/4" = 1'-0"$
- ALL TRIM IS WOOD (HARD AND SMARTLINE)

Rendering



Requested Variance

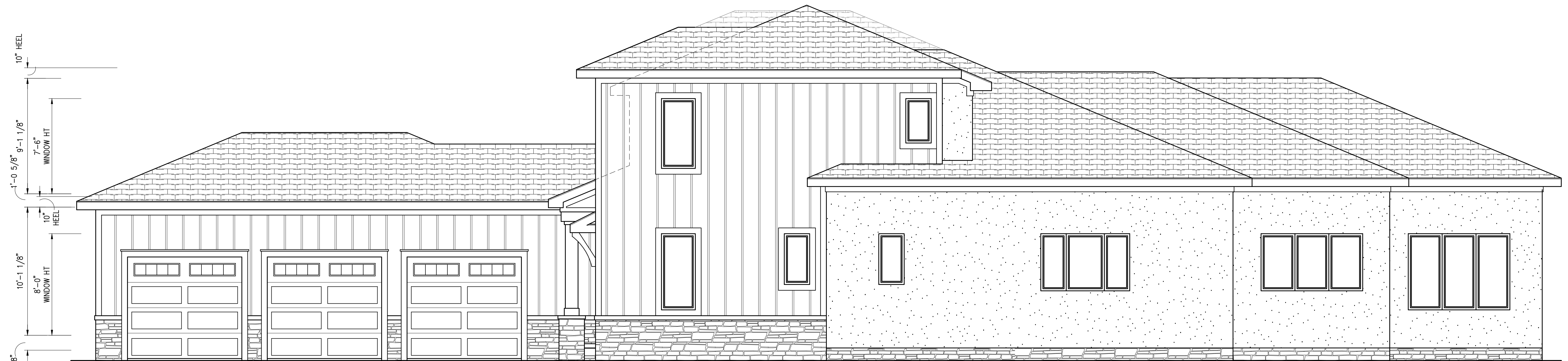
- To allow the construction of a new single-family residence that does not meet residential design compatibility standards (Article 7.17).







FRONT ELEVATION $1/4" = 1'-0"$
 - ALL TRIM IS WOOD (HARDI AND SMARTSIDE)



RIGHT ELEVATION $1/4" = 1'-0"$
 - ALL TRIM IS WOOD (HARDI AND SMARTSIDE)

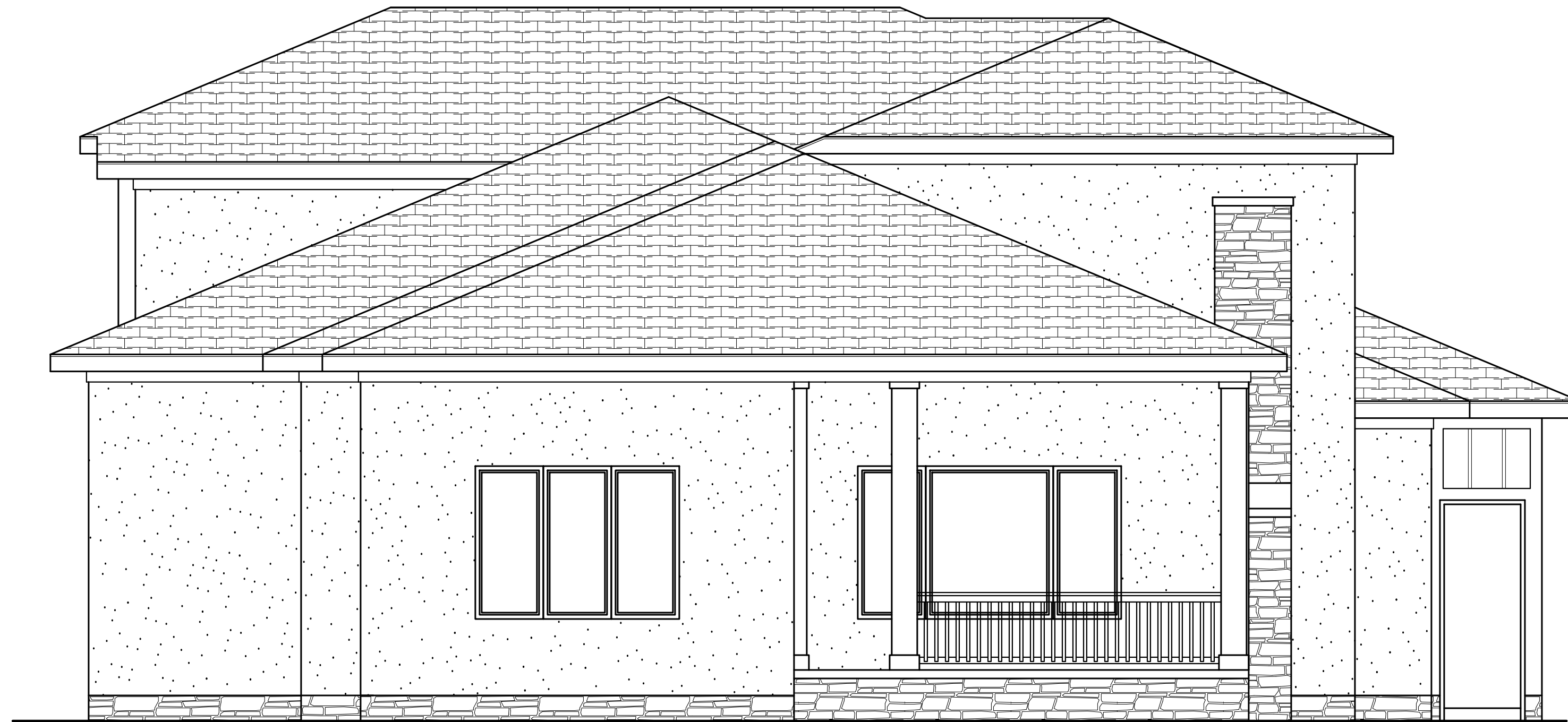


Romanelli & Hughes
 BUILDING COMPANY

148 W. Schrock Road Westerville, Ohio 43081
 614-891-2042 Fax 614-891-2045

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| DATE | ISSUE | DATE | ISSUE |
|----------------|---------------------|------|-------|
| 01/27/26 | FOR ZONING APPROVAL | | |
| | | | |
| | | | |
| RAYA RESIDENCE | | | XX |
| 2490 WICKLIFFE | | | |



REAR ELEVATION 1/4" = 1'-0"
 - ALL TRIM IS WOOD (HARDI AND SMARTSIDE)



LEFT ELEVATION 1/4" = 1'-0"
 - ALL TRIM IS WOOD (HARDI AND SMARTSIDE)

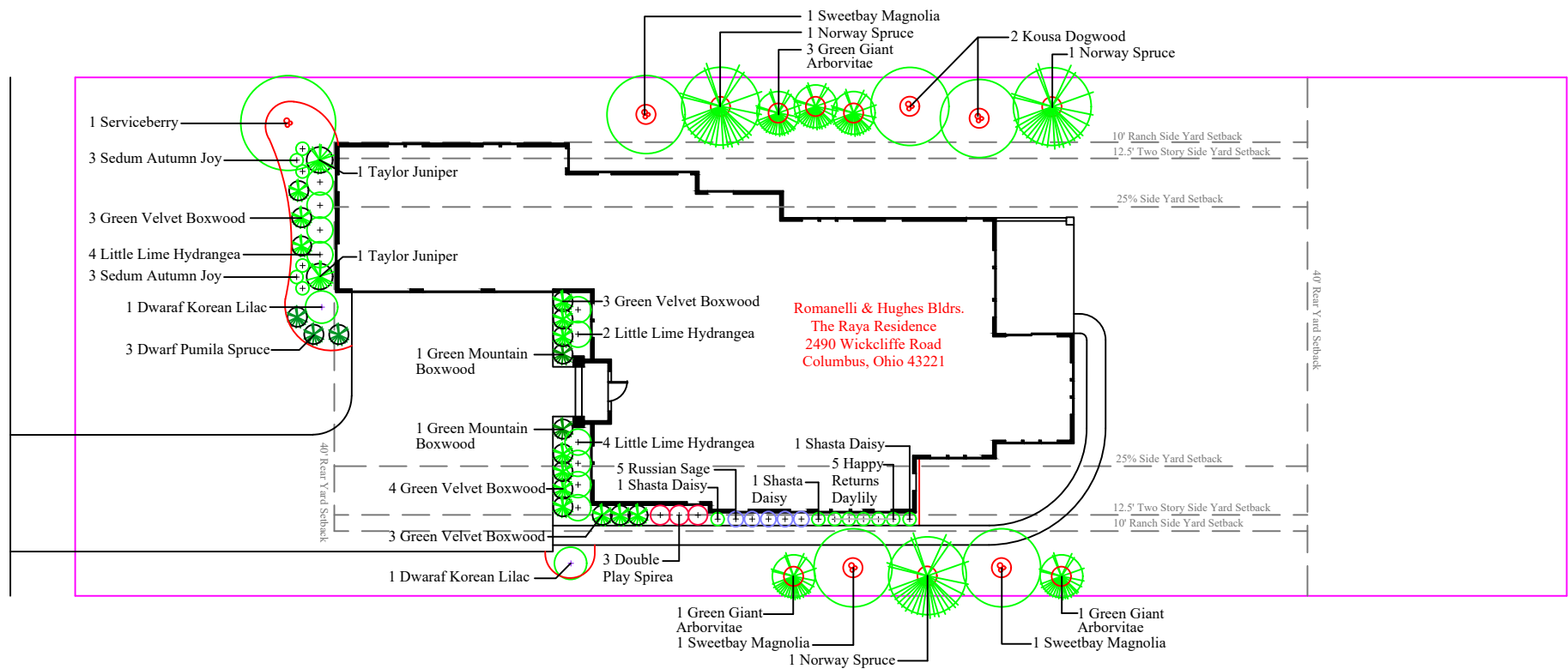


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| | | | |
| | | | |
| RAYA RESIDENCE | | | XX |
| 2490 WICKLIFFE | | | |



Raya Screening Plant Selections



Norway



Green Giant Arborvitae



Sweetbay Magnolia



Kousa Dogwood

Raya Plant Selections



Serviceberry



Taylor Juniper



Dwarf Korean Lilac



Green Mntn.
Boxwood



Green Velvet
Boxwood



Little Lime Hydrangea



Dwarf Pumila Spruce



Double Play Spirea



Sedum Autumn Joy



Russian Sage



Shasta Daisy



Happy Returns Daylily



Authors: Taylor Mullinax, AICP, Planner

BZAP Meeting Date: February 4, 2026

Subject: 1694 Essex Road (VAR-12-26) - To allow a two-story addition and garage which results in two variances: a 7.34 inch encroachment into the side yard longwall setback where an 11.34-inch setback is required, and projects into the rear yard profile. [Postponed from January 21, 2026 BZAP hearing.]

Overview

At the January 21, 2026 BZAP hearing, the Board postponed consideration of the proposed two-story addition and garage, which required three variances: a 7.34-inch encroachment into the side yard longwall setback where 11.34 inches is required, an encroachment into the rear yard profile, and the design not meeting the Residential Design Standards. While the Board was generally supportive of the proposed design and variances requested, several modifications were recommended:

1. Remove the small side porch and mandoor facing Harford Road and replace them with two windows;
2. Extend the existing porch facing Harford Road to provide weather protection across the new entryway and terminate it at the south corner of the proposed garage; and
3. Add steps along the walkway leading to the Harford Road entryway to address changes in site grade.

The Board indicated that these modifications would help reduce the perceived massing of the addition, better integrate it with the original residence, improve overall functionality, and limit the number of entrances to the home.

Zoning Code Requirements

The Board's requested changes from the January 21, 2026, BZAP meeting resulted in eliminating one variance and keeping two:

1. To encroach 7.34" into the side yard longwall setback where 11.34" is required (Article 5.02);
2. To allow a garage and two-story addition to project 13 feet into the rear yard profile (Article 5.02); and
3. ~~To allow architectural deviations from the Residential Design Standards for Neighborhood Compatibility (Article 7.7).~~



The applicant has made the requested changes and eliminated a variance, resulting in an improved design. To help soften the residence's depth and protect adjacent views from neighboring properties, Staff recommends a condition requiring additional landscaping along the north, east, and west property lines. Should the Board support this application, Staff would recommend that Finding #3 (minimum necessary) and #4 (essential character of the area) be considered, along with the following condition:

1. That a landscape plan is submitted with the Building Permit, which provides additional plantings along the north, east, and west property lines, subject to approval by the City Forester.

Attachments

| | |
|----|---|
| 1. | 1694 Essex Rd_ Revised Staff Presentation |
| 2. | 1694 Essex Rd_ Revised Plans |
| 3. | 1694 Essex Rd_ Public Comments |



1694 Essex Road

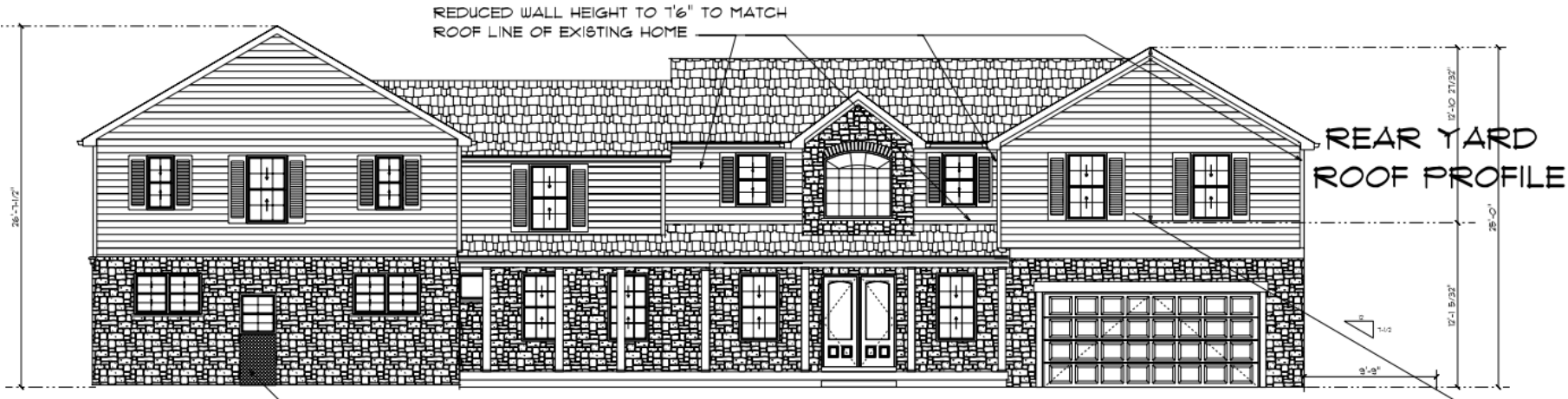
BZAP Staff Report Pictures | Variance Application 12-26
February 4, 2026



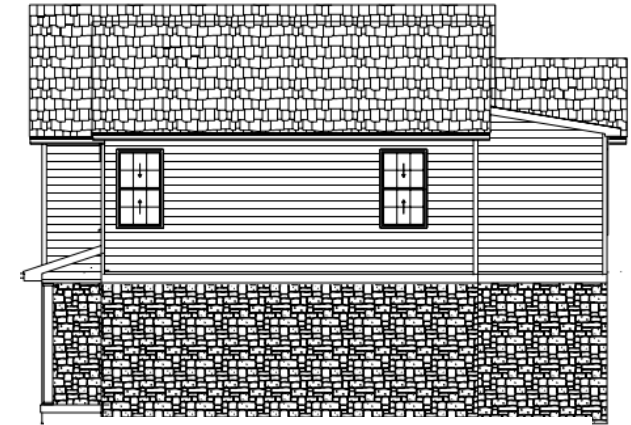
Google Maps ® Aerial



Revised Elevations



East (Right) Elevation



North (Rear) Elevation



West (Left) Elevation



South (Front) Elevation

Existing / Revised Essex Rendering



Existing/Revised Harford Rendering



Revised Southwest Rendering



Variance Request/Staff Recommendation

The Board's requested changes from the January 21, 2026, BZAP meeting resulted in eliminating one variance and keeping two:

- To encroach 7.34" into the side yard longwall setback where 11.34" is required (Article 5.02);
- To allow a garage and two-story addition to project 13 feet into the rear yard profile (Article 5.02);
- ~~To allow architectural deviations from the Residential Design Standards for Neighborhood Compatibility (Article 7.17).~~

Condition of Approval:

1. That a landscape plan is submitted with the Building Permit, which provides additional plantings along the north, east, and west property lines, subject to staff approval by the City Forester.





DOOR OPENING SCHEDULE

| | |
|------------------------------|---------------------|
| 1/6 x 6/8 Prehung Door | 1'-8" X 6'-10 1/2" |
| 2/0 x 6/8 Prehung Door | 2'-2" X 6'-10 1/2" |
| 2- 2/0 x 6/8 Prehung Door | 4'-2" X 6'-10 1/2" |
| 2/4 x 6/8 Prehung Door | 2'-6" X 6'-10 1/2" |
| 2/6 x 6/8 Prehung Door | 2'-8" X 6'-10 1/2" |
| 2- 2/6 x 6/8 Prehung Door | 5'-2" X 6'-10 1/2" |
| 2/8 x 6/8 Prehung Door | 2'-10" X 6'-10 1/2" |
| 4/0 x 6/8 Bifold Door | 4'-1 1/2" X 6'-10" |
| 5/0 x 6/8 Bifold Door | 5'-1 1/2" X 6'-10" |
| 6/0 x 6/8 Bifold Door | 6'-1 1/2" X 6'-10" |
| 3/0 x 6/8 Entrance Door | 3'-2" X 6'-10 1/2" |
| 2/8 x 6/8 House/Garage Door | 2'-10" X 6'-10 1/2" |
| 5/0 x 6/8 Sliding Patio Door | 5'-2" x 6'-10" |
| 6/0 x 6/8 Sliding Patio Door | 6'-2" x 6'-10" |

STRUCTURAL DESIGN DATA

| | |
|------------------------|---------------------|
| Live Load - Dwelling | 40 Lb/SF |
| Live Load - Sleep Rms | 30 Lb/SF |
| Live Load - Roof | 20 Lb/SF |
| Dead Load | 10 Lb/SF |
| Ground Snow Load | 20 Lb/SF |
| Wind Speed | 115 MPH |
| Wind Pressure | 20.7 Lb/SF |
| Lumber Grade/Species | #2 SPF Unless Noted |
| Seismic Zone | A |
| Weathering/Frost Depth | Severe/36" |
| Termite Infestation | Moderate to Heavy |
| Decay Probability | Slight to Moderate |
| Ice Shield Required | Yes |
| Flood Hazards | A |

GENERAL FRAMING NOTES

All interior dimensions are face of stud
 All exterior dimensions are from outside of sheathing.
 Unless otherwise noted interior walls are 3-1/2"
 Unless otherwise noted exterior walls are 4"
 Unless otherwise noted headers are #2 SPF
 Unless otherwise noted joists are #2 SPF

AREA SCHEDULE

| Area | Sq FT |
|--------------------|-------|
| Existing 1st Floor | 1,244 |
| Add 1st Floor | 780 |
| Total 1st Floor | 2,024 |
| Existing 2nd Floor | 1,183 |
| Add 2nd floor | 1,036 |
| Total Area | 5,084 |

BUILDING CODE STATEMENT

Where applicable and not explicitly stated all construction shall conform to the requirements of the 2019 Residential Code of Ohio (RCO)

PLAN INDEX

| | | |
|------------------------------|------------------------|--|
| C-1 Cover Sheet | A-6 Roof Framing | |
| A-1.1 Existing Fndn Plan | A-7 Roof Framing Plan | |
| A-1.2 Foundation Plan | MEP HVAC/Electric Plan | |
| A-2.1 Existing 1st Flr Plan | D-1 Details | |
| A-2.2 1st Flr Demo Plan | | |
| A-2.3 1st FLr Plan | | |
| A-3 2nd Flr Plan | | |
| A-4 Elevation Plan | | |
| A-5 1st/2nd Flr Framing Plan | | |

C-1

SHEET:

1 / 4

PAGE:

Lewis Residence

1694 Essex Rd.
Columbus, Ohio 43221

SCALE: 1/4" = 1'-0"

DRAWN BY: Gary Durn

DATE: 1/29/2026

Plan Revisions

| # | Date | Description |
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 meet all applicable local building codes and
 requirements.

Prior to construction the plans should be
 reviewed by a licensed structural engineer
 to insure structural components are properly
 designed to comply with local building codes
 seismic conditions, snow loads, wind and other
 site and/or special conditions that may affect
 the structure.

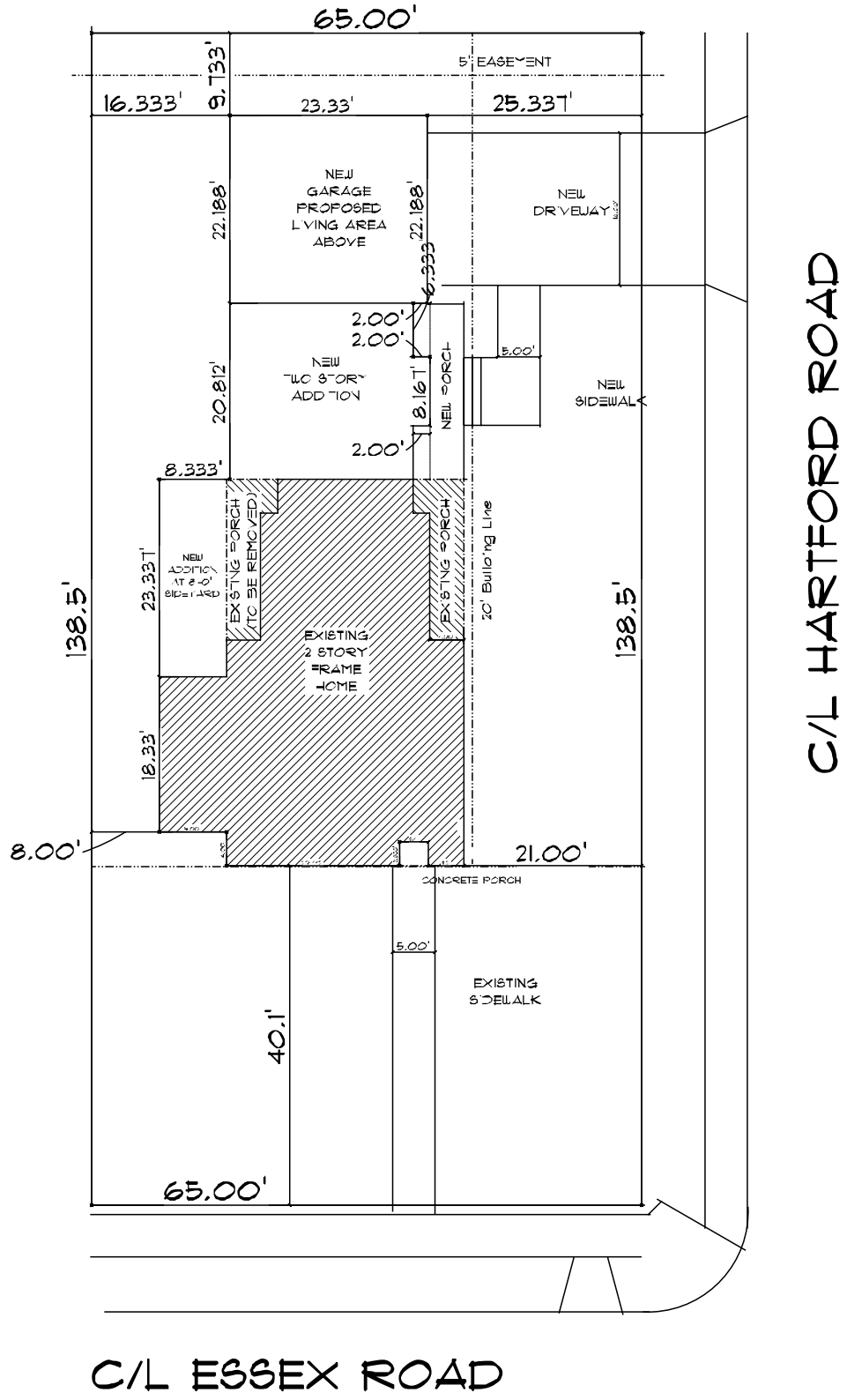
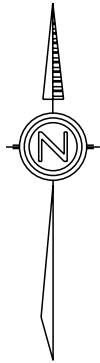
All dimensions to be verified prior to
 construction.



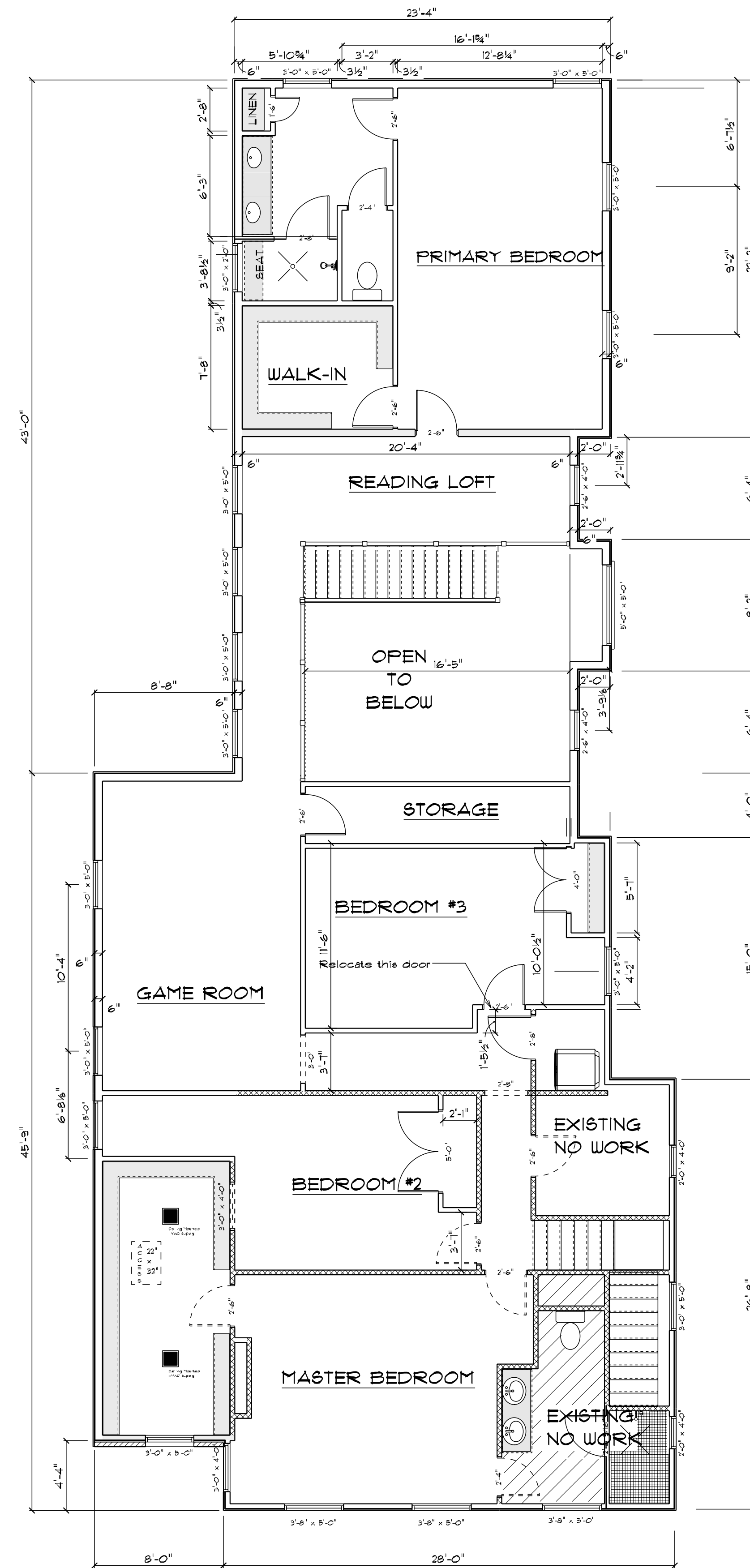
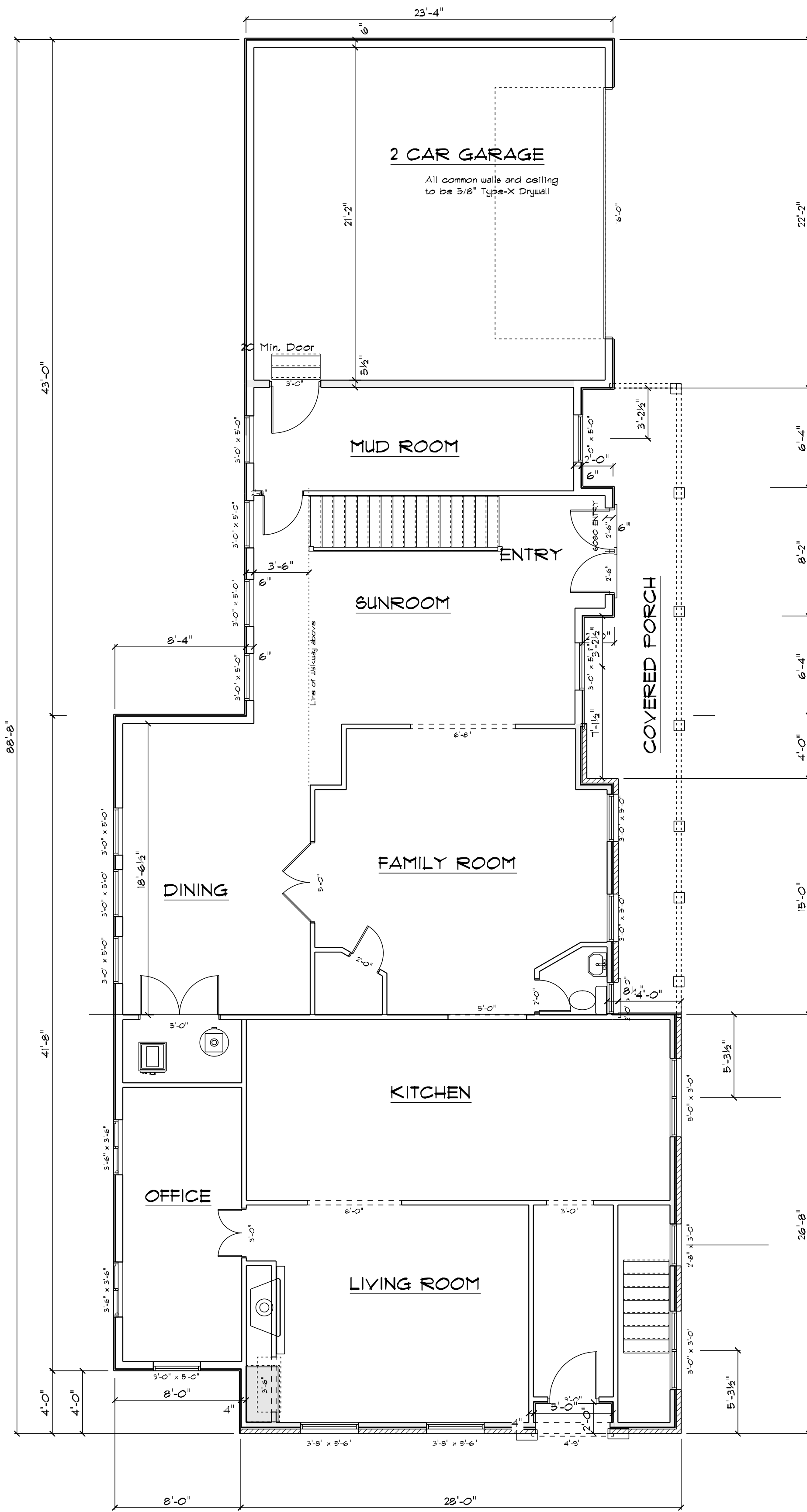
Custom Home Building Consultants
 3060 Abbey Knoll Dr.
 Lewis Center, OH 43035
 Phone: 614 496-0589
 Email: gdunnchbc@gmail.com

1694 ESSEX ROAD PARCEL # 070-001868-00

1" = 20'



| ITEM | SF | % |
|----------------------------|-------|-------|
| TOTAL LOT AREA | 9,003 | 100% |
| EXISTING HOME | 1,199 | |
| EXISTING GARAGE | 440 | |
| EXISTING PORCHES | 182 | |
| NEW ADDITION | 683 | |
| ADDITIONAL NEW GARAGE | 72 | |
| ADDITIONAL PORCHES | 31 | |
| TOTAL BLDG COVERAGE | 2,607 | 28.9% |
| ***** | | |
| TOTAL FRONT YARD AREA | 4,672 | 100% |
| TOTAL FRONT YARD COVERAGE | 814 | 17.4% |
| ***** | | |
| TOTAL LOT AREA | 9,003 | 100% |
| TOTAL BUILDING/PORCH AREA | 2,607 | |
| TOTAL SIDEWALK AREA | 314 | |
| DRIVEWAY | 474 | |
| TOTAL DEVELOPMENT COVERAGE | 3,395 | 37.7% |



Lewis Residence
1694 Essex Rd.
Columbus, Ohio 43221

SCALE: 3/16" = 1'-0"
DRAWN BY: Gary Durn
DATE: 1/29/2026

Plan Revisions

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All dimensions to be verified prior to construction.



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Lewis Center, OH 43035
Phone: 614 496-0589
Email: gdunnchbc@gmail.com

REDUCED WALL HEIGHT TO 7'6" TO MATCH
ROOF LINE OF EXISTING HOME

REAR YARD
ROOF PROFILE



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

Trellis Where Door Remove
(Can not Match Stone Work Here)



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

A-3

SHEET:

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PAGE:

Lewis Residence

1694 Essex Rd.
Columbus, Ohio 43221

SCALE: 1/4" = 1'-0"

DRAWN BY: Gary Durn

DATE: 1/29/2026

Plan Revisions

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1694 ESSEX
SCALE: 3/8" = 1'-0"

A-4
SHEET:
4 / 4
PAGE:

Lewis Residence
1694 Essex Rd.
Columbus, Ohio 43221

SCALE: 3/8" = 1'-0"
DRAWN BY: Gary Durn
DATE: 1/29/2026

Plan Revisions

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3060 Abbey Knoll Dr.
Lewis Center, OH 43035
Phone: 614 496-0589
Email: gdunnchbc@gmail.com

RECEIVED

1-21-26

Upper Arlington Communit
Development Department

Please look into the plans for a renovation at 1694 Essex Rd. Since these people moved in there have been some pretty unsightly changes to the house. First they cut down one of the most beautiful trees in Upper Arlington. Then erected a ridiculous wall around the front of the property with enough bright lights on it that it can be seen in Dublin. The wall does not meet code and should be 12 inches behind the sidewalk. It is my understanding the original city's retaining wall was torn down without permission and the owners were warned it had to be built a foot back behind the sidewalk but they ignored the city's orders and it wasn't enforced by UA. Why wasn't it enforced? Next came the mammoth tree well that is dangerously tall. You have to pull into the intersection past the stop sign to see around it. Now I just saw plans that they are doubling the size of this house. I did not receive any variance info because I live further than 100 ft away, but one of the neighbors that did informed me of the plan. It's absolutely too big for the lot and doesn't fit well in the neighborhood and under normal circumstances I would expect the city to turn it down. But I was also told the owner of the property has a good friend in the zoning and building department, Roger Eastep who gives his approval on everything these people do. The owner brags that he can get away with anything because of Roger. Hmm, did Roger let the wall slide through? If this is true maybe it is time Roger finds a new job! Please don't just look at the plans on paper, actually drive by the house and see the space. I am saddened when looking around at some of the additions that have been approved in this charming neighborhood and hope this one will not pass!

To whom it may concern,

What an awful system Upper Arlington has in place to oppose a neighbor's addition! Am I supposed to come to the zoning meeting and stand in front of my neighbor to tell you how ugly their vision is? Won't that make for great relations! The addition I am referring to is Robert and Gina Lewis' at 1694 Essex Road. They want a variance for a long wall and rear yard profile (slope plan that the roof may not exceed). Their reasoning seems to be that of a teenager- everyone else gets to do it, why can't I do it? "These walls are not uncommon in the area" was sighted as the justification. Along with, "these are not extreme variances and have been granted in prior cases". Well just because someone got away with it in circumstances we know nothing about doesn't make for a compelling argument.

What is most disturbing is the house basically doubling in size on a lot that isn't big enough! What happened to the green space rules? It will look ridiculous. And will they have two front doors? This plan will never look like it was part of the original design and frankly the small addition they already did on the side of their home looks cheap with the non matching fake stone that doesn't wrap all the way around.

Don't even get me started on the glowing wall they erected. Enough is enough-these tasteless McMansions are ruining the neighborhood! Maybe they should have bought a different/bigger home elsewhere if this is the space they need! Please look this plan over carefully and do not let it go through. It shouldn't be the job of neighbors to point out the design flaws.

Thank you.

Board of Zoning and Planning
3600 Tremont Road
Upper Arlington, OH 43221

Dear Zoning Board:

I'm reaching out to object to the "addition" the homeowner at 1694 Essex Rd is asking the city to approve. The drawings I reviewed show the existing structure virtually doubling in size with a footprint well beyond the allowable 50% green space threshold. Not only is the structure too large, it's monstrous and not in character with the rest of the neighborhood.

One of things I admired about this house was the previous owner put on a lovely addition that was so well done, few would ever know it wasn't part of the original house. I'm certain no one will feel that way about what the new owners want to build.

It's also interesting to note; Shortly after purchasing the home, this owner cut down a large, towering Sycamore tree. This tree was well over 100 years old and a neighborhood favorite. I have no idea why he did this, but I do know he's quickly ruining the charm of this home.

The city needs to deny this homeowner's request for the good of all homeowners in the South of Lane, University district.

Please, do the right thing and deny this request.

Thank you,

A Concerned Neighbor

Board of Zoning and Planning
3600 Tremont Road
Upper Arlington, OH 43221

I am the homeowner of **1694 Essex Road**, and I would like to provide additional clarification regarding the sycamore tree that was located on the property at the time my wife and I purchased the home.

During the required insurance inspection to obtain homeowners insurance, the insurance company observed that a significant portion of the sycamore tree extending over the house was being supported by large tie straps. Based on this condition, the insurance company informed us that they would not insure the property unless the tree was removed.

We made every possible effort to find an insurance provider willing to insure the home with the sycamore tree in place, given that it was being held up by support straps over the house. Unfortunately, we were unsuccessful in securing coverage under these circumstances. As a result, we had no alternative but to have the tree removed in order to obtain homeowners insurance.

We truly wanted to preserve the tree; however, due to insurance requirements, its removal was unavoidable. Please see Exhibit A, attached photograph demonstrating the support straps referenced above.

Thanks

1694 Essex

2:06

5Gw

reporthost.com

Exhibit A



Photo 11-5



Photo 11-6



Photo 11-7





Authors: Justin Milam, AICP, Senior Planner

BZAP Meeting Date: February 4, 2026

Subject: 2728 Swansea Road (#26-69) - Confirmation that a new home with an attached garage is acceptable along this segment of Swansea Road per the residential design standards.

Overview

Building Permit #26-69 was submitted for a new home on a vacant parcel at 2728 Swansea Road, across the street from Fancyburg Park. Staff is requesting the Board's confirmation that a proposed new home with an attached garage is acceptable along this segment of Swansea Road. Of the 23 homes located on this street segment, 17 have a detached garage, three have no garage at all, and three have an attached garage.

Staff consulted with the City's third-party architect, who felt the attached garage was so integrated into the house massing that it would be fine in this neighborhood and meet the standards outlined in both the Residential Design Standards and Policy for Neighborhood Compatibility.

Zoning Code Requirements

- Unified Development Ordinance (UDO) [Article 7.17\(B\)\(1\)](#) states the following:

Neighborhood compatibility: The proposal shall be consistent and compatible with the noticeable and recognizable characteristics of the homes and lots on the street segment. Such characteristics include: lot width and size, architectural style and materials, heights and massing, front yard setbacks, roof pitch and shape, garage location, amount of impervious surface, and other defining features of the street segment.

- [Policy for Neighborhood Compatibility](#) states:

Garages: *The location, size, and orientation of attached and detached garages should be consistent with those found along the street segment. Front-load garages should be recessed from the front face of the home. The number of garage bays facing the street shall not exceed three.*

Staff, in consultation with the City's third-party architect, believes that the proposed home



meets the residential design standards, including the neighborhood compatibility requirements. It is consistent and compatible with nearly all the noticeable and recognizable characteristics of the homes on the street segment. The only item of some concern for Staff is the garage location, which differs from the predominant characteristic of this segment of Swansea Road — the code does not use "predominant", but uses "noticeable" and "recognizable" instead. The policy uses "should" instead of "shall" language when reviewing attached and detached garages. The City's third-party architect believes the proposed plan to be acceptable, meeting the above-listed language.

Depending on the Board's discussion and guidance, Staff will determine if the zoning review of the Building Permit can be approved, if a re-design to include a detached garage is warranted, or if a variance application should be submitted. [This is the first such instance where an attached garage vs. detached garage question has arisen as part of a neighborhood compatibility review.]

Attachments

| | |
|----|-------------------------------------|
| 1. | 2728 Swansea Rd_ Staff Presentation |
|----|-------------------------------------|



2728 Swansea Road

BZAP Staff Report Pictures | Application 26-69

February 4, 2026



Google Maps ® Aerial



Garage Analysis



-  No Garage
-  Attached Garage
-  Subject Property



Adjacent Residences



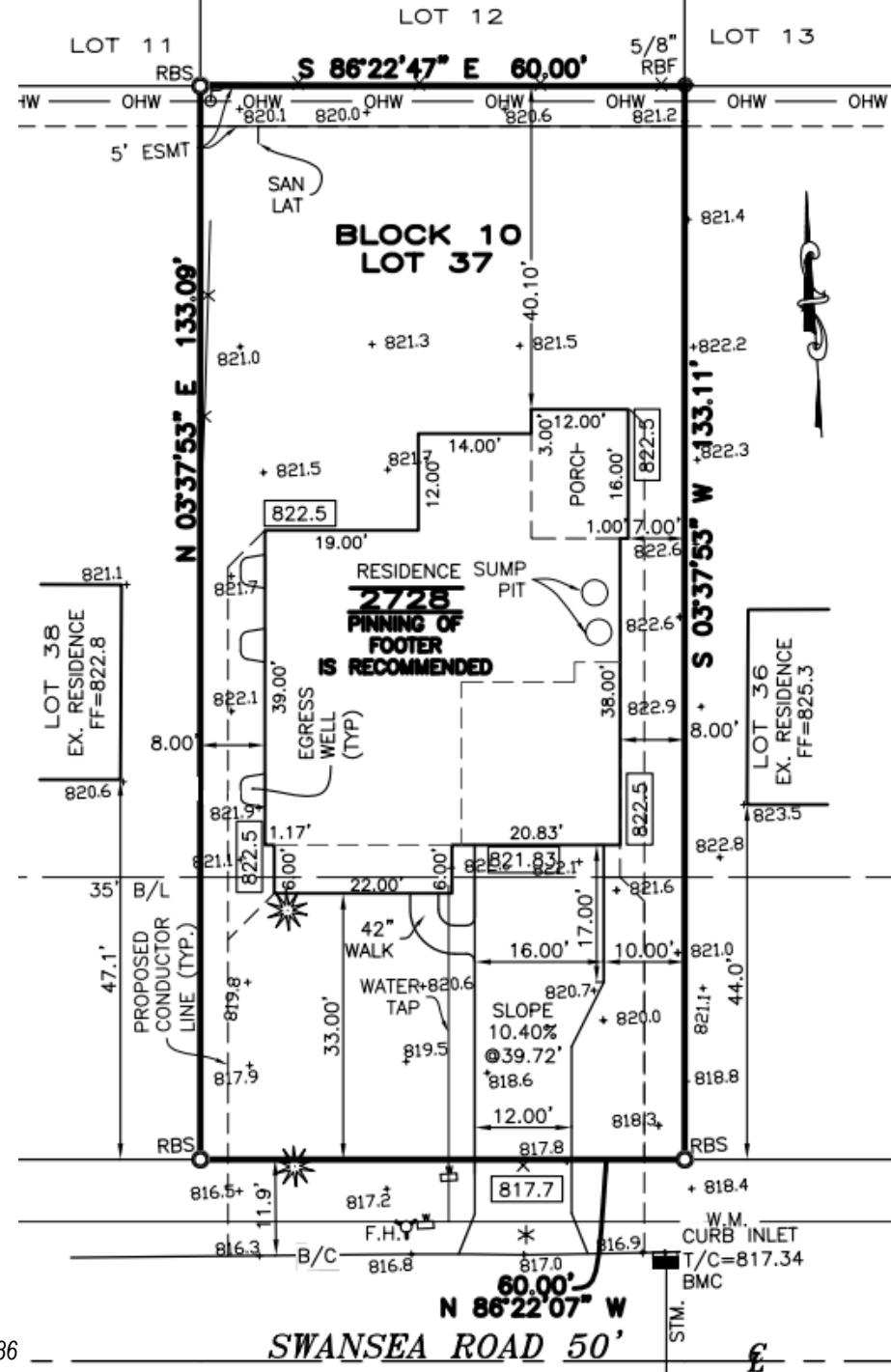
2736 Swansea Road



2720 Swansea Road



Proposed Site Plan



Proposed Front Elevation



Authors: Justin Milam, AICP, Senior Planner

BZAP Meeting Date: February 4, 2026

Subject: The Wellington School, 3650 Reed Road (#26-302) - Informal review of proposed future improvements to the Upper School and Lower School areas.

Overview

Representatives from The Wellington School, 3650 Reed Road, will be present to introduce and discuss proposed future improvements to the school. The plan includes the demolition of the original 1918 Fishinger Road School building, removal of auxiliary and temporary classrooms, renovations and conversions of existing spaces, and a new entrance and offices on the south side for the Upper School. The plan includes a new parking lot and landscaping on the Fishinger Road side of the property. The applicant is seeking feedback from the Board before submitting an Amended Major Site Plan application later this year.

Zoning Code Requirements

Staff has performed a preliminary review of the submitted materials and offers the following recommendations, many of which have previously been shared with the applicant:

- Meet with the Upper Arlington Historical Society to tour and document the existing Fishinger Road School building.

Engineering:

- An access analysis for the two Fishinger Road entrances is required;
- Add an accessible ramp for ADA parking on the north side of the parking lot, near the new Upper School entrance; and
- Pavement cuts to Fishinger Road are not permitted until 2028; please work with the City Engineer on alternative options.

Emergency Services:

- The existing FDC on the east side of the site needs to be maintained or relocated per the Fire Division; and



- The turning calculations for emergency vehicles need to be updated due to newer City vehicles.

Landscaping:

- A full landscape plan review was not performed, but the proposed locations and selections appear to be appropriate. A closer look at existing and new street trees along Fishinger Road will be needed; and
- Consider a screened or less conspicuous location for the Wonderbus.

Architecture/Site Plan:

- Provide a detailed floor plan showing what is new or renovated;
- Examine window placement and entry cover at north and south courtyard elevations;
- Consider extending the spandrel glass above the Upper School entry in place of the brick band;
- Consider adding a mural to the easternmost side of the south elevation of the proposed addition or on the existing maintenance building (consider painting as well);
- Consider bike/pedestrian connections to/from Fishinger Road. Perhaps move the proposed north-south sidewalk to the west side so that the path does not cross the parking lot. Add a bike rack near the entrance; and
- In order to determine minimum required parking counts, please submit a breakdown of existing and proposed uses within the building, including: classrooms, auditorium, sports facilities, offices, and other occupied spaces. An updated enrollment and staffing count should be submitted as well.

Plans for outdoor lighting and signage have not been submitted.

Attachments

| | |
|----|--------------------------------------|
| 1. | Wellington School Project Narrative |
| 2. | Wellington School Work Session Plans |







Record No: 26-302

Informal BZAP Review

Status: Active

Submitted On: 1/27/2026

Primary Location

3650 REED RD
UPPER ARLINGTON, OH 43220

Owner

WELLINGTON SCHOOL
COLUMBUS OH 43220

Informal Review Request

Work Session Review Date*

02/04/2026

Nature of the Request*

As part of The Wellington School's strategic plan, they would like to proceed with design and facility improvements for their Upper School and Lower School students. The project will include the following improvements and renovations: Demolition of their original 1918 Fishinger Road School and auxiliary classroom building located on the west side of the property. Selective demolition to the 1940/1950's era building will convert existing spaces to a modern academic learning environment. The update will also include a new HVAC system, new roofs/ roof replacement, new windows, electrical and plumbing updates, and accessibility compliance throughout the areas of work. Selective demolition and updated finishes to the 1987 and 1995 building portions will be conducted in the art classrooms and connecting corridors. Additional renovation in the existing choir, orchestra, and high school art rooms will convert this area into a music wing, with spaces dedicated to string, instrumental, and vocal music with supporting storage and practice rooms. Existing modular offices will be removed to create a new Upper School Commons space. This area will include small to medium group learning spaces. The first-floor library will be converted into a Community Learning Hub. This space will include a new multi-purpose room and conference space for Lower School students. A new addition to the south side of the school will be dedicated as a new entrance to the Upper School. This space will include a secure entry and Upper School offices. Exterior improvements will include expanding the parking lot along the south side of the building, embellishing the property with new trees and vegetation, and improving exterior spaces for outdoor learning.

Potential Variances*

None

Questions for the Board to answer*

Review of ammended site plan, proposed building addition, and parking lot.

Work Session Review

Direction Provided by BZAP



Moody Nolan
300 Spruce Street, Suite 300
Columbus, OH 43215
614.461.4664
moodynolan.com

January 26, 2026
**Wellington Upper School
Renovation**

The Wellington School
3650 Reed Road
Columbus, OH 43220

Project Narrative

As part of The Wellington School's strategic plan, they would like to proceed with design and facility improvements for their Upper School and Lower School students. The project will include the following improvements and renovations:

Demolition of the original 1918 Fashing Road School and auxiliary classroom building located on the west side of the property. Selective demolition to the 1940/1950's era building will convert existing spaces to a modern academic learning environment. The update will also include a new HVAC system, new roofs/ roof replacement, new windows, electrical and plumbing updates, and accessibility compliance throughout the areas of work.

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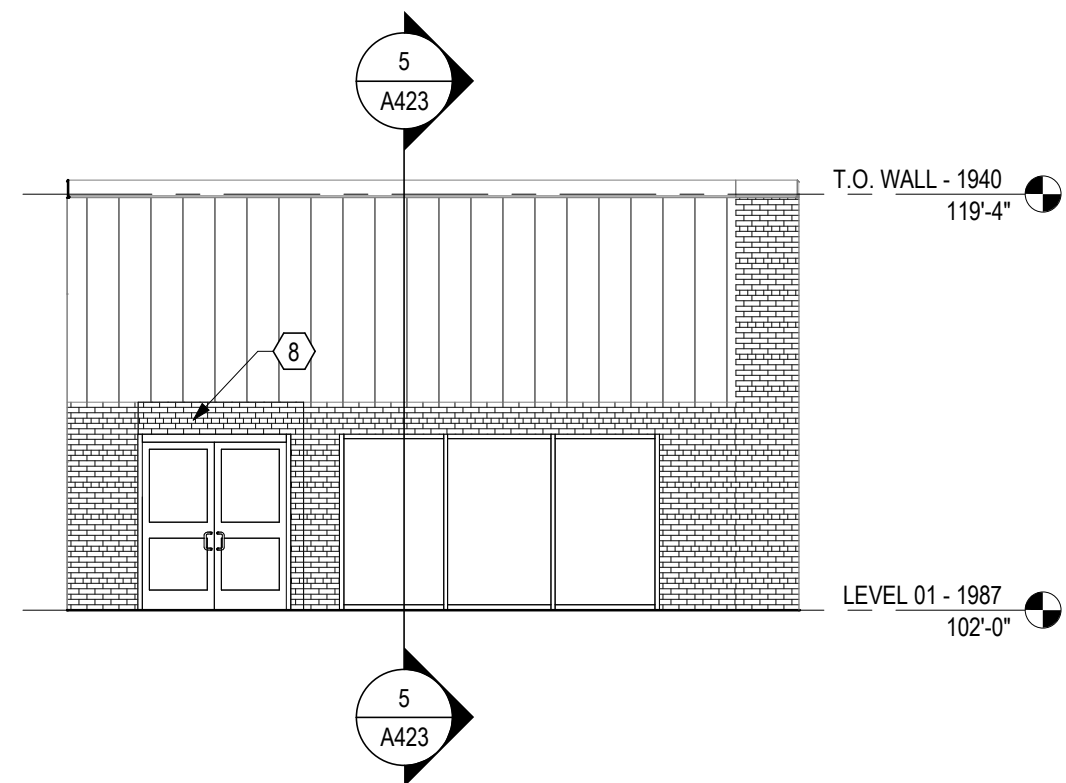
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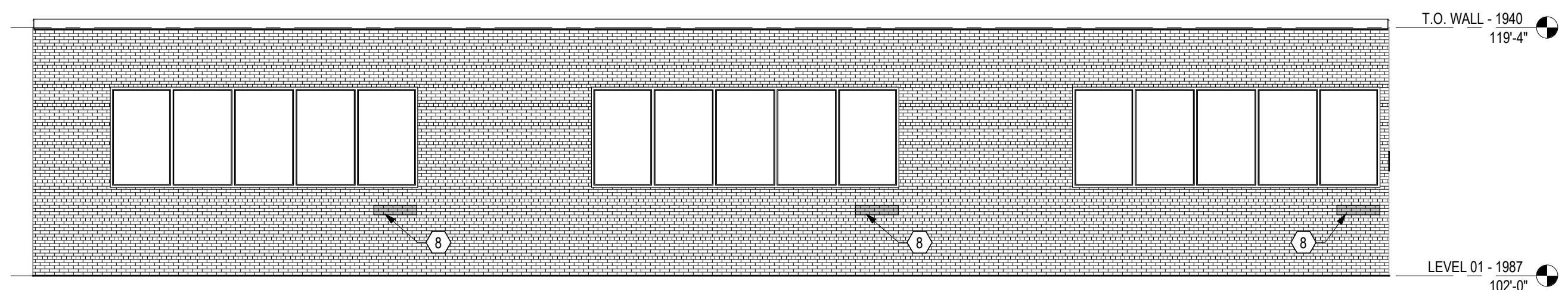




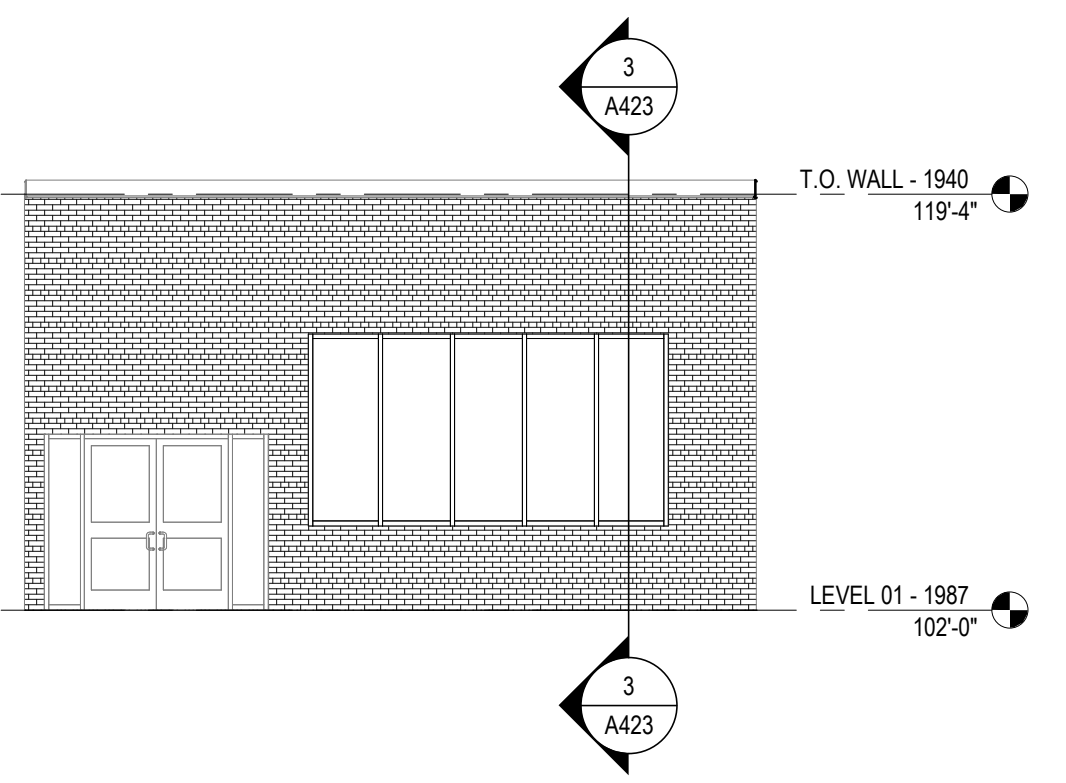




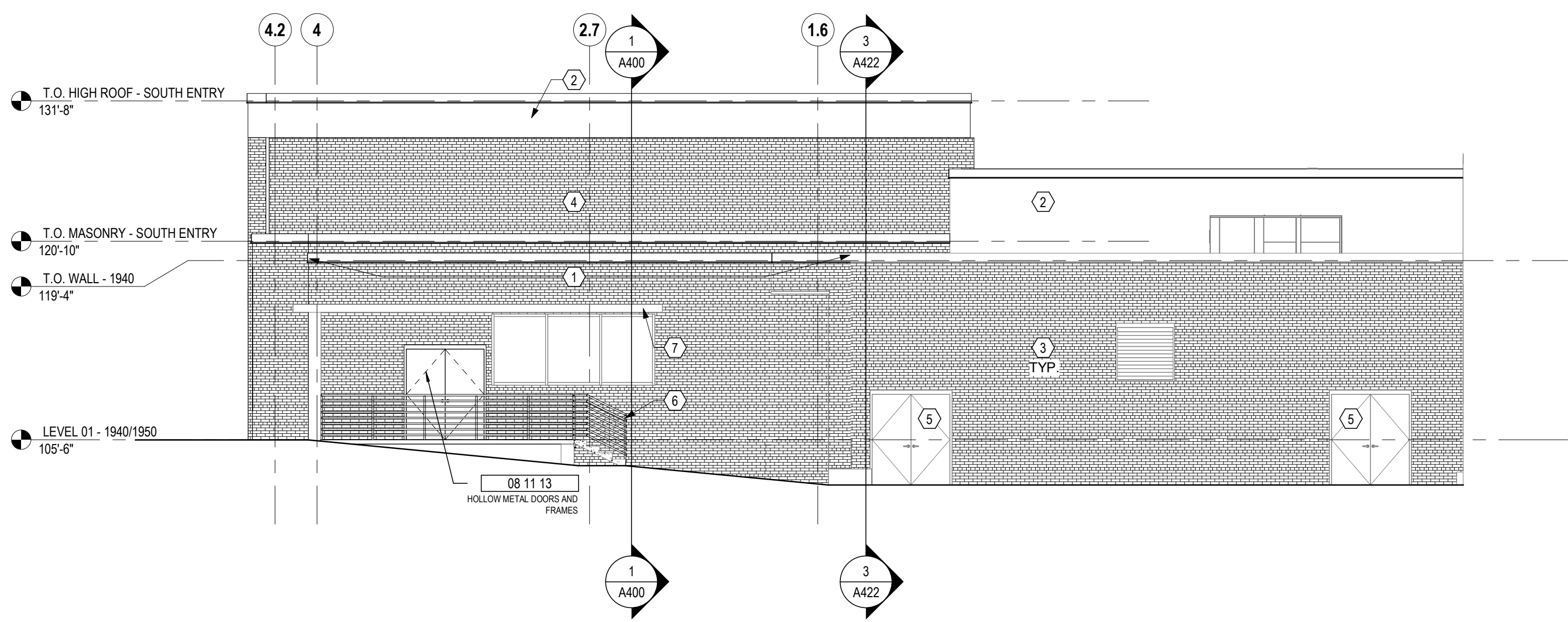
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1/8" = 1'-0"
REF: 1 / A101B



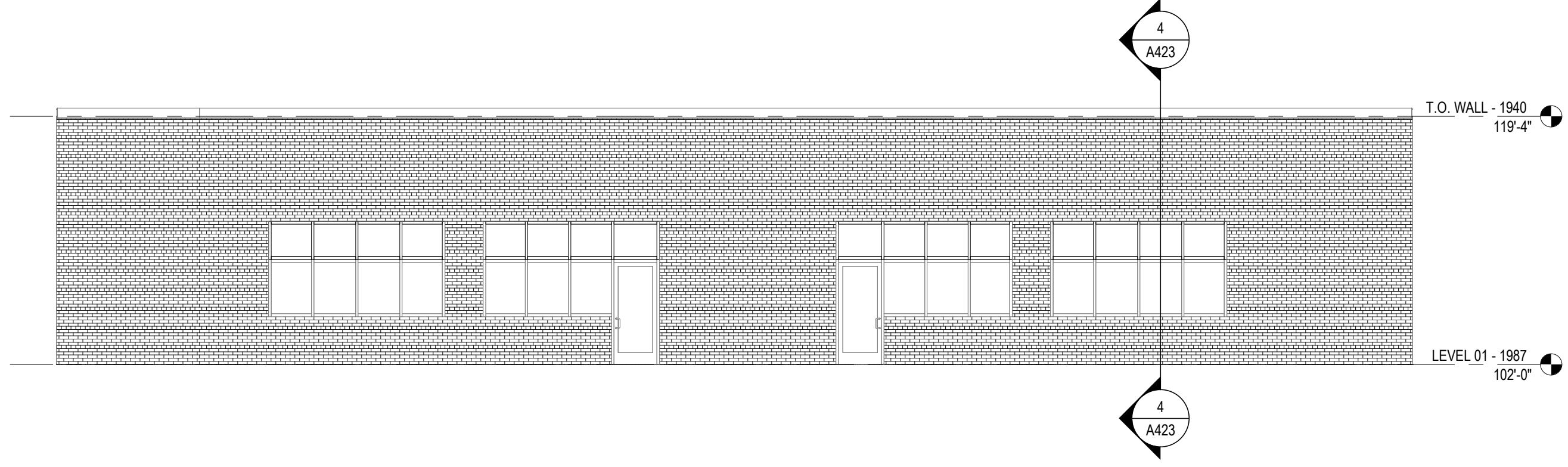
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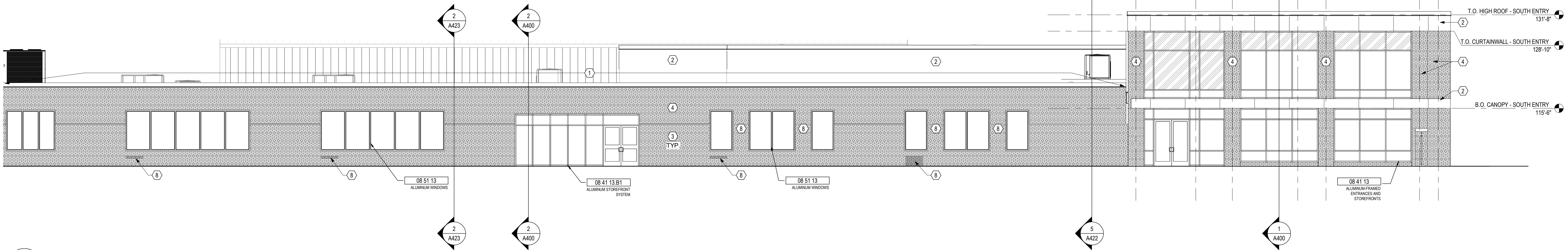
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REF: 1 / A101B



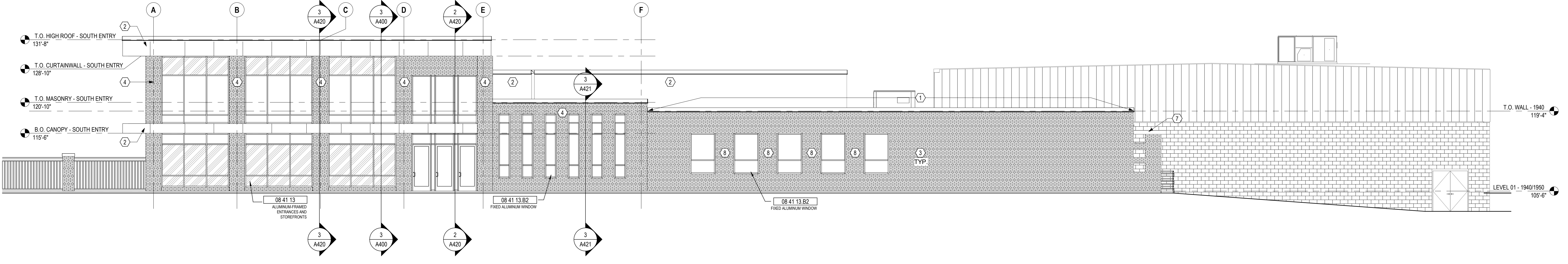
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1/8" = 1'-0"
REF: 1 / A101B



4 ELEVATION EAST AT COURTYARD
1/8" = 1'-0"
REF: 1 / A101B



2 ELEVATION WEST
1/8" = 1'-0"
REF: 1 / A101E



1 ELEVATION SOUTH
1/8" = 1'-0"
REF: 1 / A101O

GENERAL NOTES - EXTERIOR ELEVATIONS

- POWER WASH, CLEAN, AND SEAL EXISTING BRICK VENEER
- TUCK POINT EXISTING BRICK VENEER AS REQUIRED
- REPLACE SEALANT AT EXISTING TO REMAIN EXTERIOR DOORS
- REPLACE BRICK/ CONCRETE MASONRY UNITS AS REQUIRED
- REPLACE CONTROL EXPANSION JOINTS WITHIN THE WORK AREA

EXTERIOR GLAZING TYPES

- IG-1** EXTERIOR INSULATED GLAZING
- IG-1A** EXTERIOR INSULATED GLAZING (TEMPERED)
- IG-2** EXTERIOR INSULATED GLAZING (TRANSLUCENT)
- IG-2A** EXTERIOR INSULATED GLAZING (TRANSLUCENT TEMPERED)
- IG-3** EXTERIOR INSULATED GLAZING (SPANDREL - LIGHT GRAY)
- IG-4** EXTERIOR INSULATED GLAZING (SPANDREL - MEDIUM GRAY)
- IG-5** EXTERIOR INSULATED GLAZING (SPANDREL - DARK GRAY)

CODED NOTES

- NEW PRE-FINISHED GRAVEL STOP WITH CONTINUOUS CLEAT.
- COMPOSITE METAL PANELS.
- EXISTING BRICK VENEER TO REMAIN.
- BRICK VENEER.
- EXISTING HOLLOW METAL DOOR TO REMAIN. PREP AND RE-PAINT TO MATCH EXISTING.
- NEW 42" HIGH METAL GUARDRAIL WITH 36" HIGH CIRCULAR HANDRAIL. INSTALL ON EXISTING STAIRS.
- EXISTING CANOPY TO REMAIN.
- BRICK INFILL AT EXISTING OPENING.

KEYNOTE LEGEND

| KEY VALUE | KEYNOTE TEXT |
|-------------|---|
| 08 11 13 | HOLLOW METAL DOORS AND FRAMES |
| 08 41 13 | ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS |
| 08 41 13.B1 | ALUMINUM STOREFRONT SYSTEM |
| 08 41 13.B2 | FIXED ALUMINUM WINDOW |
| 08 51 13 | ALUMINUM WINDOWS |

| # | DATE | CHANGE DESCRIPTION |
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W Wellington Upper School Renovation
3650 REED ROAD COLUMBUS, OH 43220
FOR THE WELLINGTON SCHOOL

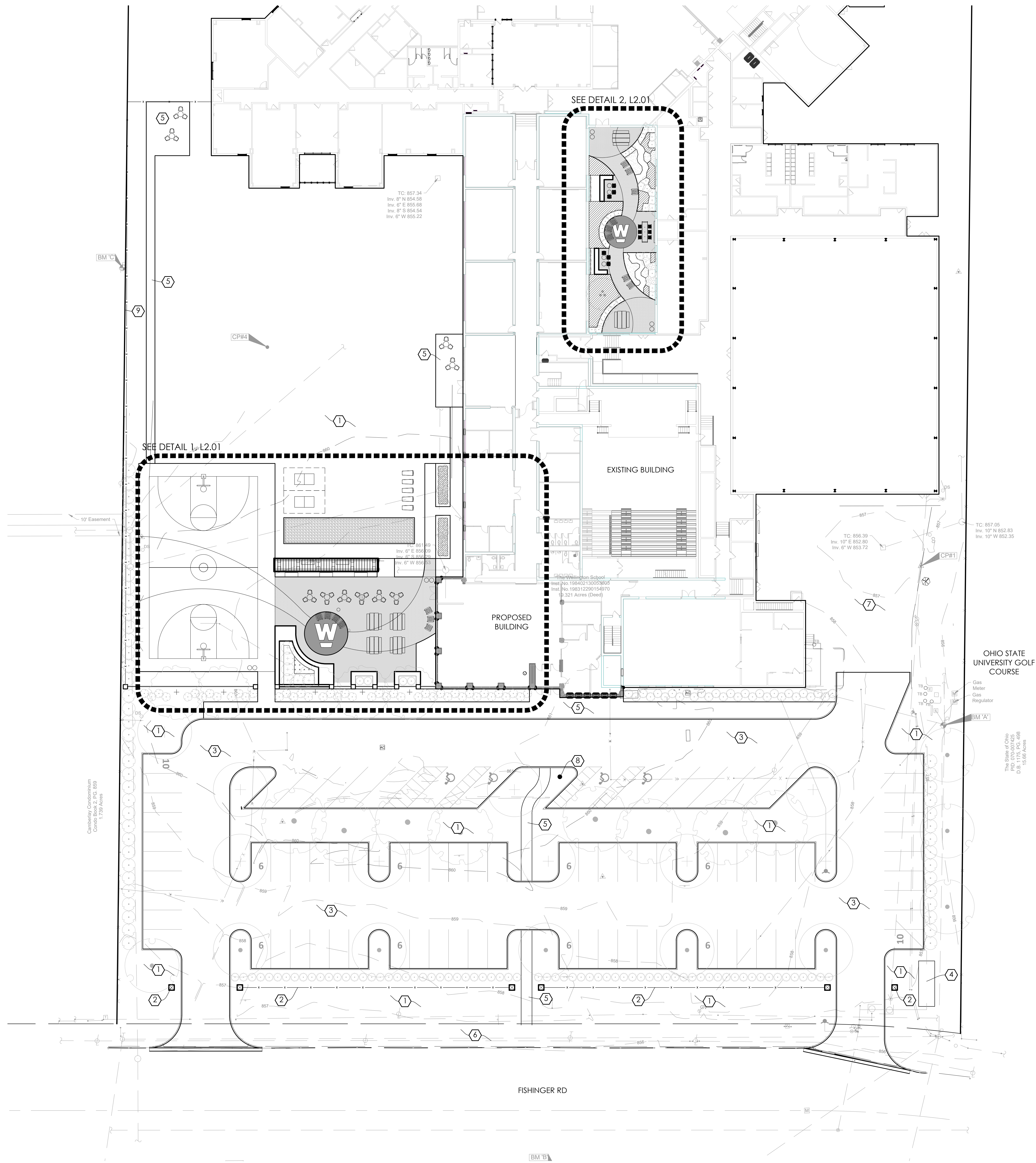
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: 614-461-4664

Moody Nolan

EXTERIOR ELEVATIONS - OVERALL

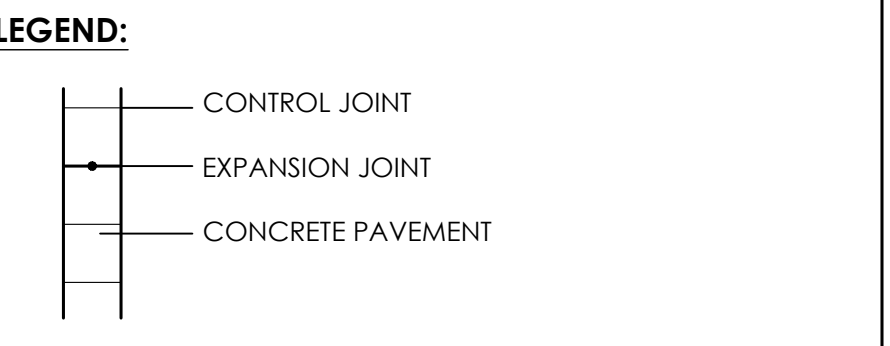
PROGRESS DRAWING NOT FOR CONSTRUCTION

02/06/2026
24597
A301
DESIGN DEVELOPMENT



- GENERAL NOTES:**
1. ALL DIMENSIONS USING CURBS, WALLS OR PAVEMENT AS A REFERENCE ARE FROM FACE OF CURB, FINISHED FACE OF WALL OR EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
 2. LOCATION OF THE EXISTING UNDERGROUND UTILITIES IS APPROXIMATE & HAS NOT BEEN VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING WORK & IS RESPONSIBLE FOR DAMAGES OCCASIONED DUE TO NEGLIGENCE IN LOCATING & PRESERVING UNDERGROUND UTILITIES.
 3. CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY IF A DISCREPANCY IS FOUND BETWEEN THE DIMENSION GIVEN & DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION.
 4. ALL LAYOUT TO BE BY A REGISTERED SURVEYOR OR ENGINEER. THE OWNER'S REPRESENTATIVE WILL REVIEW THE LAYOUT FOR GENERAL CONFORMANCE PRIOR TO CONSTRUCTION.
 5. WORK SHOWN IS BASED ON A SURVEY PROVIDED BY KORDA ENGINEERING, 1650 WATERMARK DR., COLUMBUS OH 43215 (614)487-1650.
 6. EXTERIOR PAVEMENT ELEVATIONS AT BUILDING ENTRANCES ARE TO BE FLUSH WITH THE BUILDING'S INTERIOR FLOOR ELEVATION.

- CONSTRUCTION NOTES:**
- ① LAWN/PLANT BED AREA. SEE SHEET L4.01.
 - ② MASONRY PIER AND DECORATIVE METAL FENCE.
 - ③ PARKING LOT AND DRIVE. SEE CIVIL ENGINEER'S DRAWINGS.
 - ④ WATER METER PIT
 - ⑤ CONCRETE SIDEWALK
 - ⑥ EXISTING MULTI-USE PATH
 - ⑦ EXISTING LOADING AREA
 - ⑧ FLAG POLE. SEE SPECS
 - ⑨ 6'-0" CHAIN LINK FENCE



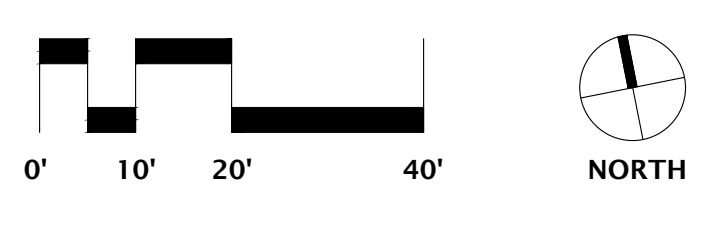
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Wellington Upper School Renovation
 3650 REED ROAD COLUMBUS, OH 43220
 FOR THE WELLINGTON SCHOOL

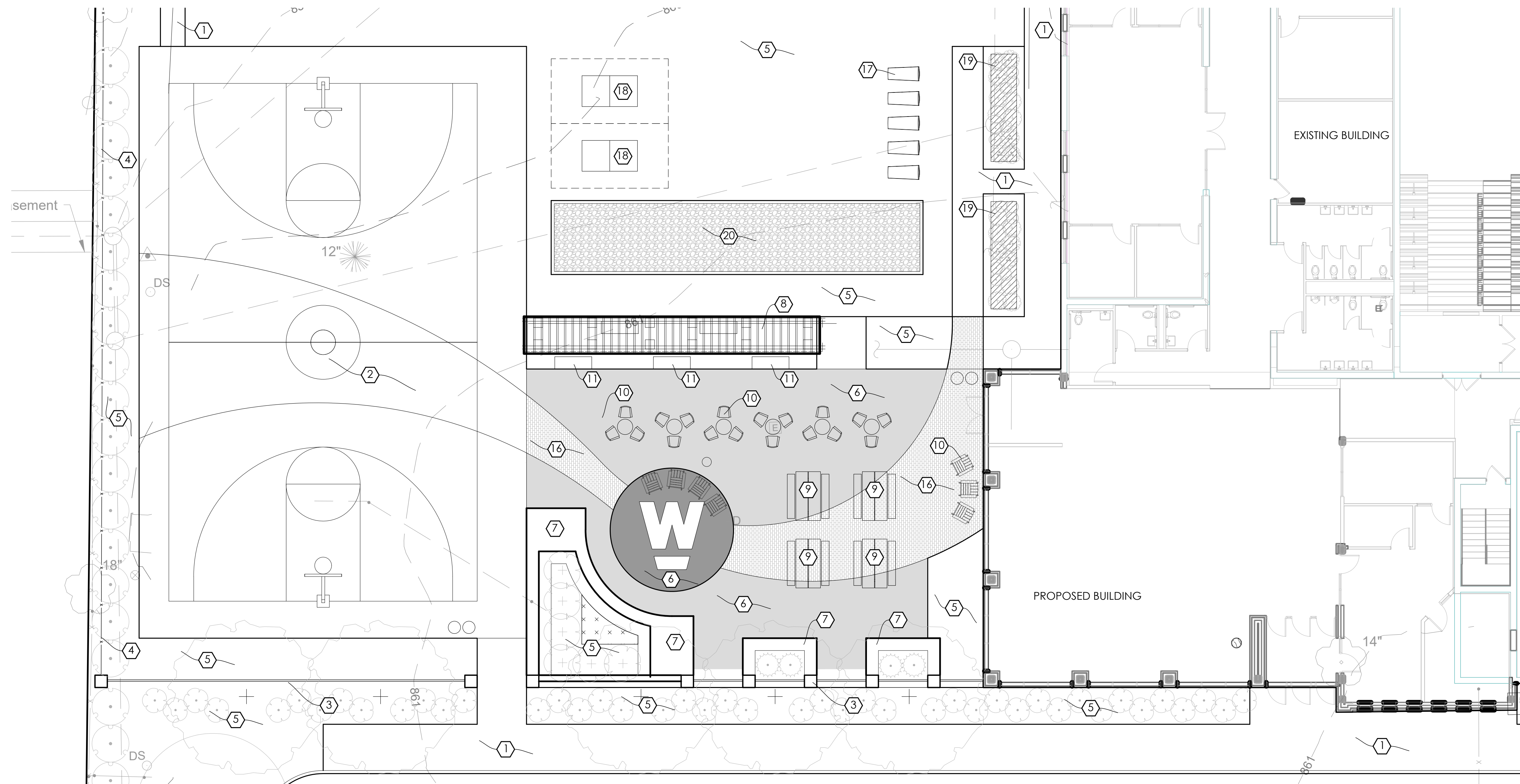
Moody Nolan
 300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215
 PHONE: 614-461-4664

DRAWING TITLE:
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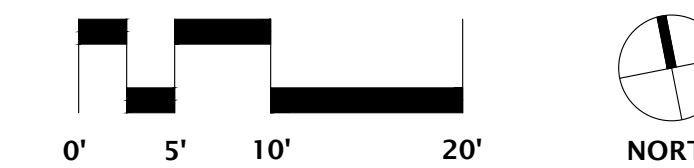
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| Design Development Progress | |



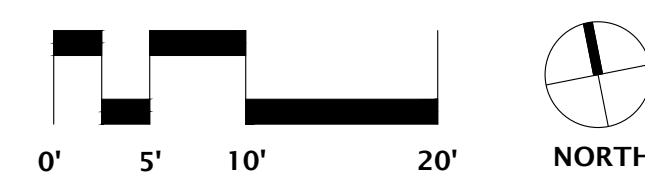
EDGE
 330 W. Spring Street, Suite 350
 Columbus, OH 43215
 614.486.3343
 www.edgeia.com



1 COURTYARD A ENLARGEMENT



2 WILKINS COURTYARD ENLARGEMENT



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PLANTING CONSTRUCTION NOTES:

- 1 CONCRETE SIDEWALK
- 2 BASKETBALL COURT - ASPHALT WITH SURFACE COATING AND TWO GOALS.
- 3 MASONRY PIERS AND DECORATIVE METAL FENCE.
- 4 BLANK VINYL COATED CHAIN LINK FENCE, 6' HEIGHT.
- 5 LAWN/PLANT BED, SEE SHEET L4.01.
- 6 DECORATIVE CONCRETE
- 7 METAL PLANTER WITH WOOD TOPPER SEAT.
- 8 SWING BENCHES WITH OVERHEAD TRELLIS.
- 9 PICNIC TABLES
- 10 LOOSE FURNISHINGS
- 11 SPECIAL BENCH
- 12 SEAT WALLS WITH WOOD TOPPER
- 13 COUNTER HEIGHT WORK TABLE WITH POWER
- 14 TRELLIS WITH TWINING VINES
- 15 GRAVEL PATH THROUGH NATIVE PLANTING LEARNING GARDENS
- 16 UNIT PAVERS
- 17 CHILL LOUNGE CHAIRS
- 18 TABLE TENNIS
- 19 RAISED CONCRETE PLANTER
- 20 BOCCIE COURT - CONCRETE CURB WITH CRUSHED AGGREGATE INFILL

LEGEND:

- UNIT PAVER - TYPE A
- UNIT PAVER - TYPE B
- DECORATIVE CONCRETE, BUFF WASH WITH INTEGRAL COLOR
- DECORATIVE CONCRETE, BUFF WASH

| # | DATE | CHANGE DESCRIPTION |
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W Wellington Upper School
Renovation
3650 REED ROAD COLUMBUS, OH 43220
FOR
THE WELLINGTON SCHOOL

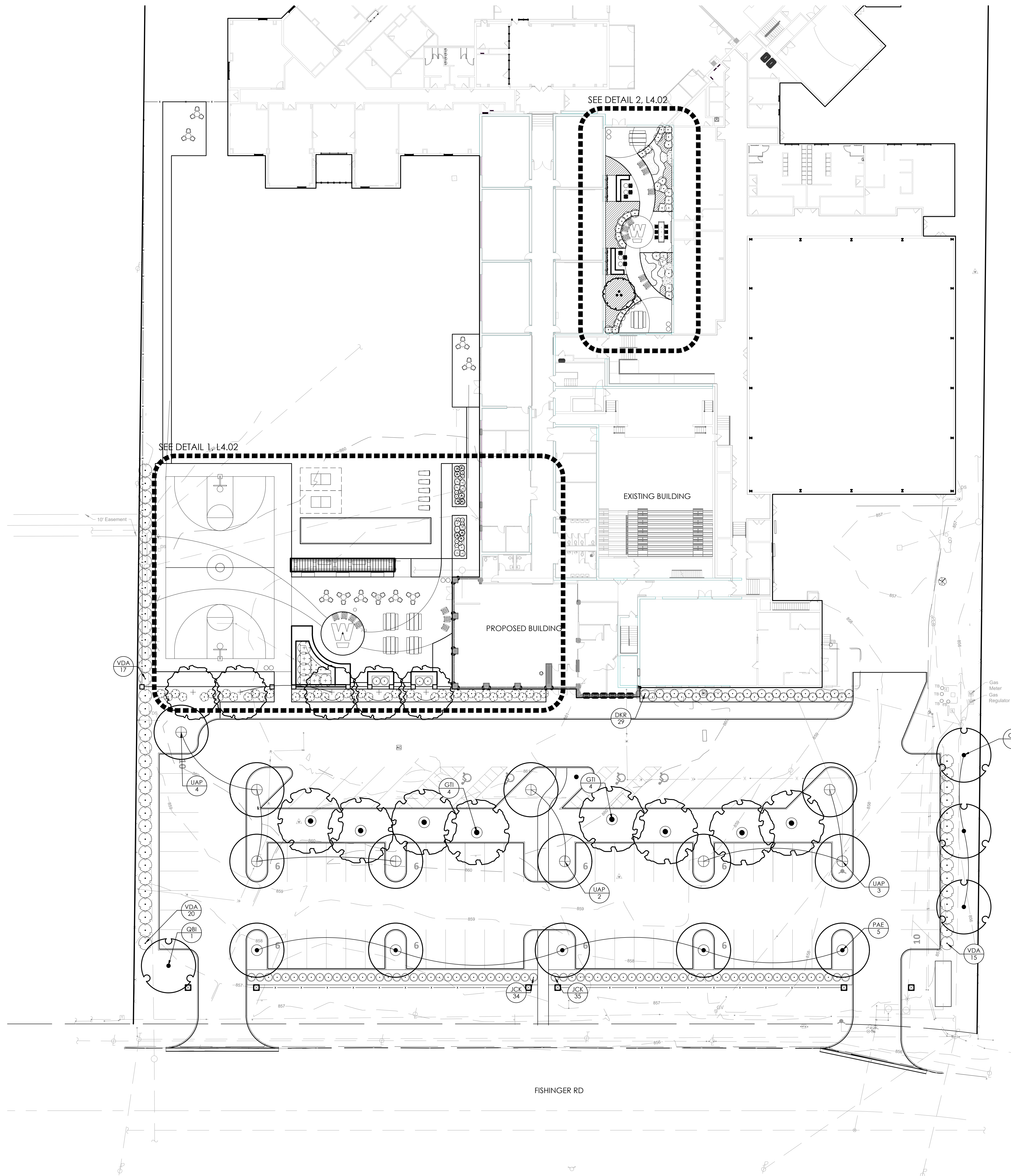
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: 614-461-4664

Moody Nolan

DRAWING TITLE:
ENLARGED LAYOUT & MATERIAL PLANS

| | |
|-----------------------------|-------------|
| | 01/26/2026 |
| | 24597 |
| | L201 |
| Design Development Progress | |

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330 W. Spring Street, Suite 350
Columbus, OH 43215
614.486.3343
www.edgega.com



GENERAL NOTES:


1. EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
2. CONTRACTOR IS RESPONSIBLE FOR COST OF REPAIRS TO EXISTING CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR DAMAGES TO THE SATISFACTION OF THE OWNER.
3. ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD BARK MULCH BED.
4. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LAWN AREAS.
5. FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
6. CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION. SEE PLAN.
7. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
8. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.

LEGEND:

- DECIDUOUS TREE - TYPE A, B, OR C PER UPPER ARLINGTON CODE OF ORDINANCES, -ARTICLE 6 DEVELOPMENT STANDARDS - 6.07, LANDSCAPING, SCREENING, AND BUFFERING.
- BUFFER HEDGE ROW FOR HEADLIGHT SCREENING

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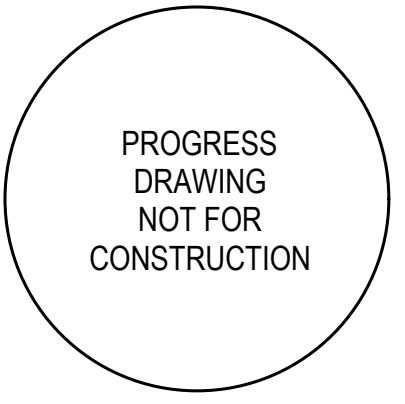
W Wellington Upper School Renovation
3650 REED ROAD COLUMBUS, OH 43220
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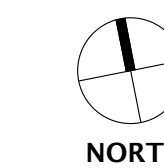
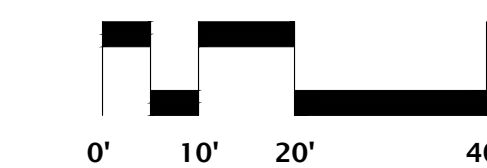
Moody Nolan

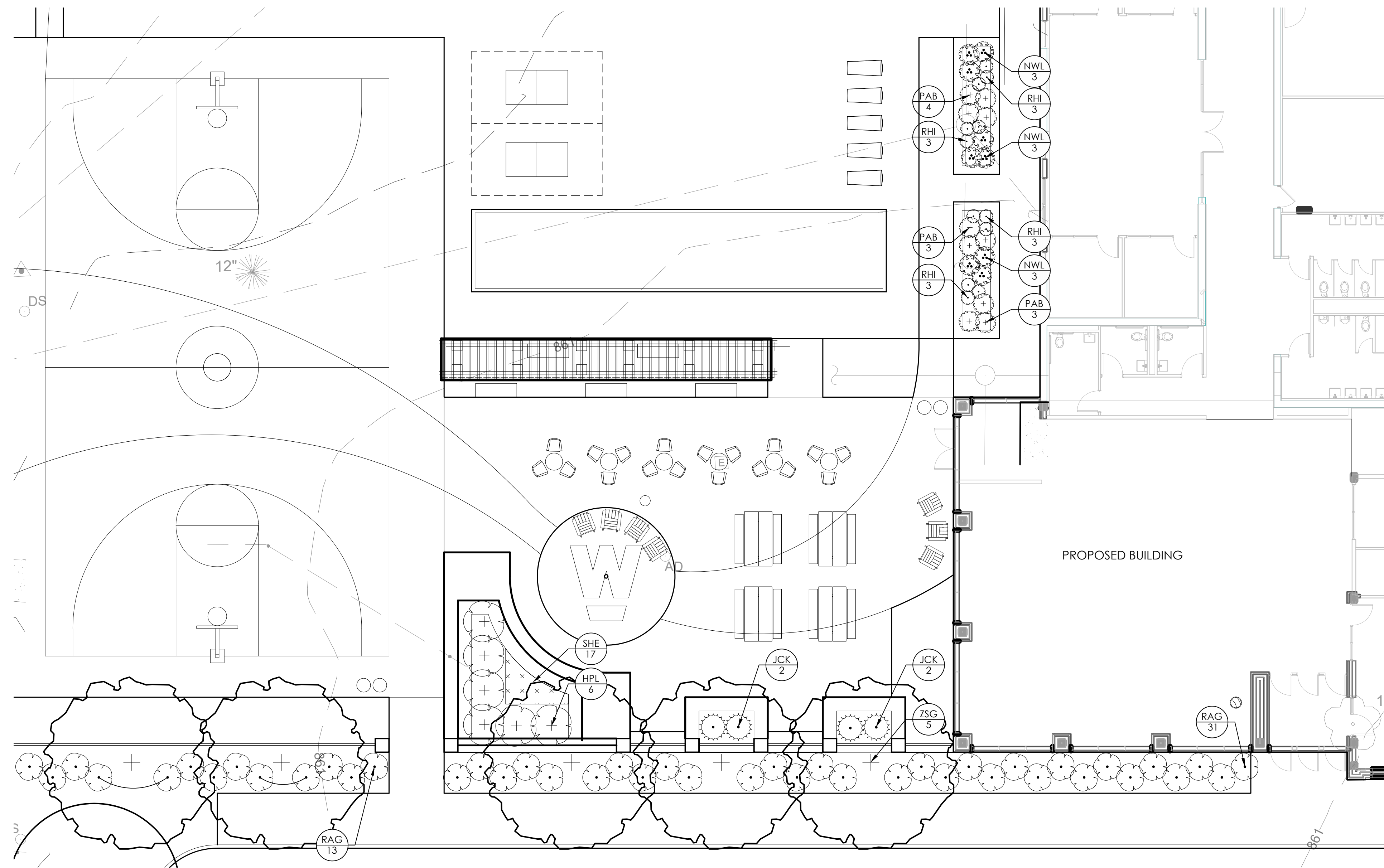
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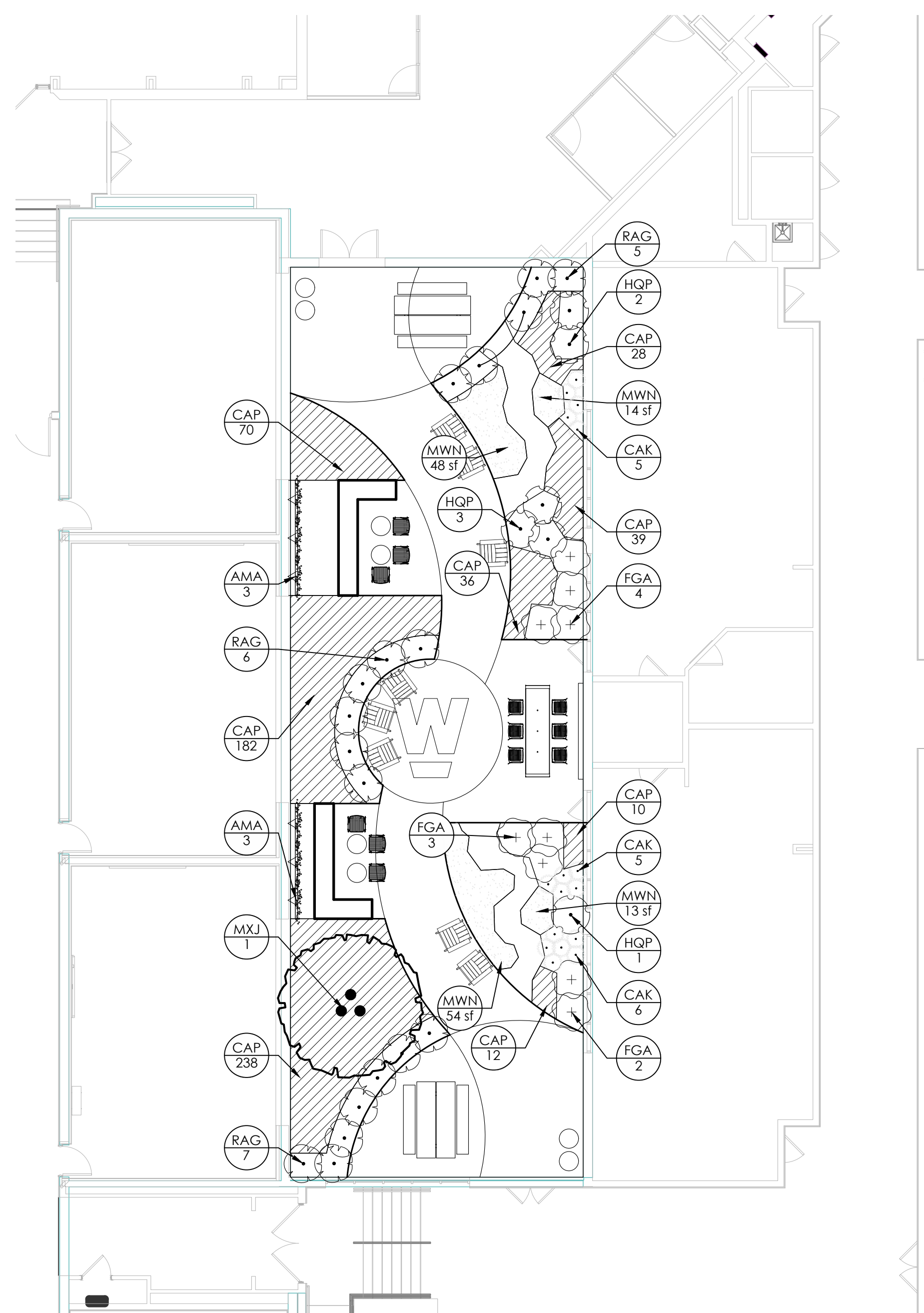
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|---|-------------|
|  | 01/26/2026 |
| | 24597 |
| | L401 |
| Design Development Progress | |

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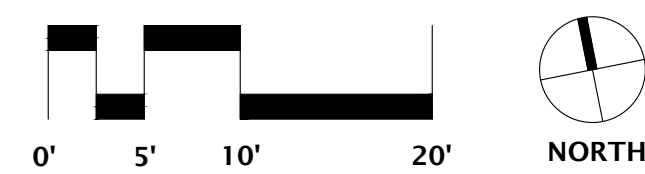




1 COURTYARD A ENLARGEMENT



2 WILKINS COURTYARD ENLARGEMENT



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PLANTING CONSTRUCTION NOTES:

- 1 REPAIR LAWN AREA. FILL VOIDS WITH TOPSOIL AS REQUIRED AND MEET ADJACENT SURFACES FLUSH. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- 2 NEW LAWN AREA. FILL AREA WITH CLEAN FILL, AS REQUIRED TO BRING TO GRADE. PROVIDING TOPSOIL ON TOP 6" AND MEETING ADJACENT SURFACES FLUSH. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- 3 LANDSCAPE AREA. PROVIDE MINIMUM DEPTH OF 18" SOIL MIX FOR SHRUBS AND PERENNIALS AND 24" DEPTH SOIL MIX WHEN TREES ARE PLANTED IN BED. SEE SPECIFICATIONS FOR SOIL MIX. HOLD TOP OF SOIL DOWN 3" FROM TOP OF CURB AND/OR ADJACENT PAVEMENT TO ALLOW FOR INSTALLATION OF MULCH. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.

| # | DATE | CHANGE DESCRIPTION |
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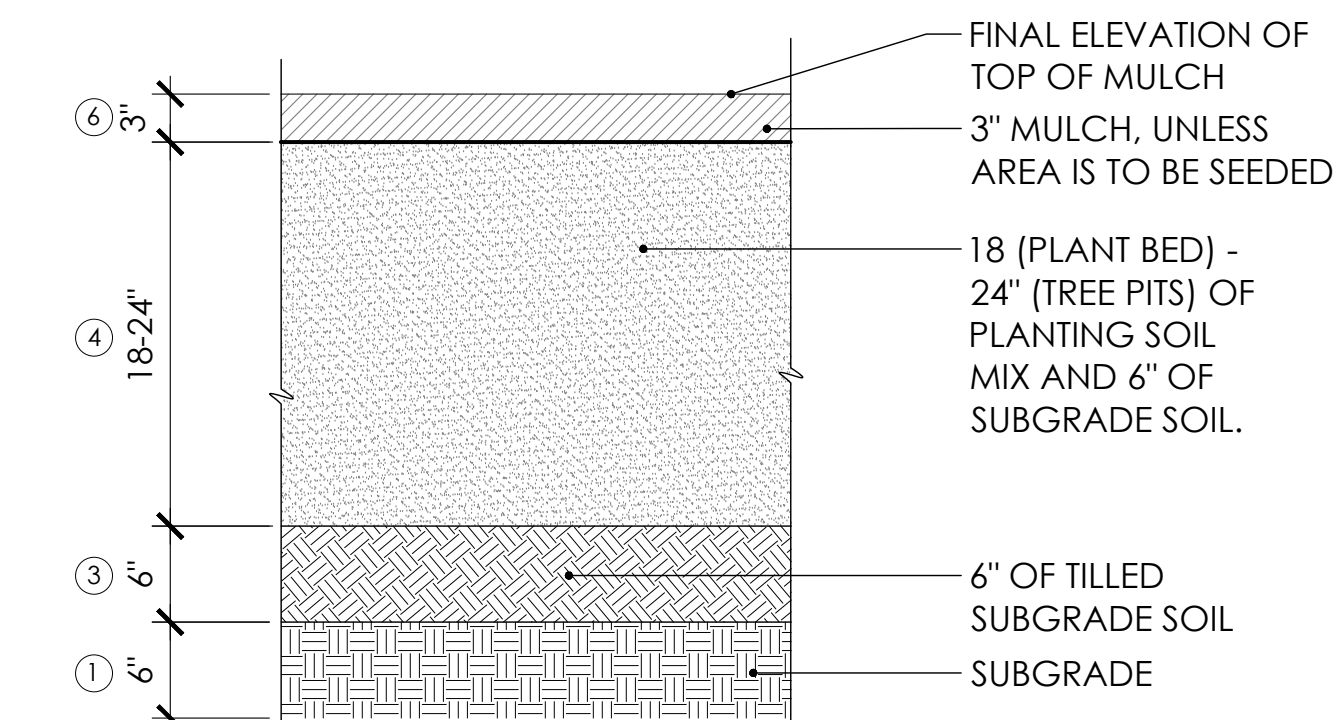
W Wellington Upper School
Renovation
3650 REED ROAD COLUMBUS, OH 43220
FOR
THE WELLINGTON SCHOOL

MN 300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: 614-461-4664

Moody Nolan
DRAWING TITLE:
ENLARGED PLANTING PLAN

| | |
|-----------------------------|-------------|
| | 01/26/2026 |
| | 24597 |
| | L402 |
| Design Development Progress | |

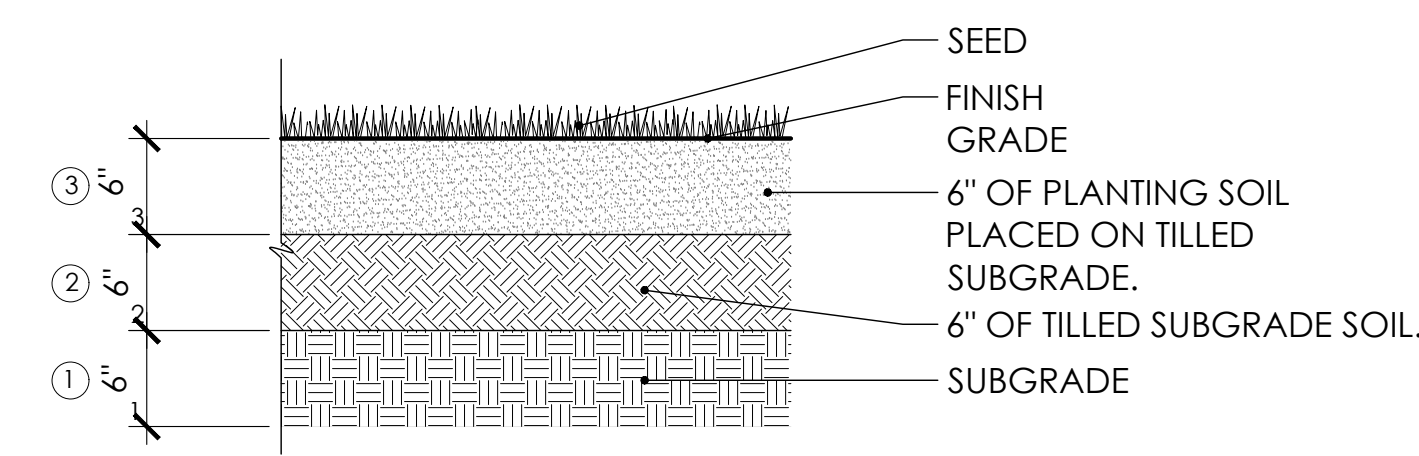
EDGE
330 W. Spring Street, Suite 350
Columbus, OH 43215
614.486.3343
www.edgega.com



PLANTING BED PREPARATION SEQUENCE

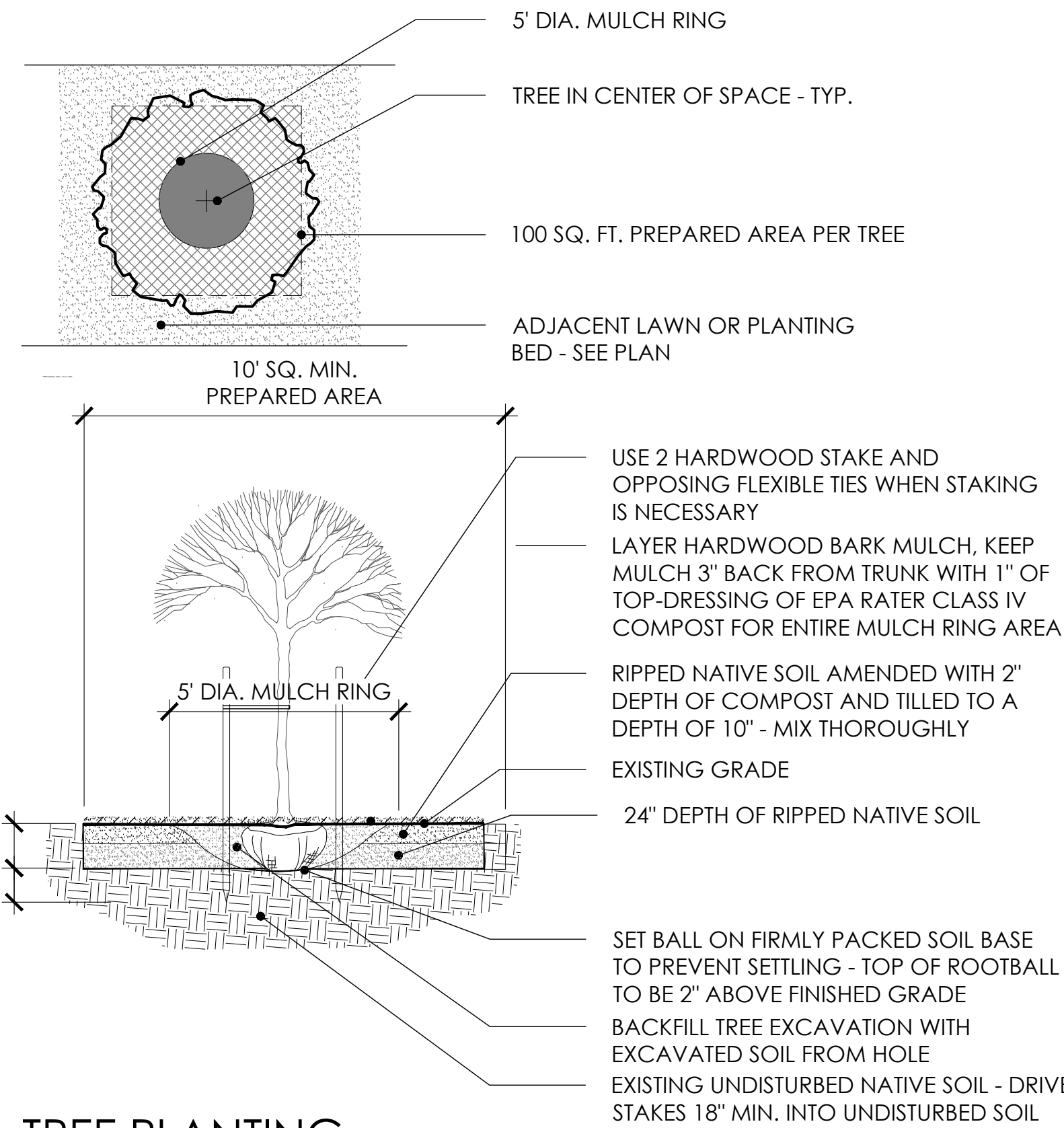
1. TILL SUBGRADE 12" DEEP.
2. ADD 6" OF PLANTING SOIL MIX.
3. TILL THE 6" OF PLANTING SOIL MIX INTO TOP 6" OF PREVIOUSLY TILLED SUBGRADE SOIL.
4. ADD REMAINING PLANTING SOIL MIX.
5. INSTALL PLANT MATERIAL.
6. ADD 3" OF MULCH.

1 PLANTING SOIL - 24" DEPTH
NTS



NOTES:

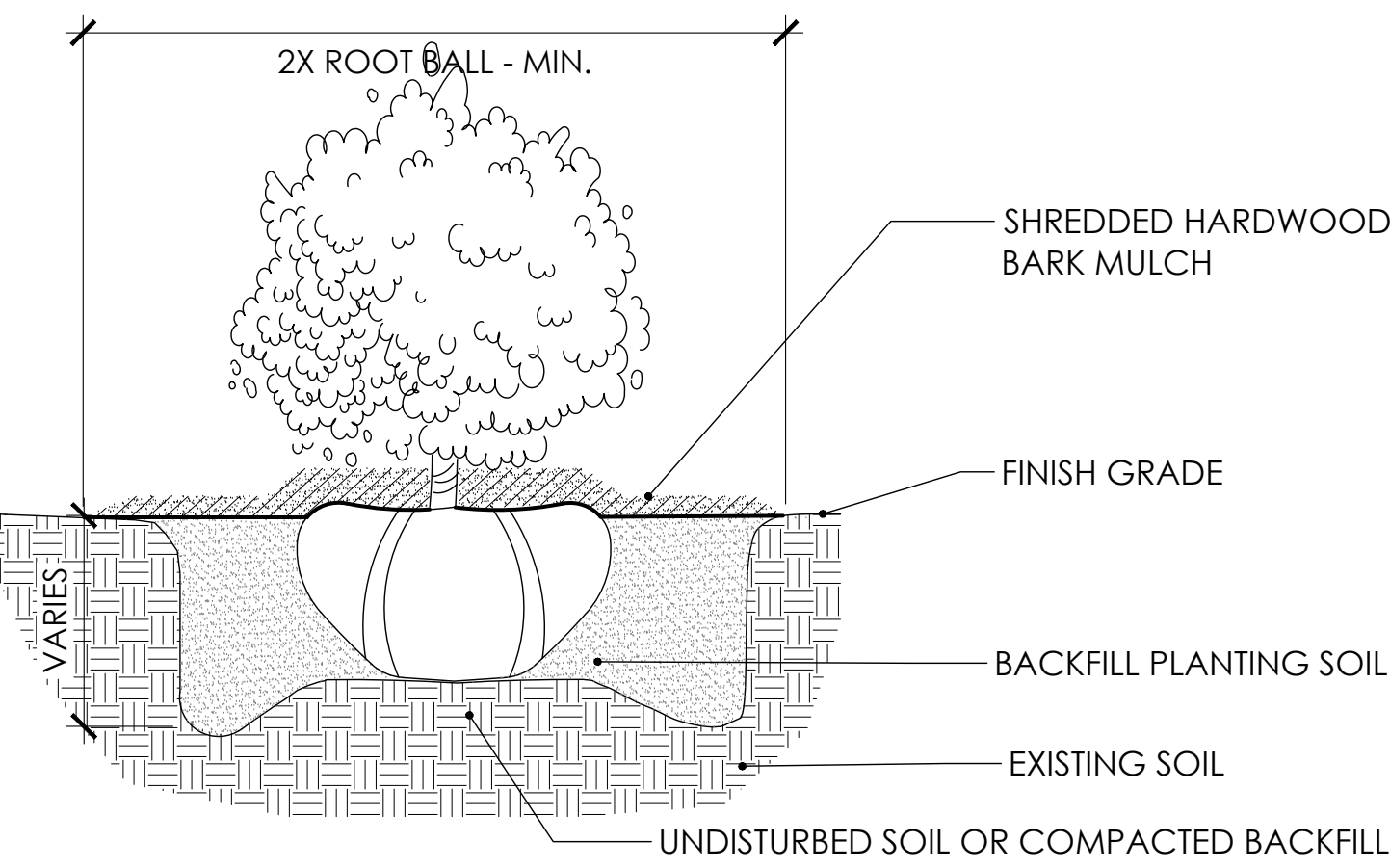
1. REMOVE EXCESS SOIL FROM ROOTBALL TO EXPOSE ROOT FLAIR AND TRIM ANY SECONDARY/ADVENTITIOUS, GIRDLING AND POTENTIAL GIRDLING ROOTS WITH CLEAN, SHARP PRUNING TOOLS.
2. REMOVE ALL METAL TIES, ROPES, BURLAP ENTIRELY FROM ROOTBALL, AS WELL AS, THE TOP TWO-THIRDS OF THE WIRE BASKET (IF ANY).



4 TREE PLANTING
NTS

2 LAWN & SEED MIX SOIL - 6" DEPTH
NTS

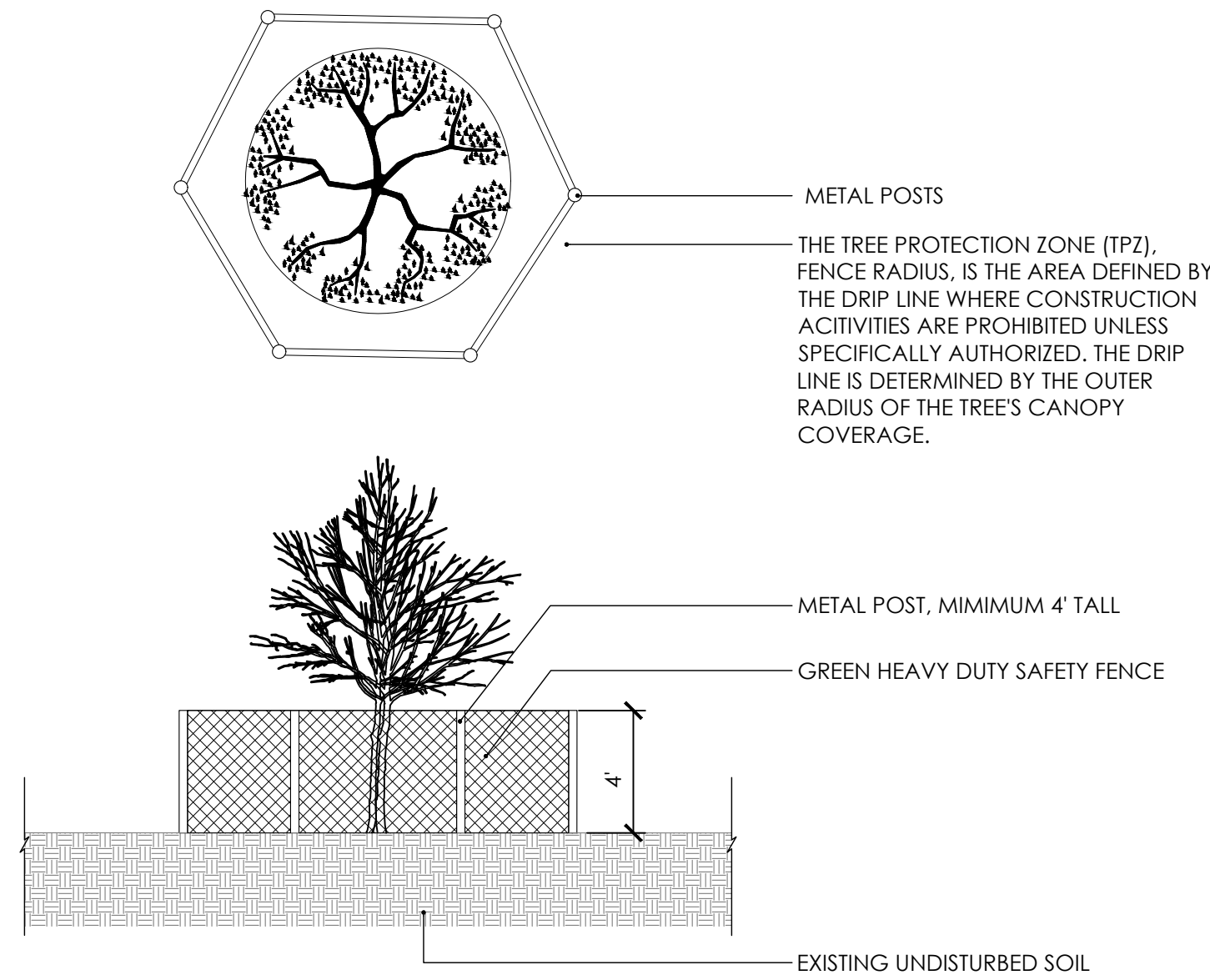
- NOTES:
1. TOP OF ROOT BALL TO BE 2" - 3" ABOVE ADJACENT FINISH GRADE
 2. REMOVE ROPE AND BURLAP FROM TOP 1/3 OF ROOT BALL. CUT TOP 1/3 OF WIRE BASKET FROM ROOT BALL. REMOVE ALL LABELS, TAGS OR OTHER FOREIGN MATERIALS FROM LIMBS.



3 SHRUB PLANTING
NTS

GENERAL NOTES:

1. FOR GROUPS OF TREES PLACE BARRICADES BETWEEN TREES AND CONSTRUCTION ACTIVITY AT THE EDGE OF THE TREES DRIP LINE / CRITICAL ROOT ZONE.
2. TREE PROTECTION IS REQUIRED WHEN CONSTRUCTION ACTIVITY ENCLOSES THE TREE DRIP LINE / CRITICAL ROOT ZONE.
3. CONTRACTOR IS LIABLE FOR ALL DAMAGES CAUSED TO TREES, INCLUDING COMPACTION OF SOIL WITHIN THE DRIP LINE / CRITICAL ROOT ZONE.



5 TREE PROTECTION FENCING
NTS

| PLANT SCHEDULE | | | | | |
|-------------------------|-----|---|----------------------------------|---------|----------------|
| CODE | QTY | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER |
| DECIDUOUS TREES | | | | | |
| GTI | 8 | GLEDITSIA TRIACANTHOS INERMIS | THORNLESS HONEY LOCUST | 3" CAL. | B&B |
| PAE | 6 | PLATANUS X ACERIFOLIA 'EXCLAMATION' | EXCLAMATION LONDON PLANE TREE | 3" CAL. | B&B |
| QBI | 4 | QUERCUS BICOLOR | SWAMP WHITE OAK | 3" CAL. | B&B |
| UAP | 9 | ULMUS AMERICANA 'PRINCETON' | PRINCETON AMERICAN ELM | 3" CAL. | B&B |
| ZSG | 5 | ZELKOVA SERRATA 'GREEN VASE' | GREEN VASE JAPANESE ZELKOVA | 3" CAL. | B&B |
| ORNAMENTAL TREES | | | | | |
| MXJ | 1 | MAGNOLIA X 'JANE' | JANE MAGNOLIA | 3" CAL. | B&B |
| SHRUBS | | | | | |
| AMA | 6 | ARISTOLOCHIA MACROPHYLLA | DUTCHMAN'S PIPE | #2 | CONT. |
| DKR | 29 | DIERVILLA X 'G2X885411' | KODIAK RED DIERVILLA | #3 | CONT. |
| FGA | 9 | FOTHERGILLA GARDENII | DWARF FOTHERGILLA | #3 | CONT. |
| HPL | 6 | HYDRANGEA PANICULATA 'LIMELIGHT' | LIMELIGHT PANICLE HYDRANGEA | #3 | CONT. |
| HQP | 6 | HYDRANGEA QUERCIFOLIA 'PEE WEE' | PEE WEE OAKLEAF HYDRANGEA | #3 | CONT. |
| JCK | 73 | JUNIPERUS CHINENSIS 'KALLAYS COMPACT' | KALLAY COMPACT PFITZER JUNIPER | 2 GAL. | CONT. |
| NWL | 9 | NEPETA X 'WALKER'S LOW' | WALKER'S LOW CATMINT | #2 | CONT. |
| PAB | 10 | PEROVSKIA ABROTANOIDES | RUSSIAN SAGE | #2 | CONT. |
| RAG | 62 | RHUS AROMATICA 'GRO-LOW' | GRO-LOW FRAGRANT SUMAC | #2 | CONT. |
| VDA | 53 | VIBURNUM DENTATUM 'ARROWWOOD' | ARROWWOOD VIBURNUM | #3 | CONT. |
| VRA | 1 | VIBURNUM X RHYTIDOPHYLLOIDES 'ALLEGHANY' | ALLEGHANY VIBURNUM | #3 | CONT. |
| GRASSES | | | | | |
| CAK | 16 | CALAMAGROSIS X ACUTIFLORA 'KARL FOERSTER' | KARL FOERSTER FEATHER REED GRASS | #3 | CONT. |
| PERENNIALS | | | | | |
| RH | 12 | RUDBECKIA HIRTA | BLACK-EYED SUSAN | #2 | CONT. |
| GROUND COVERS | | | | | |
| 615 | | CAREX PENNSYLVANICA | PENNSYLVANIA SEDGE | #1 | 12" O.C. CONT. |
| 129 SF | | MIDWEST WILDFLOWER NATIVE SEED MIX | OPN SEED | SEED | |
| 17 | | SPOROBOLUS HETEROLEPIS | PRAIRIE DROPSSEED | #1 | 18" O.C. |

| # | DATE | CHANGE DESCRIPTION |
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W Wellington Upper School
Renovation
3650 REED ROAD COLUMBUS, OH 43220
FOR
THE WELLINGTON SCHOOL

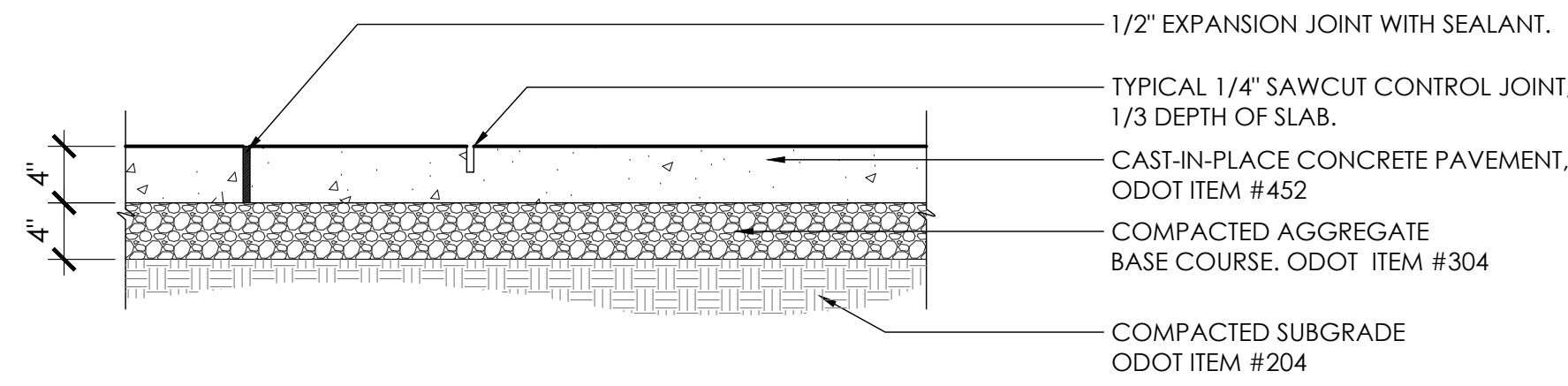
MN 300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: 614-461-4664

Moody Nolan

DRAWING TITLE:

PLANTING DETAILS AND SCHEDULE

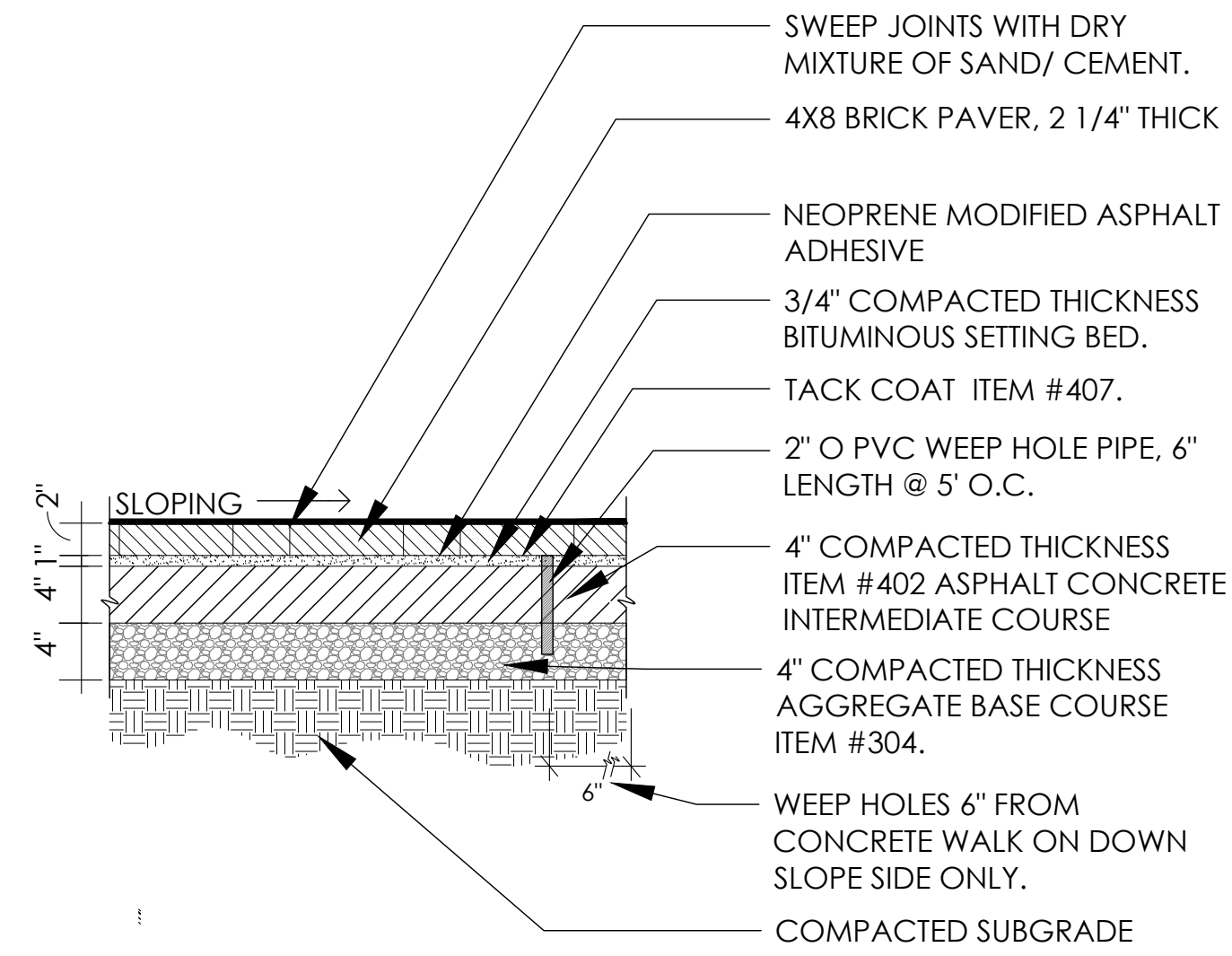
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| | 01/26/2026 |
| | 24597 |
| | L403 |
| | Design Development Progress |



- NOTES:
1. EXPANSION AND CONTROL JOINTS AS SHOWN ON PLAN. IF NOT INDICATED, EXPANSION JOINTS TO BE 30'-0" O.C. CONTROL JOINTS TO BE @ 5'-0" O.C.
 2. PROVIDE MEDIUM BROOM FINISH PERPENDICULAR TO FOOT TRAFFIC ON ALL CONCRETE SURFACES AFTER JOINT & EDGE TOOLING. PROVIDE 1/4" RADIUS ON ALL SLAB EDGES.

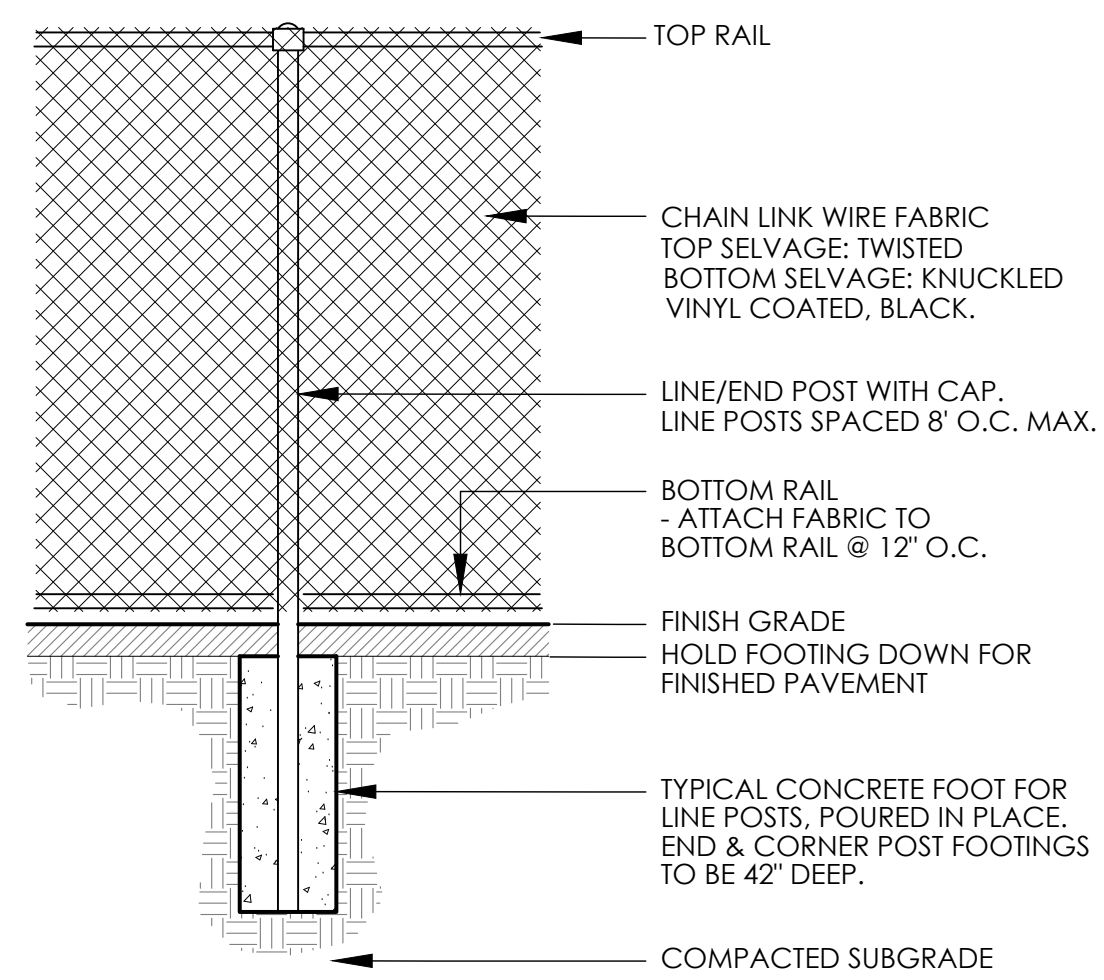
1 CONCRETE PAVEMENT

SCALE: 1" = 1'-0"



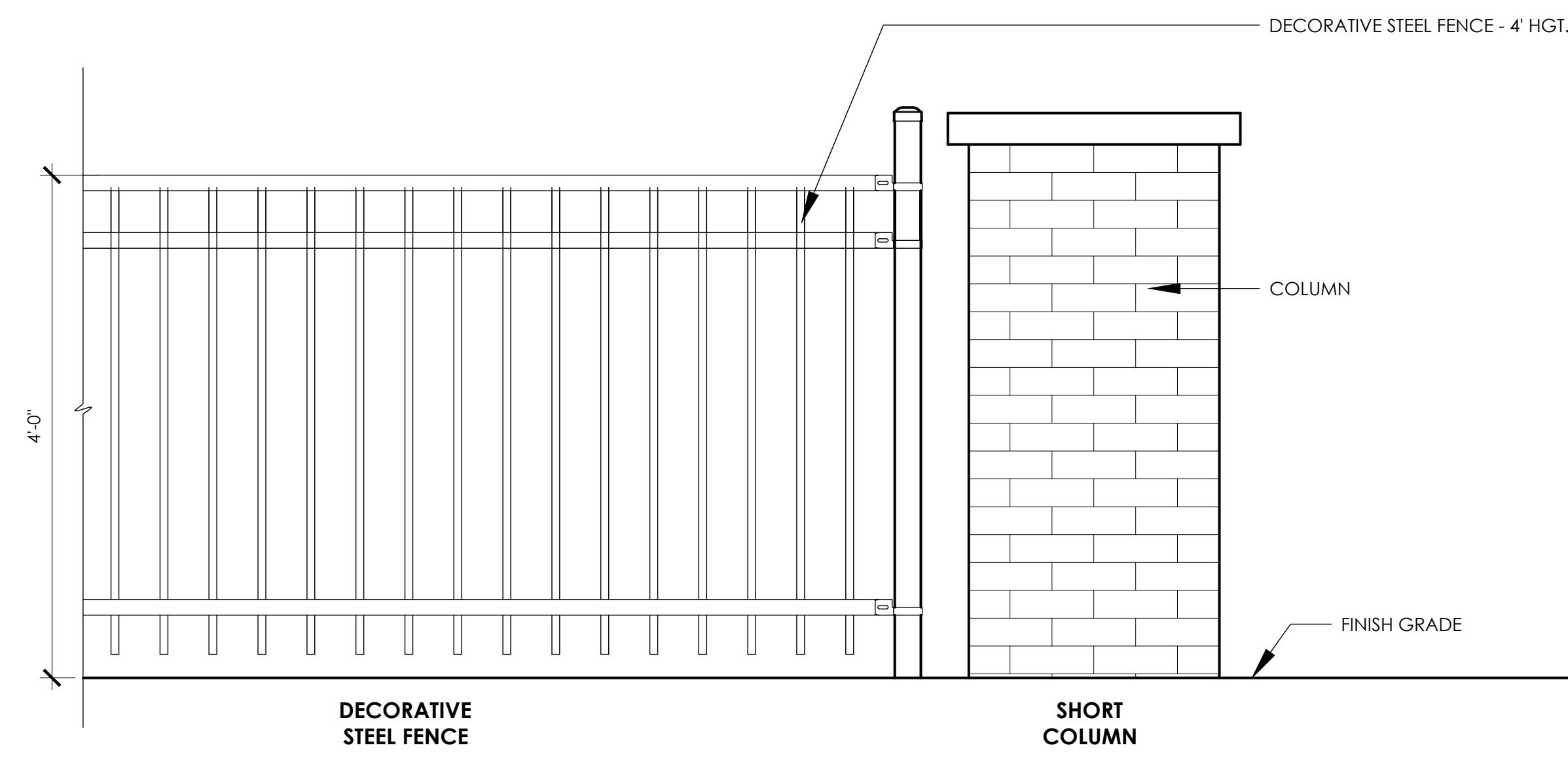
2 BRICK PAVERS - ASPHALT BASE

SCALE: 1" = 1'-0"



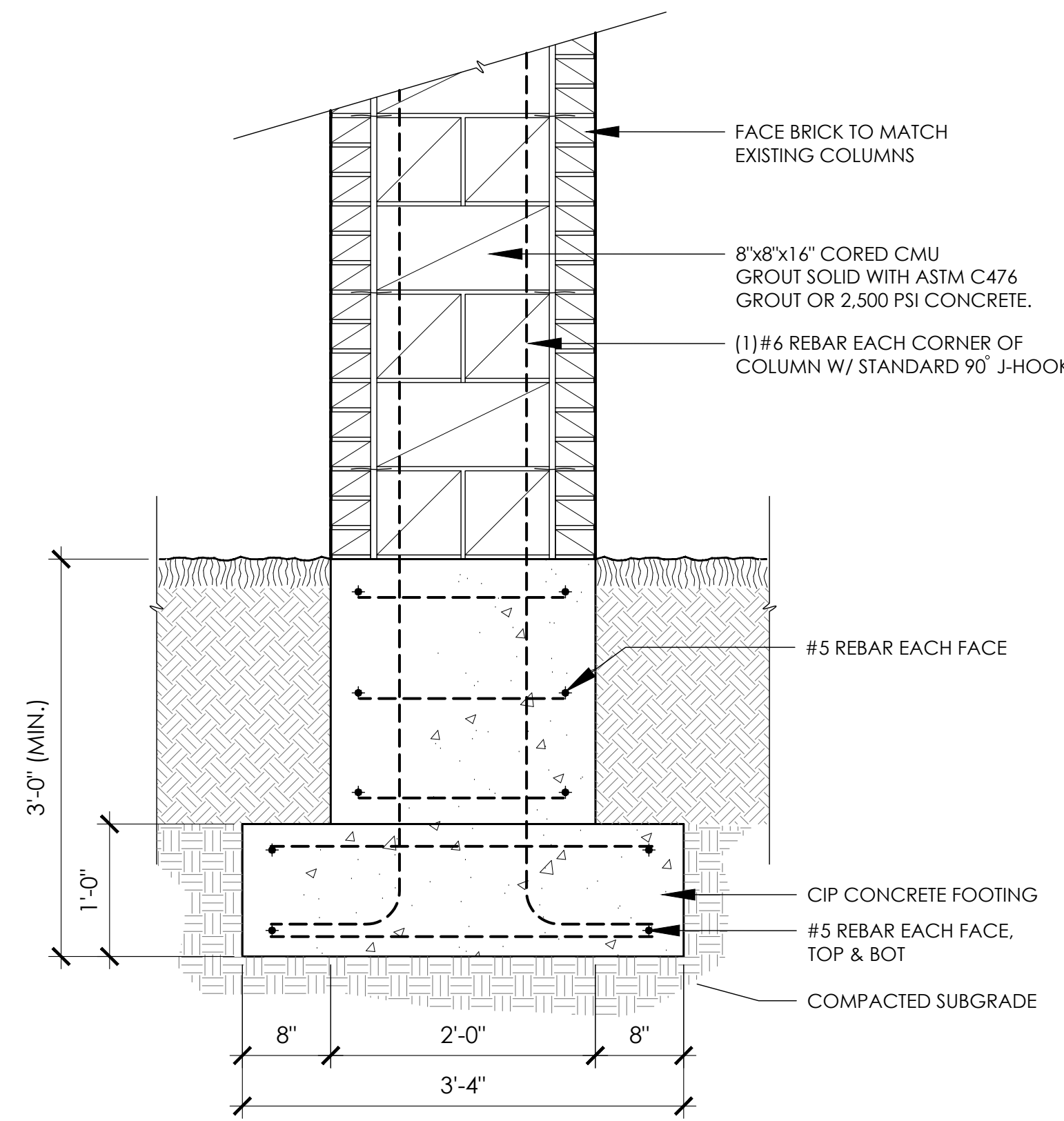
3 6' CHAIN LINK FENCE

SCALE: 1/2" = 1'-0"



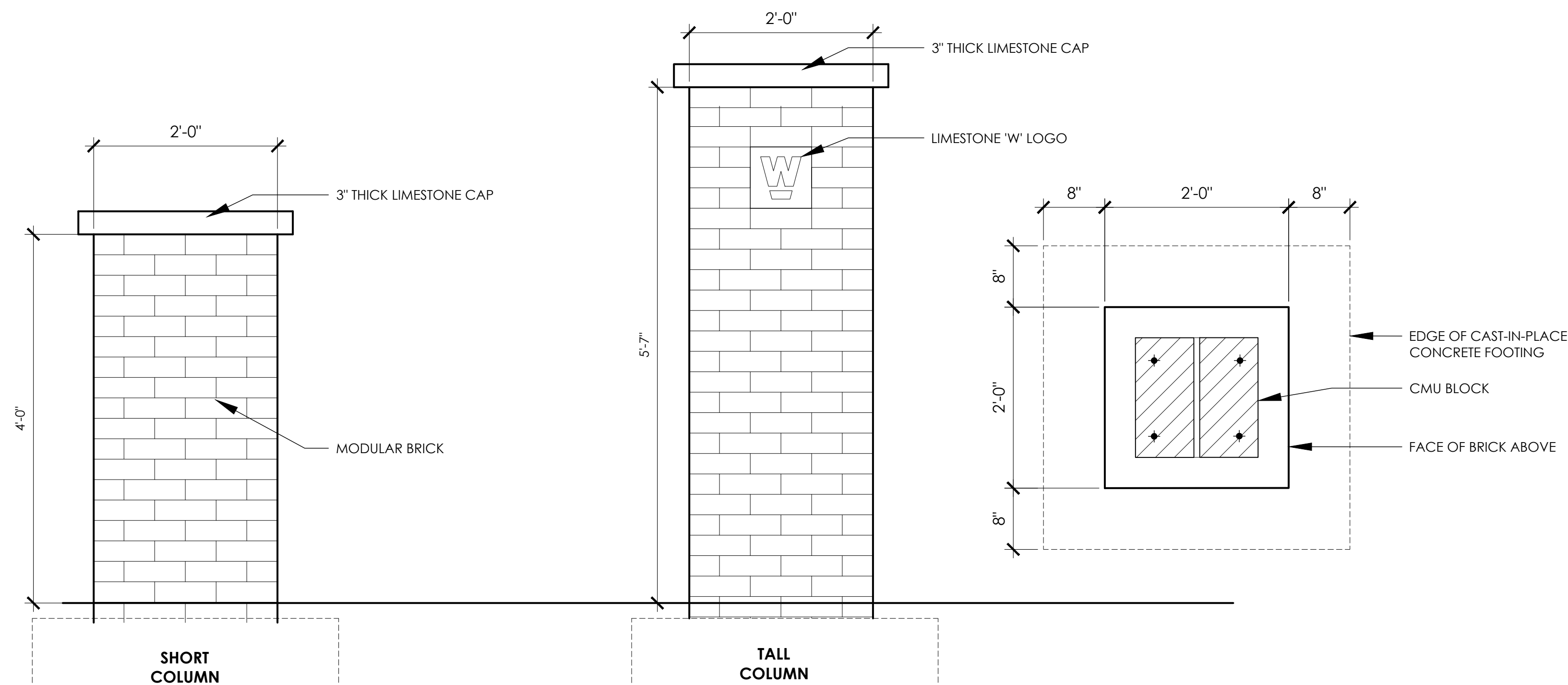
4 SHORT COLUMN & FENCE - ELEVATION

SCALE: 1" = 1'-0"



5 COLUMN - SECTION

SCALE: 1" = 1'-0"



6 COLUMN - ELEVATIONS

SCALE: 1" = 1'-0"

| # | DATE | CHANGE DESCRIPTION |
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Wellington Upper School Renovation
 3650 REED ROAD COLUMBUS, OH 43220
 FOR THE WELLINGTON SCHOOL

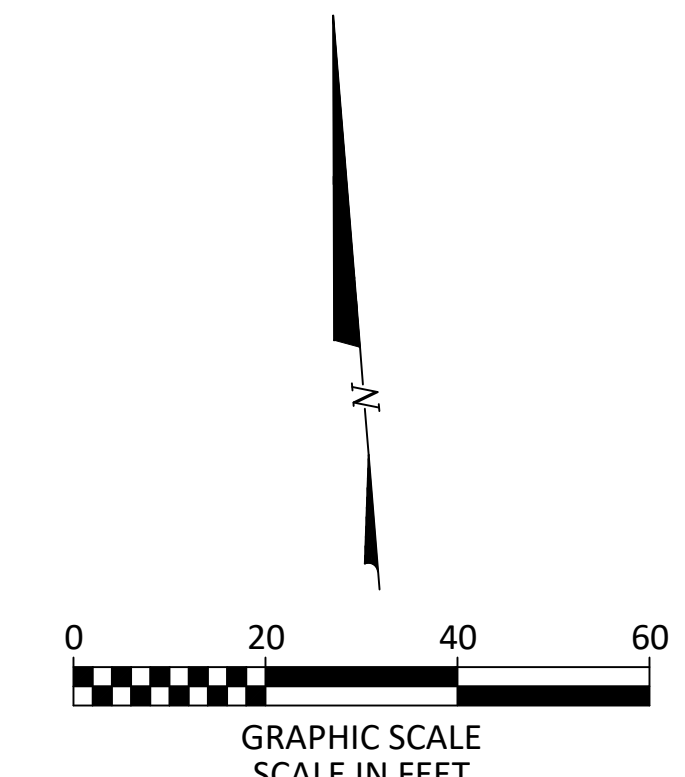
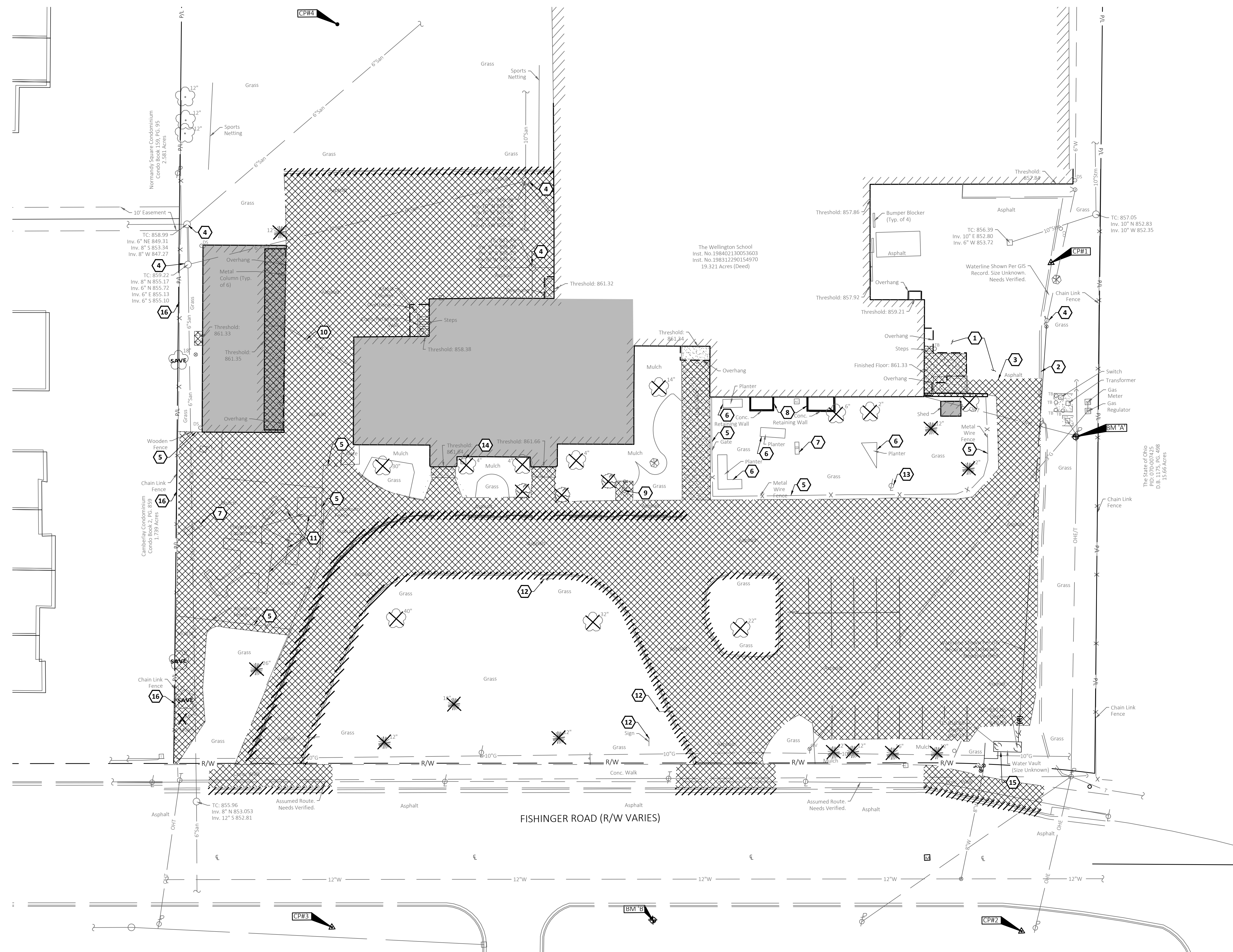
Moody Nolan
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: 614-461-4664

SITE DETAILS

PROGRESS DRAWING NOT FOR CONSTRUCTION

01/26/2026
 24597
L501
 Design Development Progress

EDGE
 330 W. Spring Street, Suite 350
 Columbus, OH 43215
 614.486.3343
 www.edgega.com



DEMOLITION LEGEND

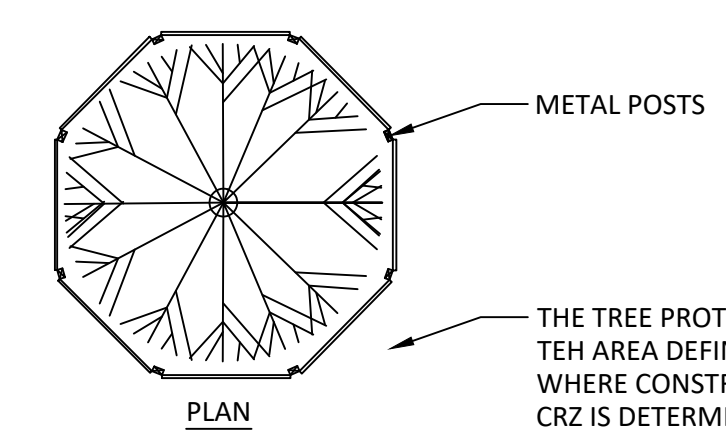
- EXISTING**
REFER TO SHEET TS100
- PROPOSED**
- EXISTING TREE REMOVED BY OWNER PRIOR TO PROJECT.
 - PROTECT EXISTING TREE TO REMAIN PER DETAIL A/THIS SHEET.
 - REMOVE EXISTING ASPHALT, GRAVEL AND CONCRETE PAVEMENT, CONCRETE SIDEWALK, BUILDING FOUNDATION, AND PAVEMENT BASE MATERIALS
 - REMOVE EXISTING STRUCTURE AND ASSOCIATED FOUNDATIONS AND UTILITY LINES. REFER TO ARCHITECTURAL PLANS
 - REMOVE EXISTING CONCRETE CURB
 - REMOVE EXISTING STUMP AND ASSOCIATED ROOTS
 - REMOVE EX. STRUCTURE
 - CUT AND PLUG EXISTING UTILITY
 - ABANDON EXISTING UTILITY
 - REMOVE EXISTING UTILITY

GENERAL NOTES:

1. SITE SURVEY PERFORMED BY KORDA AND NEMETH, DATED 09/29/2025. REFER TO SHEET TS100 FOR ALL EXISTING SITE FEATURES.
2. DISPOSE OF CONSTRUCTION DEBRIS OFF-SITE IN ACCORDANCE WITH LOCAL CODES.
3. REMOVE AND DISPOSE OF ON SITE FEATURES AS SHOWN ON THE PLAN.
4. SAW-CUT EXISTING PAVEMENT AT LIMITS OF PAVEMENT REMOVAL TO FULL DEPTH USING CARE TO CUT NEAT, STRAIGHT LINES. CUT AT EXISTING JOINTS WHERE POSSIBLE.
5. CONTRACTOR TO PROTECT EXISTING SITE FEATURES TO REMAIN OUTSIDE CONSTRUCTION LIMITS. REPAIR ANY DAMAGE TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
6. CONTROL DUST AT THE SITE. PROVIDE STREET CLEANING WHEN NECESSARY, AND WHEN REQUESTED BY OWNER.
7. GRADE SITE DURING CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE TO EXISTING AND/OR PROPOSED STORM WATER MANAGEMENT SYSTEMS.
8. PERFORM WORK IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS.

CODING NOTES:

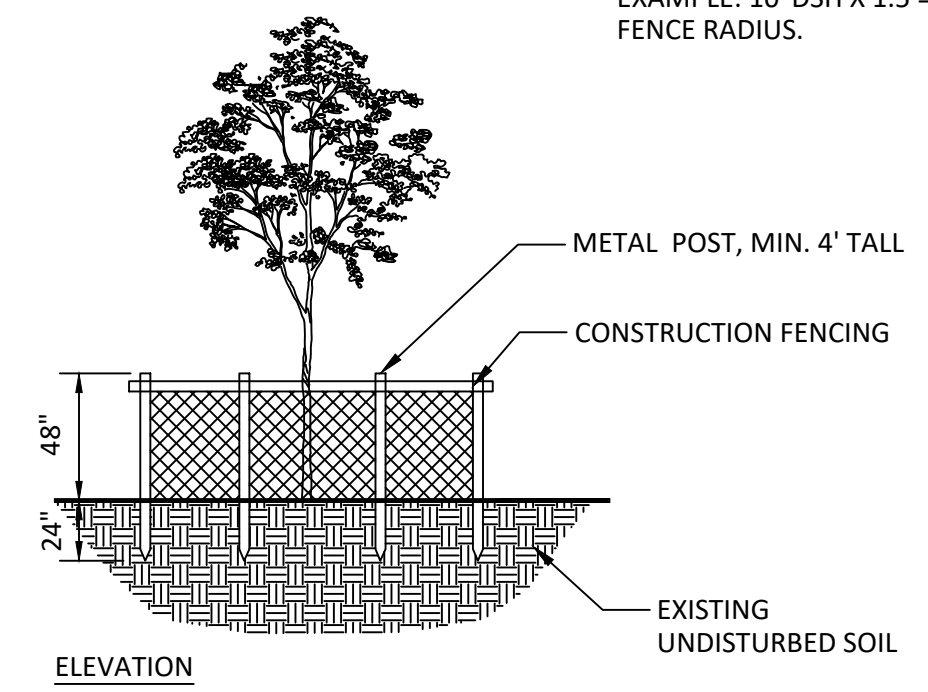
1. PROTECT EXISTING PAVEMENT/SIDEWALK TO REMAIN.
2. PROTECT EXISTING CONCRETE CURB OR CURB AND GUTTER TO REMAIN.
3. SAWCUT EXISTING PAVEMENT WITH NEAT, STRAIGHT LINES. MATCH EXISTING PAVEMENT GRADE AT THIS POINT.
4. PROTECT EXISTING UTILITY STRUCTURE TO REMAIN. ADJUST TO FINAL GRADE.
5. REMOVE EXISTING FENCE, POSTS, AND ASSOCIATED FOUNDATIONS.
6. REMOVE EXISTING PLANTER.
7. REMOVE EXISTING BENCH. SALVAGE AND RETURN TO OWNER.
8. PROTECT EXISTING CONCRETE WALL.
9. REMOVE EXISTING FLAG POLE.
10. REMOVE EXISTING OVERHEAD ELECTRIC OR TELEPHONE LINE. REMOVE CONDUCTORS BACK TO SOURCE. CONTACT THE POWER COMPANY TO DE-ENERGIZE ELECTRICAL SERVICE PRIOR TO DEMOLITION.
11. REMOVE EXISTING PLAYGROUND EQUIPMENT. SALVAGE AND RETURN TO OWNER.
12. REMOVE EXISTING SIGN. SALVAGE AND RETURN TO OWNER.
13. REMOVE EXISTING LIGHT POLE AND FOUNDATION PER ELECTRICAL DRAWINGS.
14. REMOVE EXISTING AIR CONDITIONING UNIT AND ASSOCIATED CONCRETE SLAB AND UNDERGROUND UTILITY LINES.
15. REFER TO SHEET C302 FOR WATER DEMOLITION DETAILS.
16. REMOVE EXISTING CHAIN LINK FENCE.



PLAN

METAL POSTS

THE TREE PROTECTION ZONE (TPZ), FENCE RADIUS, IS TEN AREA DEFINED BY THE CRITICAL ROOT ZONE (CRZ) WHERE CONSTRUCTION ACTIVITIES ARE PROHIBITED. CRZ IS DETERMINED BY THE DSH (TRUNK DIAMETER AT STANDARD HEIGHT) WHICH IS MEASURED 4.5' ABOVE GROUND IN INCHES AND A MULTIPLIER BY 1.5. EXAMPLE: 10" DSH X 1.5 = 15" CRZ, TREE PROTECTION FENCE RADIUS.



ELEVATION

A DETAIL
TREE PROTECTION DETAIL (STD. DWG. 1703)

- GENERAL NOTES:**
1. FOR GROUPS OF TREES PLACE BARRICADES BETWEEN TREES AND CONSTRUCTION ACTIVITY AT THE EDGE OF THE TREE CRITICAL ROOT ZONE.
 2. TREE PROTECTION IS REQUIRED WHEN CONSTRUCTION ACTIVITY ENCLOSES ON THE CRITICAL ROOT ZONE OF A TREE.
 3. SEE COLUMBUS TREE TECHNICAL MANUAL FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.

N.T.S.

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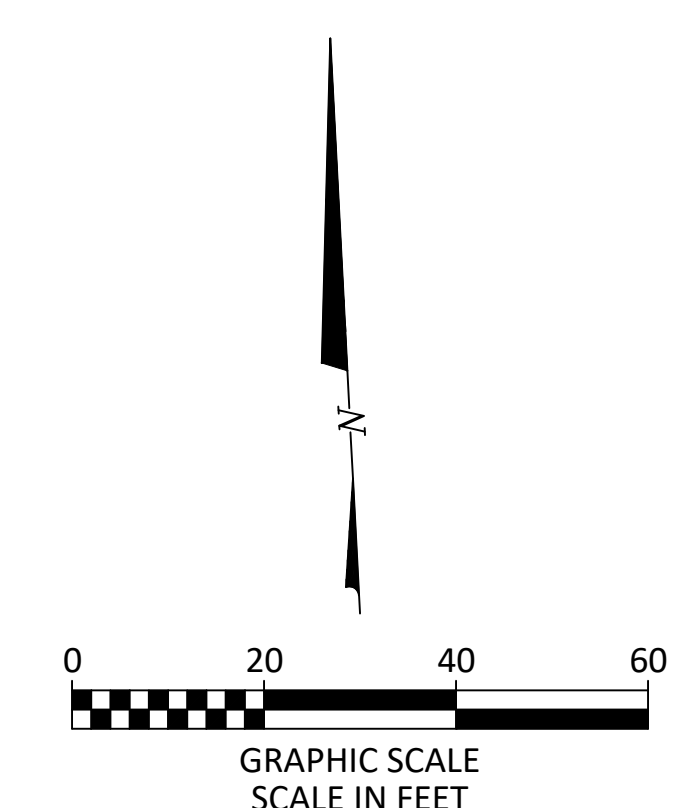
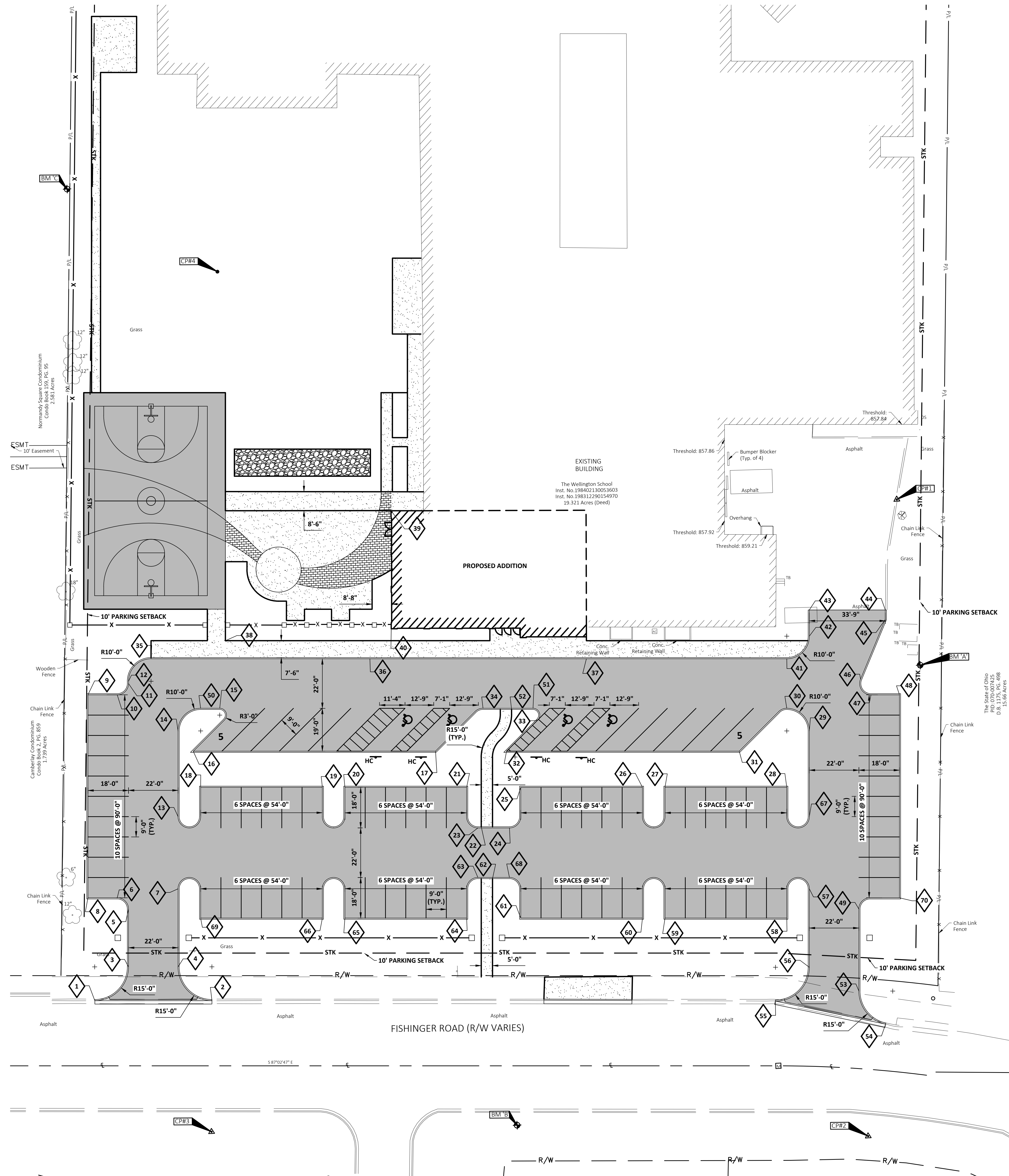
W Wellington Upper School
Renovation
3650 REED ROAD COLUMBUS, OH 43220
FOR
THE WELLINGTON SCHOOL

300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: 614-461-4664

Moody Nolan
DRAWING TITLE: **DEMOLITION PLAN**

| | |
|--|--------------------|
| | 1/26/2026 |
| | 24597 |
| | C002 |
| | Design Development |

KORDA
KORDA NEMETH ENGINEERING
WWW.KORDA.COM
DRAWN BY: CALEB HERRIOTT
DESIGNED BY: CALEB HERRIOTT
CHECKED BY: JONATHAN HAGENOW
PROJECT NUMBER: 2025-0520



STAKING LEGEND

- EXISTING**
REFER TO SHEET TS100
- PROPOSED**
- BUILDING/WALL
 - STRAIGHT CURB
 - PAVEMENT
 - WALK
 - CONSTRUCTION LIMITS
 - PAINTED WHEELCHAIR SYMBOL
 - SIGN
 - HANDICAPPED PARKING SIGN
 - ASPHALT PAVEMENT
 - CONCRETE SIDEWALK
 - BRICK PAVERS
 - GRAVEL PAVEMENT

GENERAL NOTES:

1. DIMENSIONS ARE GIVEN TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
2. CURB AND SIDEWALK RADI SHALL BE 5'-0" UNLESS OTHERWISE NOTED.
3. PROVIDE STRIPING AND SYMBOLS AS SHOWN PER ODOT ITEM 641 AND 642. PROVIDE STRIPING PAINT WITH GLASS BEADS. PROVIDE TYPE I OR TYPE IA PAINT IN ACCORDANCE WITH ODOT ITEM 642 DEPENDING ON TEMPERATURE CONDITIONS AT THE TIME OF APPLICATION. TYPICAL LINE WIDTH SHALL BE 4 INCHES. COLOR WHITE. PROVIDE TWO COATS.
4. SAWCUT FULL DEPTH SIDEWALK AND PAVEMENT WHERE NEW WORK ABUTS EXISTING CONSTRUCTION. TAKE CARE TO PROVIDE NEAT STRAIGHT LINES. PROVIDE PAVEMENT SEALANT PER ODOT ITEM 409 AT JOINT BETWEEN EXISTING AND NEW ASPHALT. REMOVE CONCRETE TO NEAREST JOINT. PROVIDE 1/2" PREFORMED EXPANSION JOINT FILLER BETWEEN NEW AND EXISTING CONSTRUCTION.
5. ANY PROPERTY PINS DAMAGED AS PART OF CONSTRUCTION SHALL BE RESET BY AN OHIO REGISTERED SURVEYOR.
6. MAINTAIN PEDESTRIAN AND VEHICULAR ACCESS TO ADJACENT BUILDINGS AT ALL TIMES DURING CONSTRUCTION.
7. REFER TO ARCHITECTURAL DRAWINGS FOR ALL SITE SIGNAGE NOT SHOWN ON THIS SHEET.
8. BUILDING COORDINATES PROVIDED FOR BUILDING LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR BUILDING LAYOUT.

| Coordinate Table | |
|------------------|----------------------|
| Northing | Easting |
| 1 | 739581.23 1810490.53 |
| 2 | 739578.57 1810542.40 |
| 3 | 739595.44 1810506.22 |
| 4 | 739594.32 1810528.19 |
| 5 | 739621.03 1810507.54 |
| 6 | 739626.28 1810502.80 |
| 7 | 739628.88 1810529.97 |
| 8 | 739626.95 1810489.82 |
| 9 | 739716.83 1810494.46 |
| 10 | 739716.16 1810507.44 |
| 11 | 739720.89 1810512.69 |
| 12 | 739721.89 1810512.74 |
| 13 | 739660.84 1810531.62 |
| 14 | 739698.79 1810533.58 |
| 15 | 739707.82 1810525.53 |
| 16 | 739689.45 1810539.81 |
| 17 | 739683.92 1810647.15 |
| 18 | 739673.31 1810542.28 |
| 19 | 739670.52 1810596.20 |
| 20 | 739670.01 1810606.19 |

| Coordinate Table | |
|------------------|----------------------|
| Northing | Easting |
| 21 | 739667.22 1810660.12 |
| 22 | 739649.41 1810665.69 |
| 23 | 739648.99 1810664.19 |
| 24 | 739648.27 1810678.17 |
| 25 | 739665.99 1810684.09 |
| 26 | 739663.21 1810738.02 |
| 27 | 739662.69 1810748.00 |
| 28 | 739659.91 1810801.93 |
| 29 | 739684.36 1810813.21 |
| 30 | 739694.86 1810803.73 |
| 31 | 739676.97 1810781.71 |
| 32 | 739682.29 1810678.61 |
| 33 | 739695.44 1810693.19 |
| 34 | 739701.80 1810669.17 |
| 35 | 739731.36 1810523.24 |
| 36 | 739726.36 1810620.20 |
| 37 | 739721.41 1810716.12 |
| 38 | 739737.65 1810556.60 |
| 39 | 739791.42 1810632.97 |
| 40 | 739739.15 1810630.33 |

| Coordinate Table | |
|------------------|----------------------|
| Northing | Easting |
| 41 | 739716.83 1810804.87 |
| 42 | 739726.30 1810815.37 |
| 43 | 739737.92 1810815.97 |
| 44 | 739736.18 1810849.65 |
| 45 | 739731.96 1810849.43 |
| 46 | 739706.07 1810837.11 |
| 47 | 739698.93 1810841.36 |
| 48 | 739698.28 1810853.98 |
| 49 | 739604.33 1810831.11 |
| 50 | 739708.26 1810544.08 |
| 51 | 739700.66 1810691.33 |
| 52 | 739700.65 1810681.79 |
| 53 | 739568.03 1810829.23 |
| 54 | 739552.77 1810840.32 |
| 55 | 739565.50 1810791.99 |
| 56 | 739579.70 1810807.81 |
| 57 | 739614.45 1810809.60 |
| 58 | 739601.98 1810798.94 |
| 59 | 739604.77 1810745.01 |
| 60 | 739605.28 1810735.03 |

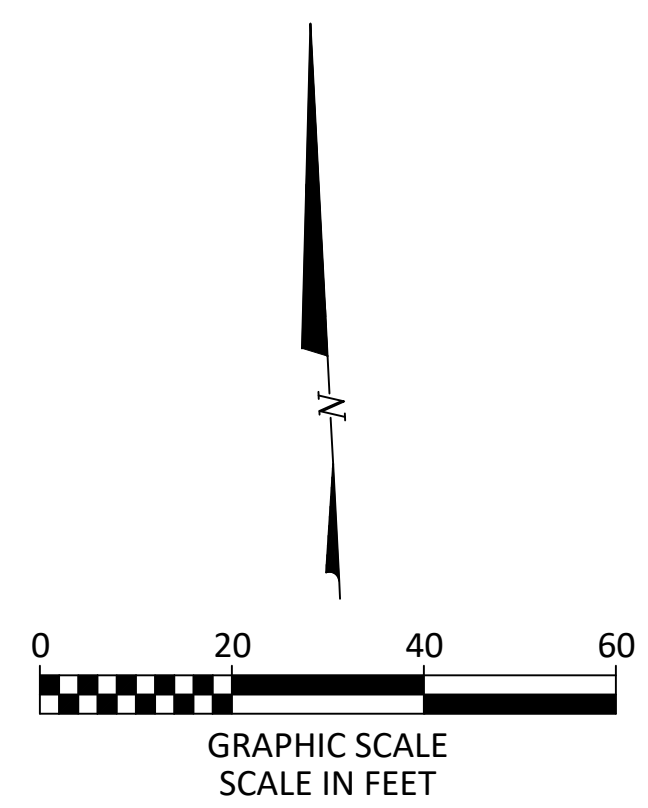
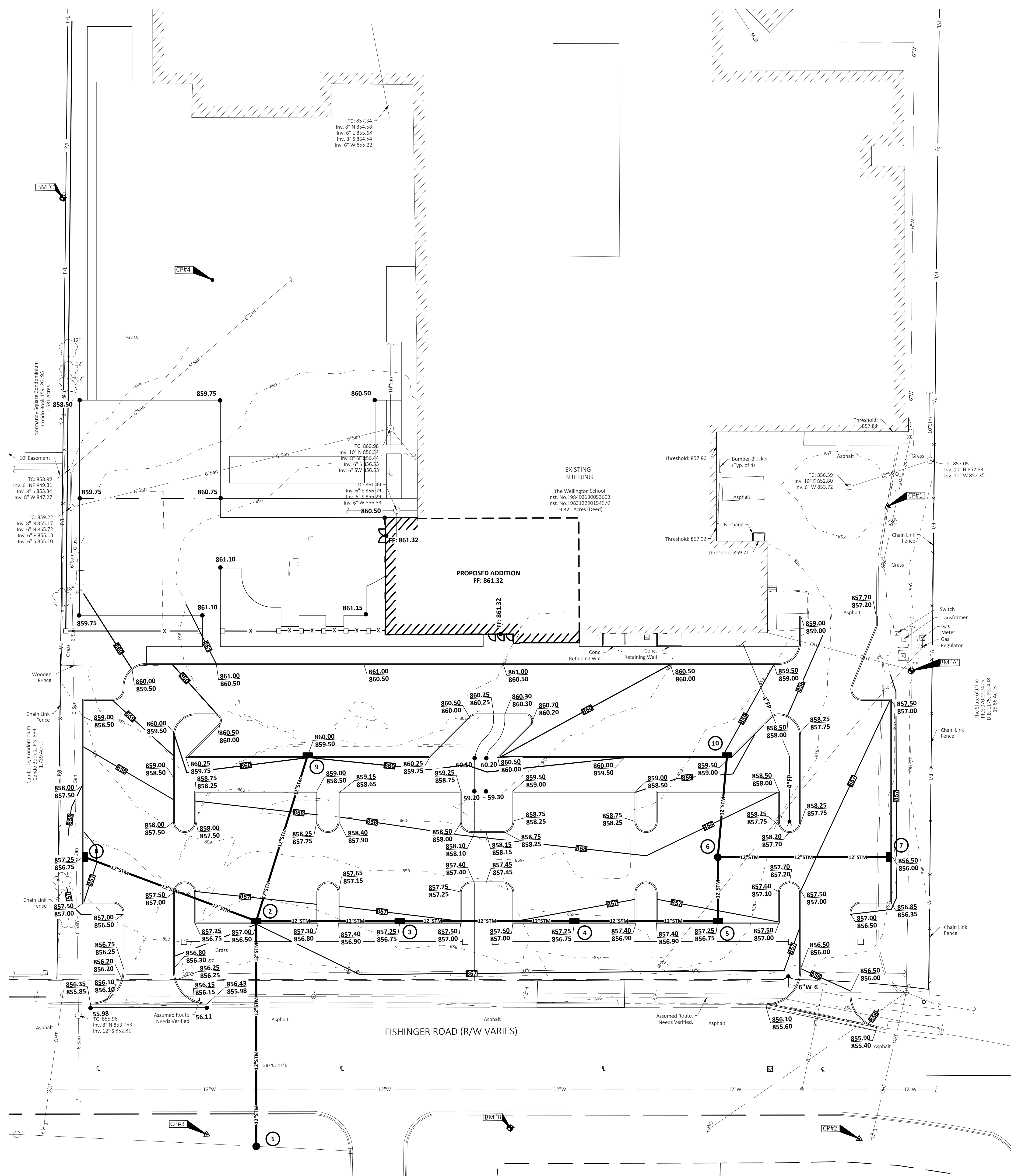
| Coordinate Table | |
|------------------|----------------------|
| Northing | Easting |
| 61 | 739608.07 1810681.10 |
| 62 | 739626.19 1810669.50 |
| 63 | 739627.02 1810663.05 |
| 64 | 739609.30 1810657.13 |
| 65 | 739612.08 1810603.20 |
| 66 | 739612.60 1810593.22 |
| 67 | 739646.41 1810811.25 |
| 68 | 739626.30 1810677.03 |
| 69 | 739615.38 1810539.29 |
| 70 | 739608.40 1810849.34 |

| # | DATE | CHANGE DESCRIPTION |
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Moody Nolan
300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215
PHONE: 614-461-4664

STAKING PLAN

| | |
|--|--------------------|
| | 1/26/2026 |
| | 24597 |
| | C101 |
| | Design Development |



GRADING LEGEND

- EXISTING**
REFER TO SHEET TS100
- PROPOSED**
- 500 — INDEX CONTOUR
 - 799 — INTERMEDIATE CONTOUR
 - (R) — REMOVE EXISTING UTILITY
 - CATCH BASIN
 - MANHOLE
 - ✕ REMOVE EX. STRUCTURE
 - ⊗ (XXX) STRUCTURE NUMBER
 - GRADE BREAK (CROWN) LINE
 - GRADING/SEEDING LIMITS
 - 708.53 SPOT ELEVATION
 - TC TOP OF CASTING
 - M.E. MATCH EXISTING ELEVATION
 - FLOW DIRECTION ARROW

GENERAL NOTES:

1. PAVEMENT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATION AT FACE OF CURB UNLESS OTHERWISE NOTED.
2. CONSTRUCTION WORK WILL NOT BE PERMITTED WITHOUT APPROVED PLANS AND INSPECTION.
3. PERFORM WORK IN ACCORDANCE WITH CITY OF COLUMBUS MATERIAL SPECIFICATIONS AND STANDARD CONSTRUCTION DRAWINGS. IN CASE OF A DISCREPANCY BETWEEN CITY OF COLUMBUS REQUIREMENTS AND PROJECT SPECIFICATIONS, CITY OF COLUMBUS STANDARDS SHALL GOVERN.
4. SOIL EROSION AND SEDIMENTATION BMP MEASURES SHALL BE INSTALLED PRIOR TO START OF ANY CONSTRUCTION AND SHALL BE MAINTAINED UNTIL CONSTRUCTION HAS BEEN COMPLETED, INCLUDING GRASS BEING WELL ESTABLISHED AND/OR PERMANENT EROSION AND SEDIMENTATION BMP MEASURES IN PLACE. BMP MEASURES SHALL BE TO THE SATISFACTION OF THE CITY OF COLUMBUS.
5. STREET CLEANING (ON AN AS-NEEDED BASIS) IS REQUIRED THROUGHOUT THE DURATION OF THIS CONSTRUCTION PROJECT. THIS INCLUDES SWEEPING, POWER CLEANING, AND (IF NECESSARY) MANUAL REMOVAL OF DEET AND/OR MUD IN THE STREET GUTTERS.
6. REMOVE SEDIMENT FROM DETENTION AREAS, OUTLET STRUCTURES, AND UNDERDRAINS ONCE FINAL SEED HAS BEEN ESTABLISHED.
7. ANY EXISTING STORM INLETS IMPACTED BY THE NEW CONSTRUCTION ACTIVITY WILL NEED THE APPROPRIATE INLET PROTECTION FOR SEDIMENT CONTROL.
8. DIMENSIONS AND COORDINATES ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. COORDINATE EXACT LOCATION WITH PLUMBING CONTRACTOR. FINAL CONNECTION BY PLUMBING CONTRACTOR.
9. EXTEND UTILITIES TO WITHIN 5'-0" OF FACE OF BUILDING UNLESS OTHERWISE NOTED.
10. MAXIMUM FINISH SLOPES SHALL BE 4:1 UNLESS OTHERWISE NOTED.
11. COORDINATES AND ELEVATIONS BASED ON SURVEY PERFORMED BY KORDA/NEMETH ENGINEERING, DATED 9/29/25. REFER TO SHEET TS100.
12. CONTRACTOR SHALL STRIP AND STOCKPILE EXISTING TOPSOIL THROUGHOUT THE SITE PRIOR TO EXCAVATION. UPON COMPLETION OF FINAL GRADING, PROVIDE 6 INCHES OF TOPSOIL AND SEED AREAS DISTURBED BY CONSTRUCTION, INCLUDING LAYDOWN AREAS AND TRAILER LOCATIONS IF LOCATED OUTSIDE THE GRADING/SEEDING LIMITS.
13. DISPOSE EXCESS EXCAVATED MATERIALS AND UNACCEPTABLE UNSUITABLE SOILS OFF SITE IN ACCORDANCE WITH LOCAL CODES. NO PERMANENT STOCKPILES WILL REMAIN ON SITE.
14. EXISTING VALVES, MANHOLES, AND OTHER APPURTANCES TO REMAIN LOCATED WITHIN THE WORK LIMITS SHALL BE ADJUSTED TO FINISH GRADE.
15. OUTLET CURB UNDERDRAINS TO ADJACENT EXISTING UNDERDRAINS OR STORM SEWER SYSTEM.
16. EXPOSE UTILITIES NOTED THUS: EXPOSE PRIOR TO BEGINNING WORK ON THAT UTILITY TO DETERMINE EFFECTS ON THE PROPOSED ALIGNMENT AND PROFILE. REPORT ELEVATION AND LOCATION TO THE ENGINEER IN ORDER THAT ANY CORRECTIONS TO THE ELEVATION AND LOCATION CAN BE MADE.
17. CONCRETE ADJACENT TO BUILDING SHALL BE SLOPED AWAY FROM BUILDING AT 2.0% UNLESS OTHERWISE NOTED.
18. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.

| # | DATE | CHANGE DESCRIPTION |
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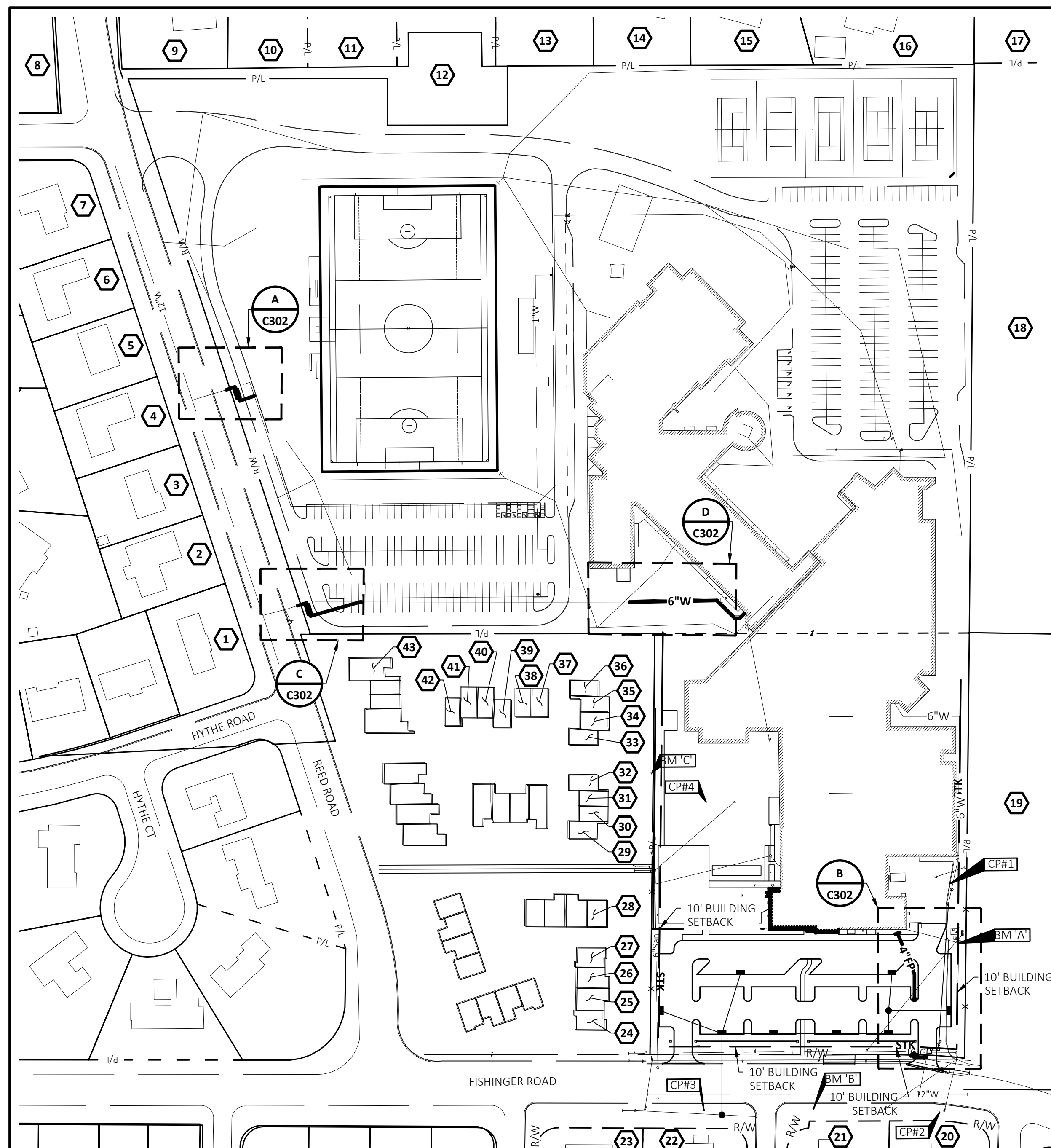
Wellington Upper School Renovation
3650 REED ROAD COLUMBUS, OH 43220
FOR THE WELLINGTON SCHOOL

300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: 614-461-4664

DRAWING TITLE: **STORM SEWER AND GRADING PLAN**

| | |
|--|--------------------|
| | 1/26/2026 |
| | 24597 |
| | C201 |
| | Design Development |

KORDA
KORDA, NEMETH ENGINEERING
WWW.KORDA.COM
DRAWN BY: CALEB HERRIOTT
CHECKED BY: JONATHAN HAGENOW
PROJECT NUMBER: 2025-0520



UTILITY LEGEND

EXISTING

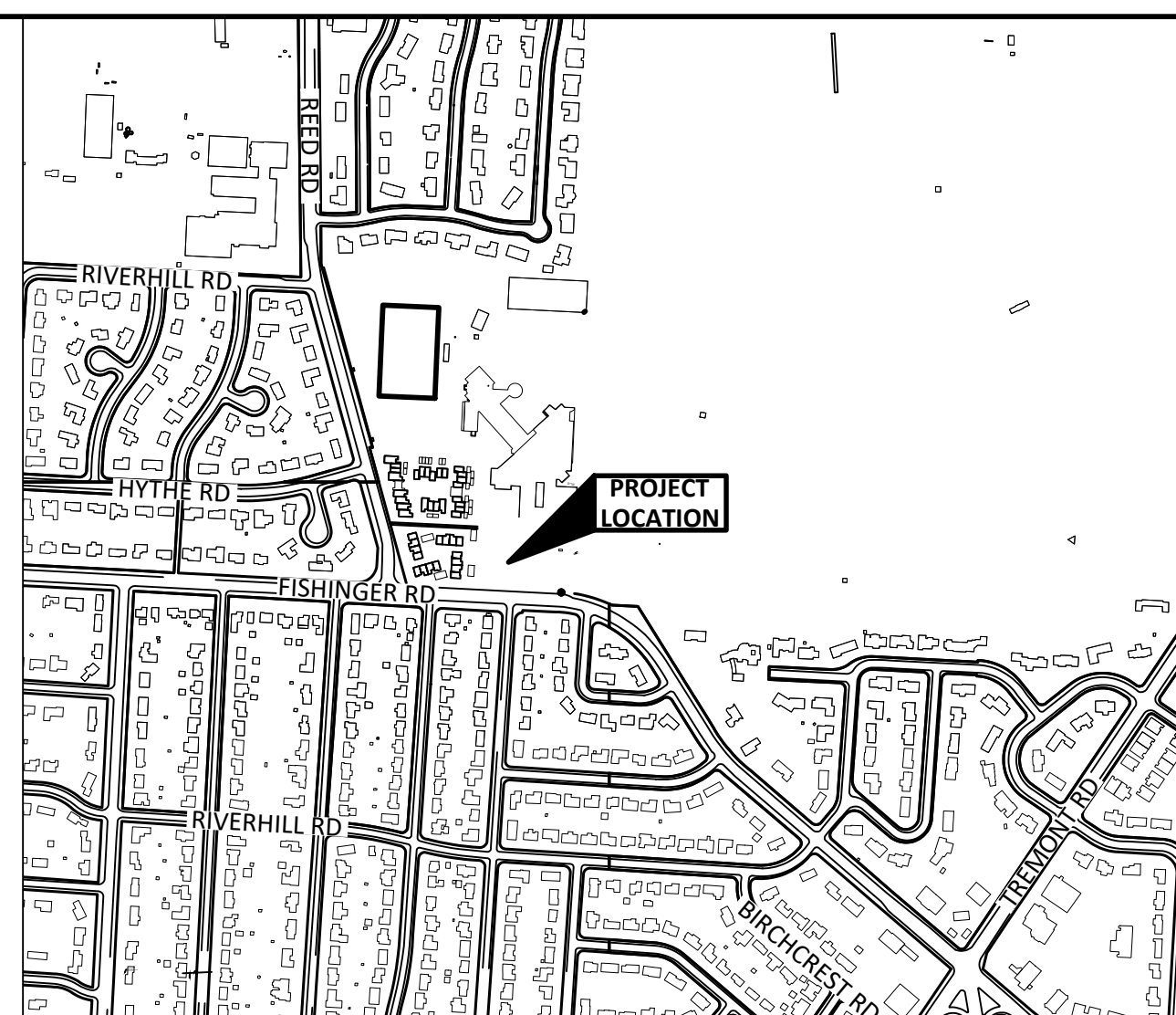
REFER TO SHEET T5100

PROPOSED

- FP FIRE PROTECTION SERVICE LINE
CWS COMBINED WATER SERVICE LINE
W FIRE HYDRANT
GATE VALVE & CURB BOX
FIRE DEPARTMENT CONNECTION

UNDERGROUND PRIVATE WATER SYSTEM(S) AFTER THE CITY WATER METER(S)

- 38. SITE UTILITY CONTRACTOR SHALL CALL THE LOCAL BUILDING AUTHORITY FOR INSPECTION OF UNDERGROUND PRIVATE DOMESTIC AND/OR FIRE WATER SYSTEM(S) AFTER THE CITY WATER METER(S)...
39. SITE UTILITY CONTRACTOR SHALL CALL COLUMBUS DIVISION OF FIRE AT 614-645-8673 FOR FLUSHING AND/OR PRESSURE TEST INSPECTION OF PRIVATE FIRE SYSTEM AFTER THE CITY FIRE WATER SERVICE METER AND BACKFLOW PREVENTER...
40. SITE UTILITY CONTRACTOR SHALL CALL COLUMBUS DIVISION OF FIRE AT 614-645-8673 FOR FLUSHING AND/OR PRESSURE TEST INSPECTION OF PRIVATE COMBINED (I.E. DOMESTIC AND FIRE) SYSTEMS AFTER THE CITY WATER SERVICE METER AND BACKFLOW PREVENTER...
41. ALL PIPE MATERIAL FOR THE UNDERGROUND PRIVATE WATER SYSTEM AFTER THE CITY WATER METER SHALL MEET THE REQUIREMENTS OF THE LOCAL BUILDING AUTHORITY HAVING JURISDICTION.



LOCATION MAP (NOT TO SCALE)

PROPERTY OWNERS

Table with 3 columns: OWNER NAME, PARCEL, ADDRESS. Lists 43 property owners including HEUSCHEL DARLA, TMB, DOERSCHUK DAVID C, etc.

CITY OF COLUMBUS WATER SERVICE PLAN NOTES:

- 1. NO WATER SERVICE CONNECTION PERMITS SHALL BE ISSUED OR CONNECTIONS MADE TO ANY WATER TAPS UNTIL THE PUBLIC WATER MAIN HAS BEEN DISINFECTED BY THE CITY OF COLUMBUS, DIVISION OF WATER.
2. NO WATER SERVICE CONSTRUCTION, BEFORE OR AFTER THE WATER METER(S), SHALL BEGIN PRIOR TO FEE PAYMENT TO THE UTILITY PERMITS OFFICE AT 111 N. FRONT STREET (614-645-7330).
3. THE CITY OF COLUMBUS, CONSTRUCTION AND MATERIAL SPECIFICATIONS (CMSC), 2018 EDITION AND ALL REVISIONS, INCLUDING SPECIAL PROVISIONS AND SUPPLEMENTAL SPECIFICATIONS SHALL GOVERN THIS IMPROVEMENT, UNLESS OTHERWISE NOTED.
4. ALL WATER LINE MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CURRENT APPROVED MATERIALS LIST AND RULES AND REGULATIONS OF THE CITY OF COLUMBUS, DIVISION OF WATER, UNLESS OTHERWISE SHOWN ON THE PLANS OR APPROVED BY THE CITY OF COLUMBUS, DIVISION OF WATER. ONLY PRODUCTS LISTED ON THE CURRENT APPROVED MATERIALS LIST WILL BE PERMITTED TO BE INSTALLED.
5. IT SHALL BE UNLAWFUL FOR ANY PERSON TO PERFORM ANY WORK ON THE PUBLIC WATER DISTRIBUTION SYSTEM WITHOUT FIRST SECURING A LICENSE TO ENGAGE IN SUCH WORK AS INDICATED IN COLUMBUS CITY CODE SECTIONS 1103.02 AND 1103.08. THIS WORK INCLUDES ANY ATTACHMENTS, ADDITIONS TO OR ALTERATIONS IN ANY CITY SERVICE PIPE OR APPURTENANCES (INCLUDING WATER SERVICE LINES AND WATER SERVICE TAPS). THIS REQUIREMENT MAY BE MET BY UTILIZATION OF A SUBCONTRACTOR WHO POSSESSES A CITY OF COLUMBUS WATER CONTRACTOR LICENSE OR A COMBINED WATER/SEWER CONTRACTOR LICENSE TO PERFORM THIS WORK. UTILIZATION OF A SUBCONTRACTOR MUST MEET THE LICENSING REQUIREMENTS OF CITY OF COLUMBUS BUILDING CODE SECTIONS 4114.119 AND 4114.522.
6. FOR ANY EMERGENCIES THAT OCCUR AFTER NORMAL WORKING HOURS INVOLVING THE WATER DISTRIBUTION SYSTEM, PLEASE CONTACT THE DIVISION OF WATER DISTRIBUTION MAINTENANCE OFFICE AT 614-645-7788.
7. SITE UTILITY CONTRACTOR SHALL OBTAIN A RIGHT OF WAY PERMIT PRIOR TO THE START OF ANY WATER SERVICE LINE AND/OR WATER SERVICE TAP INSTALLATION OR ANY PLACEMENT OF WATER SERVICE MATERIALS INTO THE PUBLIC RIGHT OF WAY.
8. EXISTING RIGHT OF WAY LINE(S), PROPOSED RIGHT OF WAY LINE(S) AND/OR WATER MAIN EASEMENT LINE(S) SHALL BE STAKED AT 10 FOOT INCREMENTS BY A STATE OF OHIO LICENSED SURVEYOR WHEN THE WATER SERVICE TAP(S) AND/OR WATER SERVICE(S) ARE INSTALLED AND INSPECTED BY THE CITY OF COLUMBUS, DIVISION OF WATER.
9. SITE UTILITY CONTRACTOR SHALL OBTAIN A PERMIT FROM THE CITY OF COLUMBUS-CITY FORESTER AT 614-645-8640 FOR ANY WORK DONE WITHIN 10 FEET OF A TREE IN THE RIGHT OF WAY.
10. THERE SHALL BE A 10 FOOT MINIMUM HORIZONTAL AND 18 INCH VERTICAL SEPARATION BETWEEN WATER SERVICE TAP(S), WATER SERVICE LINE(S), PRIVATE WATER SYSTEMS AND ANY SANITARY AND/OR STORM SEWER SYSTEMS, UNLESS OTHERWISE APPROVED BY THE CITY OF COLUMBUS, DIVISION OF WATER.
11. ALL INSPECTIONS REQUIRE A 24 HOUR ADVANCE NOTICE.
12. ALL PUBLIC FIRE HYDRANTS, WHETHER NEW OR RELOCATED, SHALL BE INSPECTED AND APPROVED BY THE CITY OF COLUMBUS, DIVISION OF FIRE PRIOR TO BEING PUT INTO SERVICE. THE CONTRACTOR SHALL CONTACT THE DIVISION OF FIRE AT 614-645-8673 TO SCHEDULE THE INSPECTION OF THE NEW OR RELOCATED FIRE HYDRANTS. THE CITY WILL PROVIDE THE CONTRACTOR "OUT OF SERVICE" RINGS THAT SHALL BE PLACED ON ALL NEW OR RELOCATED FIRE HYDRANTS TO CLEARLY IDENTIFY THEM AS INACTIVE. AFTER WRITTEN NOTIFICATION OF ACCEPTANCE HAS BEEN RECEIVED, THE CONTRACTOR SHALL REMOVE THE "OUT OF SERVICE" RINGS FROM THE FIRE HYDRANTS. ALL "OUT OF SERVICE" RINGS SHALL BE RETURNED TO THE CITY.
13. ALL PUBLIC FIRE HYDRANTS, WHETHER NEW OR RELOCATED, SHALL BE INSPECTED AND APPROVED BY THE (APPLICABLE CONTRACT COMMUNITY FIRE AGENCY) PRIOR TO BEING PUT INTO SERVICE. THE CONTRACTOR SHALL CONTACT THE (APPLICABLE CONTRACT COMMUNITY FIRE AGENCY) AT 614-XXX-XXXX TO SCHEDULE THE INSPECTION OF THE NEW OR RELOCATED FIRE HYDRANTS.
14. SITE UTILITY CONTRACTOR SHALL FLUSH ALL WATER SERVICES PRIOR TO ANY WATER METER INSTALLATION. THE CITY OF COLUMBUS IS NOT RESPONSIBLE FOR ANY CITY WATER METER DAMAGE CAUSED BY NON-FLUSHING.
15. IF A TAP IS BEING REUSED AND DISCOVERED TO BE LEAD, THE TAP SHALL BE ABANDONED AT THE WATER MAIN PER CMSC ITEM 808 AND A NEW TAP SHALL BE INSTALLED.
16. N/A
17. N/A
18. N/A
19. N/A
20. N/A
21. N/A
22. SITE UTILITY CONTRACTOR SHALL CALL COLUMBUS DIVISION OF WATER AT 614-645-7330 FOR INSPECTION AND HYDROSTATIC TEST OF 4" AND LARGER WATER SERVICE TAPS FROM THE WATER MAIN THRU THE CONTROL VALVE AND WATER SERVICES FROM THE CONTROL VALVE THRU THE WATER METER SETTING. HYDROSTATIC TEST SHALL BE PER CMSC ITEM 801.16 AND SHALL BE PERFORMED FROM THE WATER MAIN THRU THE WATER METER SETTING.
23. ALL 4" THRU 12" WATER SERVICE PIPE SHALL BE ONLY DUCTILE IRON FROM THE CITY WATER MAIN THRU THE CITY WATER METER SETTING(S) INCLUDING THE METER BYPASS.
24. ALL EXPOSED WATER MAIN AND ALL WATER SERVICE PIPE 4" AND LARGER SHALL BE POLYWRAPPED PER CMSC ITEM 801.03 TO A POINT 10 FOOT BEYOND THE RIGHT OF WAY VALVE(S).
25. N/A
26. N/A
27. 4" AND LARGER METER SETTING(S) SHALL BE PER COLUMBUS DIVISION OF WATER STANDARD DETAIL DRAWINGS L-6317 A-E.
28. 2" AND LARGER METERS SHALL BE PURCHASED AT THE UTILITY PERMITS OFFICE AT 111 N. FRONT STREET. TO SCHEDULE A METER PICK UP AT UTILITY METERING SERVICES, 3668 INDIANOLA AVENUE, CALL 614-645-8119.
29. BACKFLOW PREVENTION ASSEMBLY(S) SHALL BE INSTALLED, WHERE REQUIRED, PER COLUMBUS DIVISION OF WATER STANDARD DETAIL DRAWINGS L-9002 A THRU G. CONTRACTOR(S) SHALL CALL 614-645-6674 WITH BACKFLOW PREVENTION QUESTIONS. CONTRACTOR(S) SHALL CALL 614-645-8119 TO SCHEDULE BACKFLOW PREVENTION INSPECTION REQUESTS.
30. DOMESTIC WATER SERVICE BACKFLOW PREVENTER(S) SHALL MEET THE ASSE #1013 APPROVAL/STANDARD.
31. COMBINATION WATER SERVICE BACKFLOW PREVENTER(S) SHALL MEET THE ASSE #1013 APPROVAL/STANDARD.
32. THE FIRE WATER SERVICE BACKFLOW PREVENTER(S) SHALL MEET THE APPROPRIATE ASSE APPROVAL/STANDARD AND SHALL BE EQUIPPED WITH A DETECTOR METER THAT IS ITRON 100W (TOWER) OR 100R (REMOTE), MEASURES IN CUBIC FEET AND MEETS THE AWWA C-700 STANDARD. FIRE WATER BACKFLOW PREVENTER(S) SHALL BE SIZED TO MATCH THE FIRE WATER SERVICE SIZE AND EQUIPPED WITH O.S.&Y. VALVES.
33. N/A
34. N/A
35. N/A
36. IF DOMESTIC AND/OR FIRE WATER SERVICE METER(S) AND/OR THEIR BACKFLOW PREVENTER(S) ARE TO BE LOCATED INSIDE AN ABOVE GROUND HEATED ENCLOSURE, THE ENCLOSURE SHALL BE ASSE #1060 CLASS 1 APPROVED. THE ENCLOSURE SHALL HAVE A THERMOSTATICALLY OPERATED HEATER. THE SIZE AND NUMBER OF HEATER(S) SHALL BE PER THE ENCLOSURE MANUFACTURER'S SPECS TO MAINTAIN A 40 DEGREE FAHRENHEIT INSIDE TEMPERATURE AT AN OUTSIDE TEMPERATURE OF MINUS 30 DEGREE FAHRENHEIT. HEAT TAPE/RODS WILL NOT BE PERMITTED. BACKFLOW PREVENTION DEVICES MUST BE TESTED AT THE TIME OF INSTALLATION BY A TESTER APPROVED BY THE DIVISION OF WATER BACKFLOW COMPLIANCE OFFICE. A COMPLETE LIST OF APPROVED TESTERS CAN BE FOUND AT WWW.COLUMBUS.GOV/BACKFLOW/CONSUMERS. RESULTS MUST BE SUBMITTED THROUGH THE ONLINE WEB SUBMITTAL SYSTEM AT HTTPS://CORE.COLUMBUS.GOV/TKOAYFLOW/.

CONTROL POINTS

Table with 4 columns: No., Northing, Easting, Elevation, Description. Lists 4 control points.

BENCHMARKS

Table with 3 columns: No., Elevation, Description. Lists 3 benchmarks.

*Elevations are based on NAVD 88 utilizing The Ohio Department of Transportation Ohio Real Time Network (RTN) with GEOID18. Source Benchmark was verified by GPS methods.

*The project is based on State Plane (Grid/Ground) Coordinates Ohio South Zone NAD 83 with 2011 NSRS adjustment.

Table with 4 columns: CITY NO., COUNTY RECORDER (VOL, PAGE), GRANTOR, REVISIONS (NO., DESCRIPTION, APPROVAL/DATE).

ENGINEER'S SEAL area for KORDA Nemeth Engineering, Inc. with signature and date lines.

CITY OF COLUMBUS DIVISION OF WATER APPROVAL section with signature lines for THE WELLINGTON SCHOOL EXPANSION and SHEET: 1/4.



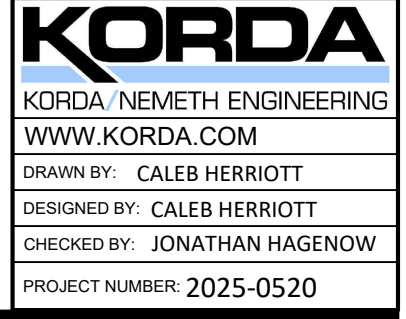
Change log table with columns: #, DATE, CHANGE DESCRIPTION.

Wellington Upper School Renovation logo and address: 3650 REED ROAD COLUMBUS, OH 43220.

Moody Nolan logo and contact information: 300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215. PHONE: 614-461-4664.

WATER SERVICE PLAN

Project information: 1/26/2026, 24597, C301, Design Development.



| WATER SERVICE COORDINATES | | | | | | |
|---------------------------|--|-----------|------------|-------------------|------------------|----------------------|
| NO. | TYPE | NORTHING | EASTING | NORTHING AS-BUILT | EASTING AS-BUILT | CENTERLINE ELEVATION |
| 1 | CONNECT TO EXISTING W/ 8"X6" REDUCER | 740169.65 | 1810069.63 | | | |
| 2 | 6" 90° HORZ. BEND | 740172.44 | 1810080.76 | | | |
| 3 | HEATED ENCLOSURE DETAIL B/3(C303) | 740164.25 | 1810082.73 | | | |
| 4 | 6" 90° HORZ. BEND | 740155.93 | 1810084.79 | | | |
| 5 | 6" 11.25° HORZ. BEND | 740170.18 | 1810146.96 | | | |
| 6 | CONNECT TO EXISTING W/ 6"X8" INCREASER | 740170.08 | 1810148.99 | | | |
| 7 | CONNECT TO EXISTING W/ 8"X6" REDUCER | 740152.94 | 1810479.56 | | | |
| 8 | 6" 45° HORZ. BEND | 740149.40 | 1810587.29 | | | |
| 9 | 6" 45° HORZ. BEND | 740126.22 | 1810608.54 | | | |
| 10 | 6" 45° HORZ. BEND | 740125.95 | 1810614.75 | | | |
| 11 | 4" FDC DETAIL A/3(C303) | 739646.67 | 1810806.25 | | | |
| 12 | 4" 22.5° HORZ. BEND | 739675.63 | 1810807.75 | | | |
| 13 | 8"X6" TAPPING SLEEVE, CAP NORTH 8" TEE | 739572.03 | 1810817.40 | | | |
| 14 | 6" VALVE | 739572.17 | 1810814.42 | | | |
| 15 | 6" 90° HORZ. BEND | 739572.83 | 1810801.94 | | | |
| 16 | FIRE HYDRANT PER L-6337A | 739577.59 | 1810802.19 | | | |
| 17 | CONNECT TO EXISTING 8" | 740440.55 | 1809995.45 | | | |
| 18 | 8" 90° HORZ. BEND | 740443.59 | 1810006.04 | | | |
| 19 | HEATED ENCLOSURE DETAIL C/3(C303) | 740434.93 | 1810008.49 | | | |
| 20 | 8" 90° HORZ. BEND | 740426.06 | 1810011.00 | | | |
| 21 | CONNECT TO EXISTING W/ 8" 90° BEND | 740431.17 | 1810029.54 | | | |

GENERAL NOTES:

- OBTAIN ALL PERMITS TO COMPLETE THE WORK SHOWN.
- DIMENSIONS AND COORDINATES ARE FROM FACE OF CURB OR EXTERIOR FACE OF BUILDING, UNLESS OTHERWISE NOTED.
- EXTEND UTILITIES TO WITHIN 5' OF FACE OF BUILDING, UNLESS OTHERWISE NOTED. COORDINATE EXACT LOCATION WITH PLUMBING CONTRACTOR. FINAL CONNECTION BY PLUMBING CONTRACTOR. REFER TO SHEETS C201 FOR STORM SEWER INFORMATION.
- MAINTAIN MINIMUM 4'-0" COVER OVER ALL WATERLINES.
- MAINTAIN MINIMUM 18" VERTICAL CLEARANCE FROM THE OUTSIDE OF ANY WATERLINE PIPE TO THE OUTSIDE OF ANY STORM OR SANITARY SEWER.
- PROVIDE THRUST BLOCKS OR RESTRAINED MECHANICAL JOINT PIPE AT EACH VALVE, TEE, FITTING, OR CHANGE IN DIRECTION OF WATERLINE.
- REFER TO CITY OF COLUMBUS STANDARD DRAWINGS FOR TYPICAL FIRE HYDRANT INSTALLATION DETAILS.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
- CONNECTION TO EXISTING WATER MAINS SHALL NOT BE PERFORMED UNTIL THE NEW LINES HAVE BEEN SANITIZED AND ALL TESTS HAVE BEEN COMPLETED AS SPECIFIED BY THE CITY OF COLUMBUS AND THESE CONTRACT DOCUMENTS.
- COORDINATES AND ELEVATIONS BASED ON SURVEY PERFORMED BY THE KORDA/NEMETH ENGINEERS, DATED 9/29/2025. REFER TO SHEET TS100.
- WHERE PLANS PROVIDE FOR A PROPOSED UTILITY TO BE CONNECTED TO, OR CROSS OVER, OR UNDER AN EXISTING UNDERGROUND UTILITY, THE CONTRACTOR SHALL LOCATE THE EXISTING PIPES OR UTILITIES, BOTH AS TO LINE AND GRADE BEFORE STARTING TO LAY THE PROPOSED UTILITY. THESE LOCATIONS ARE NOTED THUS: EXPOSE. IF IT IS DETERMINED THAT THE ELEVATION OF THE EXPOSED UTILITY DIFFERS FROM THE PLAN ELEVATION, RESULTS IN A CHANGE IN THE PLAN SEWER SLOPE, OR WILL INTERSECT AN EXISTING UTILITY AS SHOWN ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED BEFORE STARTING CONSTRUCTION OF ANY PORTION OF THE PROPOSED UTILITY WHICH WILL BE AFFECTED BY THE VARIANCE IN THE EXISTING ELEVATIONS.
- SUPPORT AND PROTECT ALL UTILITIES EXPOSED DURING EXCAVATION AND TRENCHING.
- ANY REQUIRED WATERLINE SHUT-DOWNS SHALL BE COORDINATED WITH THE OWNER AND/OR THE CITY.

CODED NOTES:

- REMOVE EXISTING CONCRETE WATER VAULT, METER, PIPING, AND APPURTENANCES AND DISPOSE.
- INSTALL HEATED ENCLOSURE PER DETAIL A/THIS SHEET AND RECONNECT TO EXISTING WATER SERVICE.
- CAP AND MARK FOR FUTURE CONNECTION. COORDINATE FINAL LOCATION AND ELEVATION WITH PLUMBING CONTRACTOR. FINAL CONNECTION BY PLUMBING CONTRACTOR.
- REFER TO PLUMBING PLAN FOR PENETRATION THROUGH BUILDING FOOTING.
- CAP AND KEEP PRIVATE FWS LINE ACTIVE 5' SOUTH OF EXISTING HYDRANT TO REMAIN.

A DETAIL
FIRE WATER SERVICE PLAN ENLARGEMENT

1"=10'

B DETAIL
DOMESTIC WATER SERVICE PLAN ENLARGEMENT


1"=10'

C DETAIL
FIRE WATER SERVICE PLAN ENLARGEMENT

1"=20'


D DETAIL
DOMESTIC WATER SERVICE PLAN ENLARGEMENT

1"=30'

| EASEMENT REFERENCE | | | REVISIONS | | |  Korda/Nemeth Engineering, Inc - Consulting Engineers 1650 Watermark Drive, Suite 200 - Columbus, Ohio 43215-7010 TEL 614-487-1650 - FAX 614-487-8981 - WEB www.korda.com | THE WELLINGTON SCHOOL EXPANSION 3650 REED ROAD COLUMBUS OH 43220 | WSPXXXX SHEET: 2 / 4 |
|--------------------|------------------------------|---------|-----------|-------------|---------------|---|---|-----------------------------|
| CITY NO. | COUNTY RECORDER VOL. PAGE | GRANTOR | NO. | DESCRIPTION | APPROVAL/DATE | | | |
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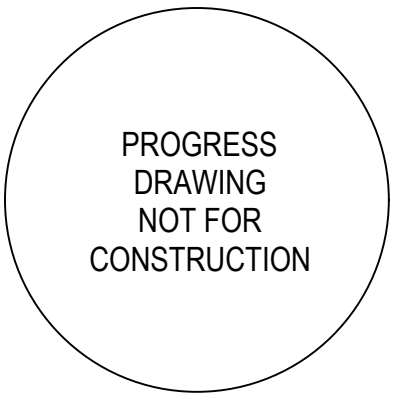
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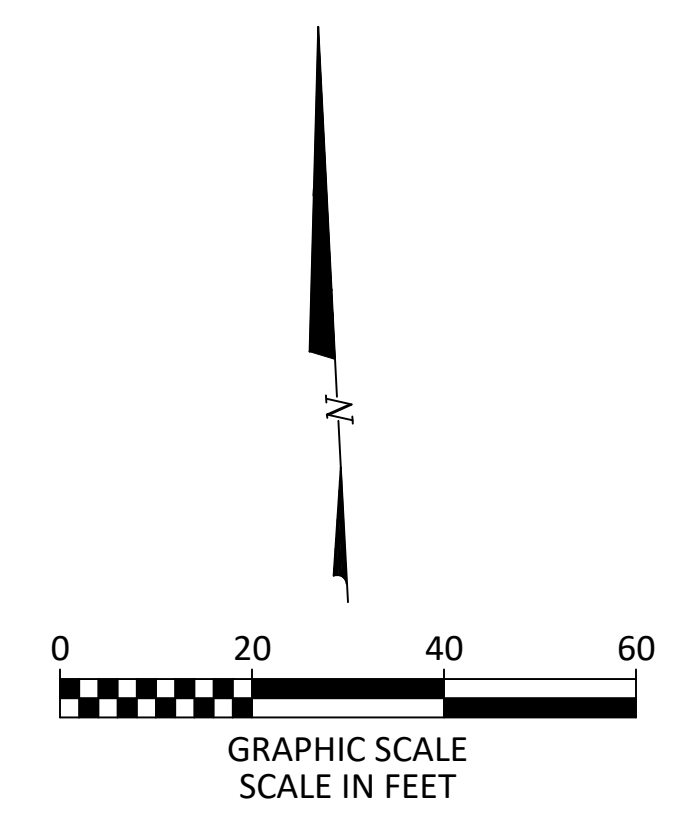
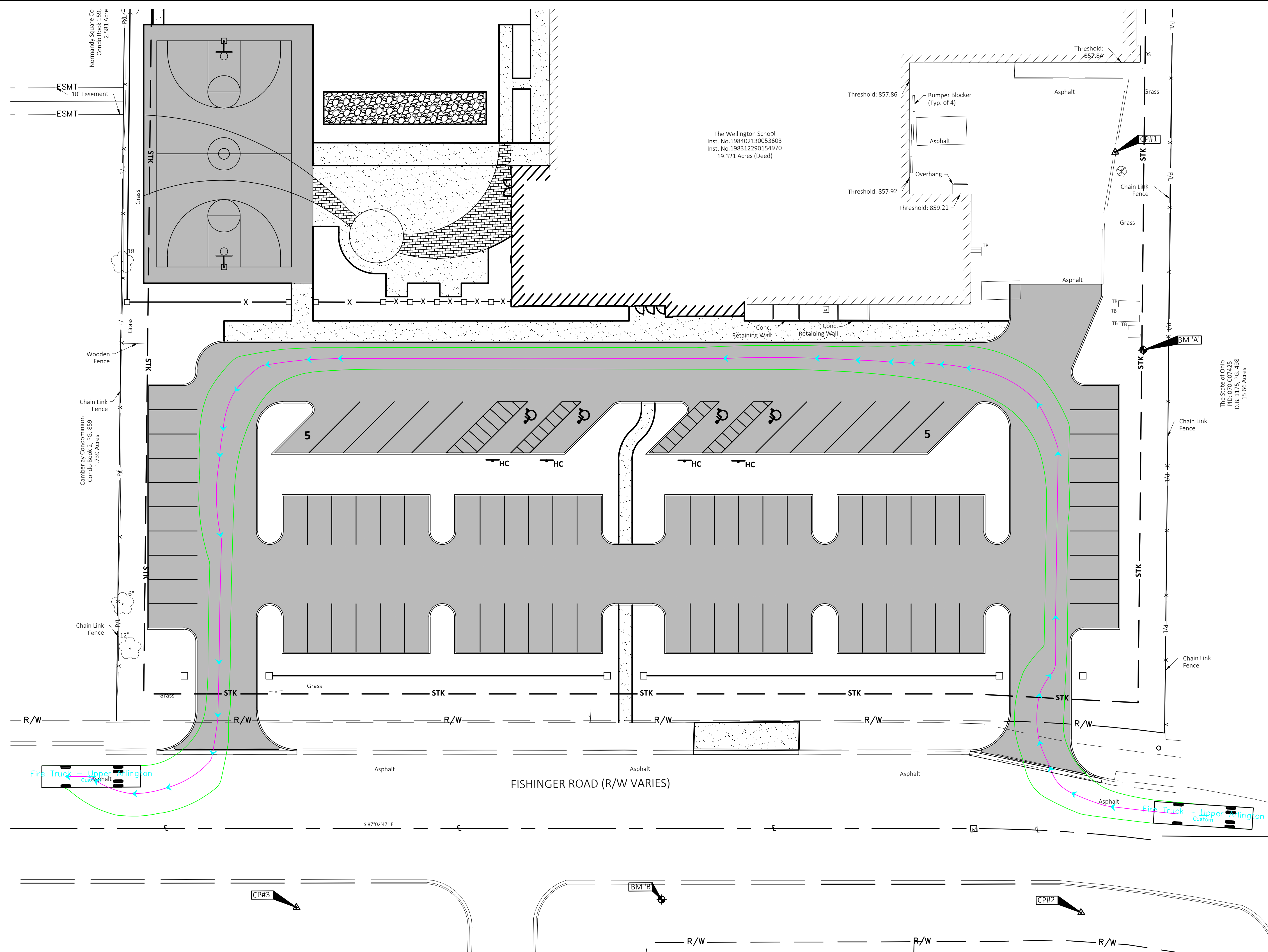
Wellington Upper School Renovation
 3650 REED ROAD COLUMBUS, OH 43220
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 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: 614-461-4664

Moody Nolan

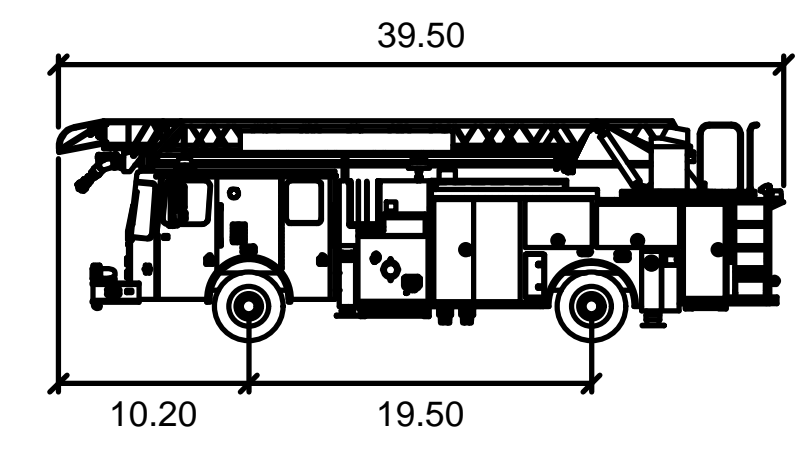
DRAWING TITLE: **NOTES AND DETAILS**

| | |
|--|--------------------|
|  PROGRESS DRAWING NOT FOR CONSTRUCTION | 1/26/2026 |
| | 24597 |
| | C302 |
| | Design Development |



LEGEND

- TRUCK OVERHANG
- TRUCK CENTERLINE



Fire Truck - Upper Arlington

feet

- Width : 8.01
- Track : 8.01
- Lock to Lock Time : 6.0
- Steering Angle : 40.0

| # | DATE | CHANGE DESCRIPTION |
|---|------|--------------------|
| | | |
| | | |
| | | |

W Wellington Upper School
 Renovation
 3650 REED ROAD COLUMBUS, OH 43220
 FOR
 THE WELLINGTON SCHOOL

Moody Nolan

300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: 614-461-4664

DRAWING TITLE:
FIRE TRUCK - AUTOTURN EXHIBIT

| | |
|--|--------------------|
| PROGRESS DRAWING NOT FOR CONSTRUCTION | 1/26/2026 |
| | 24597 |
| | EXH. 1 |
| | Design Development |

KORDA
 KORDA - NIEMETH ENGINEERING
 WWW.KORDA.COM
 DRAWN BY: CALEB HERRIOTT
 DESIGNED BY: CALEB HERRIOTT
 CHECKED BY: JONATHAN HAGENOW
 PROJECT NUMBER: 2025-0520



Authors: Justin Milam, AICP, Senior Planner

BZAP Meeting Date: February 4, 2026

Subject: 2641 Alliston Court (#26-337) - Informal review of a two-story accessory dwelling unit (ADU) for family members.

Overview

Representatives of 2641 Alliston Court will be present to introduce and discuss an accessory dwelling unit (ADU) concept with the Board for this 1.05-acre property. The plan includes the demolition of an existing detached garage and the construction of a large two-story ADU in its place, five feet from the east property line. Staff's understanding is that the current owners would move into the proposed structure, with one of their children's families moving into the existing house. The applicant is seeking direct feedback from the Board on whether this concept should be pursued.

The proposed ADU plan includes a first floor garage (primarily for storage of collector vehicles) with an elevator, while the second floor includes two bedrooms, two bathrooms, and various living spaces. The first floor measures 1,280 square feet in area, with the second floor at 1,926 square feet. *[Applicant to verify.]* The proposed floor heights are nine to 10 feet on the first floor and eight feet on the second. Proposed elevations have not been drafted; the applicant plans to bring inspirational imagery to the meeting. The size/scale of the proposed structure is more akin to a second house on the property rather than an ADU.

The applicant offered the following statement:

Larry and Patty Lilly have been long residents in Upper Arlington and would very much like to continue their lives in Upper Arlington as long as possible. Their current split level layout makes it very difficult for them to function as they have to go up and down stairs. As they age that task has become very difficult. They also have three children (all adults now) that live in the area and they too want to keep the house in the family and do what is needed so their parents can finish their journey on the property. So, that said, based on the size of their lot they are proposing that they build a parents suite behind / above the existing garage so that they can live there and in turn one of their daughters can move into the current house. The daughter would also become their full time caregiver as needed and it allows the family to have what they really want, everyone together. The current elevation of their swimming pool is why the parent suite is above the existing garage and has to be 9 to 10 feet above the existing grade. The new space has an elevator from the garage level to the second floor to avoid having to use the stairs. Since the space has to be elevated above the pool they figured they would use the lower level as a large addition to the garage. Thank you for your consideration and ability to understand how our lives and needs are changing as we age longer.



Zoning Code Requirements

The Unified Development Ordinance (UDO) does not allow ADUs in *any* single-family residential zoning district. The subject property is zoned R-1b, One-Family Residence District, which allows one single-family home per lot. The code does allow in-law suites that are *attached* to the house; it prohibits detached garages from including sleeping quarters or having in-law suites within them. It also prohibits short-term rentals of less than 30 days.

The City's 2025 [housing study](#) highlighted the need for additional housing, especially senior housing, in the community. This issue will be prominently considered in the upcoming Master Plan update later this year.

*Staff initially approached this review as an in-law suite concept and not as a detached garage with sleeping quarters or as a detached habitable space. However, a rezoning to a two-family residence district could also be in play due to having two single-family homes on one property.

Definition of In-Law Suite:

In-law Suite: means an independent dwelling unit contained within a single-family residence, typically with its own entrance, kitchen, bedroom, and bathroom, and used exclusively for family members of the property owner, who must also live within the single-family residence. The structure must maintain a single-family residential appearance which blends with the principal structure and the neighborhood, and the in-law suite may not exceed more than eight hundred sixteen (816) square feet. The in-law suite shall be located within the buildable area of the lot, and shall not be detached from the home, be located in a detached garage or within another accessory structure. The in-law suite shall only be permitted on properties which meet minimum lot frontage and minimum lot size requirements in that zoning district. The in-law suite shall be occupied in a manner consistent with a single-family use in conjunction with the primary residence. An in-law suite is being occupied in a manner consistent with a single-family use in conjunction with the primary residence if all of the following factors are present: unrestricted access to the entire structure is provided to all occupants; interior passages connect the in-law suite to the primary residence; household expenses and responsibilities are shared; the entire structure has no more than one meter and one connection for water, electricity, gas, and other household utilities, respectively; the in-law suite does not have a separate mailbox or mailing address; the in-law suite will not be used for transient accommodations; and no leasehold interest has been or will be granted in the in-law suite.

Preliminary Variance List:

- To allow an in-law suite that is 3,206 square feet in size, (2,390 square feet above the 816-square foot limit), and is both detached from the primary residence and outside the buildable area, which is prohibited (Article 2).

Preliminary Staff Review:

The subject property is certainly large enough to accommodate a modest-sized ADU. However, Staff is concerned about the proximity of the structure to the side property line (only five feet), its overall size and scale (almost 4x the code), and its potential height/design



(26+ feet). Staff is also concerned that what is proposed may require a rezoning to an R-2, One-to-Four Family Residence District, because the proposal would result in two single-family homes on the property, both roughly the same size. Based on these concerns, Staff is not supportive of the proposed ADU and would recommend that its size/scale be dramatically reduced. Staff will seek clarity from the City Attorney should this application move forward.

[*An excellent article on ADU vs. two-family residences.](#)

Attachments

| | |
|----|--------------------------------|
| 1. | 2641 Alliston Ct Proposed Plan |
| 2. | 2641 Alliston Ct Site Photos |





SHELBOURNE HEIGHTS EXT. NO. 2

CITY OF UPPER ARLINGTON, FRANKLIN COUNTY, OHIO

SCALE 1" = 50'

MAY 18, 1981

○=IRON PIN

DEED BOOK _____, PAGE _____

PLAT BOOK 32, PAGE 48

