



5/21/2025 | 6:00 PM

**Municipal Services Center, Council Chamber
3600 Tremont Road**

1. Call to Order/Roll Call

2. Consent Agenda

- a. Review of January 22, 2025 and April 23, 2025 BZAP meeting minutes.
- b. 1740 Essex Road (VAR-22-25) - To allow a two-story addition to replace an existing sunroom, maintaining the current encroachment of up to 1.45 feet into the eight-foot minimum side yard setback.
- c. 2224 Tremont Road (VAR-23-25) - To allow a second story addition to be located atop an existing office that encroaches eight inches into the eight-foot minimum side yard setback.
- d. 2614 Tremont Road (VAR-24-25) - To allow an open breezeway to encroach up to 8'-5" into 34'-6" rear yard setback.

3. Variance/Conditional Uses

- a. 2020 Wyandotte Road (VAR-18-25) - To allow a second story addition to encroach up to eight feet into the 25'-6" rear yard setback.
- b. 2681 Montcalm Road (VAR-19-25) - To allow a one-story addition that encroaches up to two feet into the 12-foot minimum side yard longwall setback and reduces the side yard setback sum from 20 feet to 19'-6".
- c. 2017 Hythe Road (VAR-20-25) - To allow a one-story addition that encroaches 2'-11" into 12-foot minimum side yard setback, 4'-9" into the 13'-10" side yard longwall and decreases the side yard setback sum from 26 feet to 22'-11".
- d. 2090 Riverside Drive (VAR-21-25) - To allow the retention of a partially-built fireplace/oven that encroaches 2'-2" into a 10-foot minimum side yard setback and a patio which increases the maximum development coverage from 45 percent to 49.7.

4. Adjournment

Authors: Justin Milam, AICP, Senior Planner

BZAP Meeting Date: May 21, 2025

Subject: 1740 Essex Road (VAR-22-25) - To allow a two-story addition to replace an existing sunroom, maintaining the current encroachment of up to 1.45 feet into the eight-foot minimum side yard setback.

Site Description/History

The subject property, 1740 Essex Road, is located on the north side of the street, immediately east of Northwest Boulevard; it is zoned R-1c, One-Family Residence District. The property measures 60' x 138.5', similar to others in the neighborhood, and was platted as Lot #7 of the University Subdivision from 1924. A two-story brick and siding home that was built in 1942 sits along the platted 40-foot building setback line; it includes a shared driveway on the east side of the property that leads to a two-car detached garage. A large patio with a swimming pool is located behind the home; the rear yard is enclosed with fencing. The applicant purchased the property in March 2022.

Proposal

This application proposes the replacement of an existing 136-square foot, one-story sunroom with a two-story office and bathroom addition largely in the same location. The existing sunroom sits 6'-6" from the side property line and measures 10'-6" wide and 13 feet deep; the total existing encroachment into the side yard is 18.8 square feet. The proposed addition would extend the existing footprint 2.83 feet further back, resulting in a total encroachment of 23 square feet. It is 21 feet tall, lower than the ridge height of the existing home, and includes horizontal siding to match the residence. Windows are provided on the front and side elevations, but not the rear. An expanded kitchen is also proposed and is compliant with setbacks. Building, development, and front yard development coverage are all compliant with City standards, as are the side yard longwall setback and rear yard profile.

Zoning Code Requirements

- To allow a two-story addition to replace an existing sunroom in the same location, 1.45 feet into the eight-foot minimum side yard setback (Article 5.02).

Alternatives

The applicant has explored reducing the width of the proposed addition to comply with the minimum side yard setback, but this results in narrower rooms and an awkward interior layout. It also takes advantage of the existing footer and foundations from the existing sunroom; neighbors have been accustomed to the screened porch in the side yard.

Requested Action and Findings

Staff has reviewed the application and plans, visited the site, and discussed it with the applicant. The plan removes an existing nonconforming screened porch and replaces it with a two-story addition largely in the same location, maintaining the same setback as what exists today (Finding #6). The proposed design complements the home, is modestly sized, and would not negatively impact adjacent property or views from the street (Finding #4). The plan utilizes existing site conditions and creates a more functional office and second floor bathroom. For these reasons, Staff recommends that this application be approved.

Attachments

1.	Variance Application - 1740 Essex Road
2.	BZAP Staff Report Pics - 1740 Essex Road





25-1607

Variance Application

Status: Active

Submitted On: 4/15/2025

Primary Location

1740 ESSEX RD

UPPER ARLINGTON, OH 43221

Owner

ZANDER JENEY & SARAH

BAKER JENEY

ESSEX 1740 COLUMBUS, OH
43221

Applicant

 George Cleary

 614-795-0126

 office@clearycompany.com

 989 Old Henderson RD

A

Columbus, OH 43220

BZAP Information

BZAP Case

VAR-22-25

Status

Pending

BZAP Determination Date

05/21/2025

Vote Tally

Primary Variance

Side Yard

Findings of Fact for Approval/Denial

Variance Request

To allow a two-story addition to replace an existing sunroom, maintaining the current encroachment of up to 1.45 feet into the eight-foot minimum side yard setback.

BZAP conditions

Variance Information

Describe Variance Request ?

We are pursuing with the City of Upper Arlington to allow for the construction of a two-story addition to replace the existing three-season room on the right side of the home. The existing structure is currently within the city's required 8-foot side yard setback by 1'-6". The proposed addition will extend the footprint back 2'-10" along this existing line.

What practical difficulty, special conditions and/or circumstances exist that are peculiar to the land or structure involved and which are not generally applicable to other lands or structures in the same zoning districts?

the encroachment into the side yard setback is existing, and although the area and intensity of use would be increased, there is existing landscaping and a privacy fence that buffers the addition from the neighboring property.

Will granting the variance confer a special privilege that is denied by this regulation to other lands, structures, or buildings in the same district?

No, many house on this block of Essex Rd encroach on thier required side yard setbacks.

Will the essential character of the neighborhood area be substantially altered or will adjoining properties suffer substantial detriment as a result of the variance?

No, the existing three seasons room is already over the required setback. The proposed addition matches the existing home architecture and fits the character of the neighborhood.

Have all reasonable alternatives been investigated or exhausted to find that this variance request is the minimum necessary to make reasonable use of land and structures?

Alternatives without the additional square footage would not meet the client's requirements for the project.

Can this property yield a reasonable return or can there be any beneficial use of the property without the variance?

Yes - The addition will increase the useability and value of the home.

Acknowledgement: I or a representative will be present at the BZAP hearing.* 



04/10/2025

To Whom It May Concern,

I hope this letter finds you well. My name is John Hamlett, and I am a team member with The Cleary Company, a design-build remodeler serving homeowners in Central Ohio. We are currently collaborating with your neighbors, Sarah and Zander Jeney, who reside at 1740 Essex Rd, Upper Arlington, OH 43221.

I am writing to inform you about a variance request we are pursuing with the City of Upper Arlington to allow for the construction of a two-story addition to replace the existing three-season room on the right side of the home. The existing structure is currently within the city's required 8-foot side yard setback by 1'-6". The proposed addition will extend the footprint back 2'-10" along this existing line.

As part of the variance request process, the homeowner is required to notify neighbors within 100 feet of the property line of the variance request.

The application for variance will be reviewed by the Board of Zoning and Planning (BZAP) on **May 21, 2025**. The BZAP meetings begin at 6 PM and will be held at the Upper Arlington Municipal Services Center, located at 3600 Tremont Road, Upper Arlington, Ohio, 43221. If you have any questions concerning the application, you may attend this public meeting.

Thank you for taking the time to read this letter. If you have any questions about this process or need further information, please feel free to contact me.

JOHN HAMLETT

PROJECT CONSULTANT, UDCP

The Cleary Company / 989 Old Henderson Rd / Columbus, OH 43220

Cell: 614.795.0126 / **Main:** 614.459.4000

Revised: May 2023

Certification of Notice

Applicant Name: ZANDER JENEY & SARAH BAKER JENEY

Location of property subject to BZAP request: 1740 ESSEX RD COLUMBUS OH 43221

This application will be heard by the Board of Zoning and Planning on: 05-21-2025

Describe activity which requires Board of Zoning and Planning review:

Replace a three season room that encroaches 1.45 ft into the 8 ft side yard setback with a two story addition.

Board of Zoning and Planning (BZAP) meetings begin at 6 PM on Wednesdays and are held at the Upper Arlington Municipal Services Center, 3600 Tremont Road, Upper Arlington, Ohio, 43221. Meeting location details and additional instructions will be provided on the Agenda, which is posted on the City's website at upperarlingtonoh.portal.civicclerk.com. For further information, please contact the Planning Division at planning@uaoh.net.

Your signature below DOES NOT constitute approval or disapproval of the request. Your signature only represents that you have been properly notified of the request. You are encouraged to attend any and all meetings regarding this matter.

Address of Property to be notified:	Property Owner Name:	Property Owner Signature or Certified Mail No.:	Date obtained or Mail sent:
1724 ESSEX RD COLUMBUS OH 43221	TODD MARCH OR JAYNE ROSE-MARCH	9589 0710 5270 2183 552939	4/15/25
1732 ESSEX RD COLUMBUS OH 43221	BRIAN OR ELIZABETH WILLIAMS	9589 0710 5270 2183 574191	4/15/25
2250 NORTHWEST BL COLUMBUS OH 43221	PEGGY OLSON	9589 0710 5270 2183 674207	4/15/25
2260 NORTHWEST BL COLUMBUS OH 43221	ADRIANA HOPKINS OR SAMUEL WHEELER	9589 0710 5270 2183 574214	4/15/25
1751 DOONE RD COLUMBUS OH 43221	ALVIN OR BETTY ALLISON	9589 0710 5270 2183 574221	4/15/25
1735 DOONE RD COLUMBUS OH 43221	CRAIG OR MOLLY HAGKULL	9589 0710 5270 2183 574238	4/15/25
1727 DOONE RD COLUMBUS OH 43221	PAUL OR ROBIN WEBB	9589 0710 5270 2183 574245	4/15/25
1717 DOONE RD COLUMBUS OH 43221	REBECCA HELLMANN	9589 0710 5270 2183 574252	4/15/25
1733 ESSEX RD COLUMBUS OH 43221	SEAMUS OR KATHERINE BRENNAN	9589 0710 5270 2183 574269	4/15/25
1743 DOONE RD COLUMBUS OH 43221	SARAH ARMSTRONG	9589 0710 5270 2183 574276	4/15/25
Applicant Signature: 			Date: 4/15/25

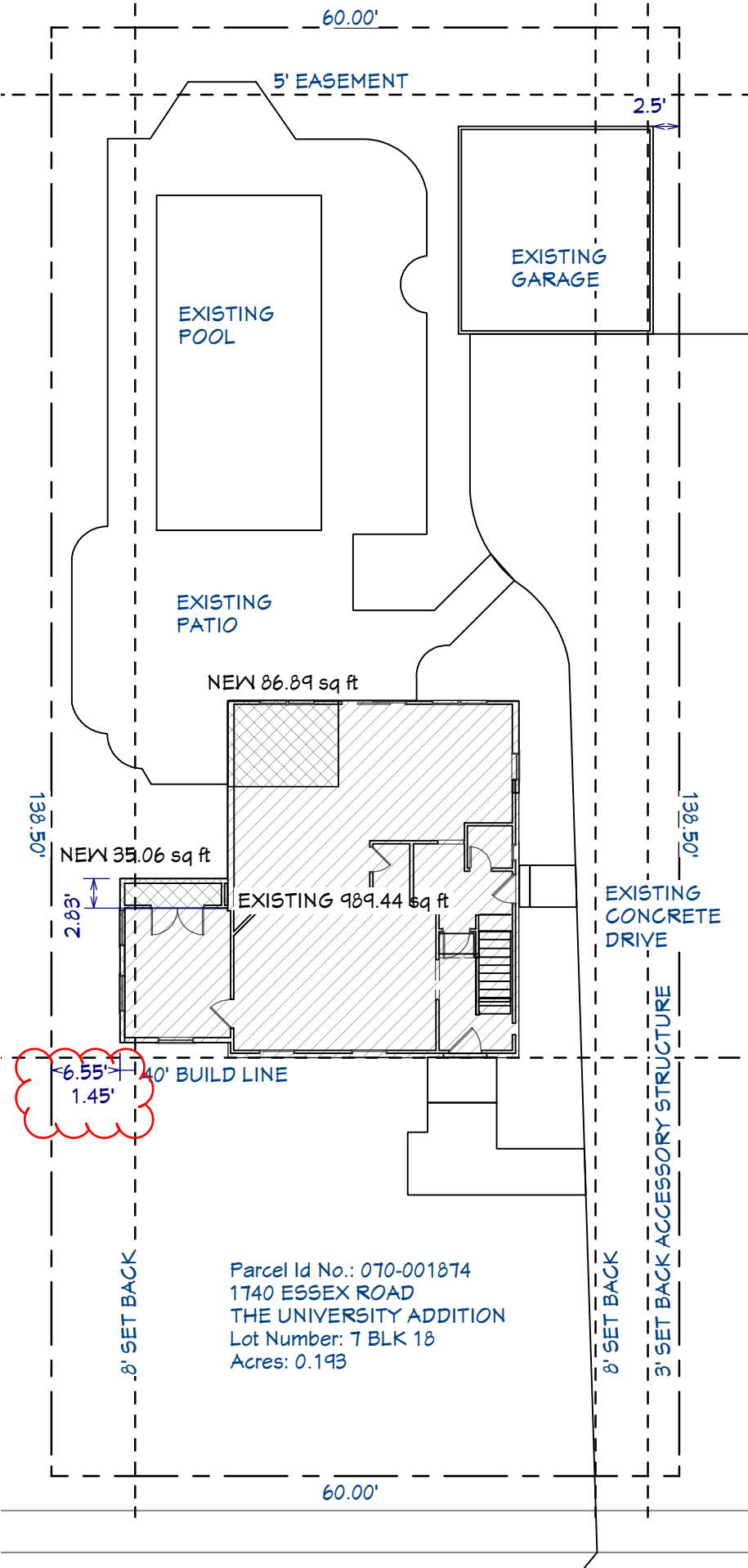
SITE INFO.

ZONING CLASSIFICATION: R-1C

VARIANCE REQ'D

LOT AREA	8,310 SQ.FT.	
PERMITTED BUILDING COVER 29%	2,410 SQ.FT.	
PROPOSED BUILDING COVER 18%	1,511 SQ.FT.	NO
HOUSE - 1,141 SQ.FT.		
EXIST. GARAGE - 370 SQ.FT.		
PERMITTED DEVELOPMENT COVER	4,155 SQ.FT. 50%	
EXISTING DEVELOPMENT COVER	4,490 SQ.FT. 54%	
PROPOSED DEVELOPMENT COVER	4,526 SQ.FT. 54.4%	EXIST.
PERMITTED FRONT YARD SETBACK	40'-0"	
PROPOSED FRONT YARD SETBACK	40'-0"	NO
PERMITTED REAR YARD SETBACK	1/4 LOT DEPTH 34'-8"	
PROPOSED REAR YARD SETBACK	1/4 LOT DEPTH 34'-8"	NO
PERMITTED SIDE YARD SETBACK	8'-0"	
PROPOSED SIDE YARD SETBACK		
WEST SIDE ADDITION	6'-6"	YES
EXISTING DETACHED GARAGE		
PERMITTED SIDE YARD SETBACK	3'-0"	
EXISTING SIDE YARD SETBACK	2'-6"	NO
PERMITTED BUILDING HEIGHT	35'-0"	
PROPOSED BUILDING HEIGHT	APPROX. 28'-0"	NO

ZONING	R-1C
ZONING DISTRICT	One-Family Residence District
MIN LOT AREA	9,000 S.F.
MIN LOT FRONT	75'
FRONT YARD SETBACK	40' or platted
SIDE YARD SETBACK	Lot width <75' = 8' or ≥75' = 10'
MIN SIDE YARD SUM	Lot width <75' = 16' or ≥75' = 20'
REAR YARD SETBACK	1/4 lot depth up to 40'
BUILD HEIGHT MAX	35' (2.5 stories); 28' in River Ridge
MAX DEVELOP COVER PERMIT	Lot width <75' = 50% or ≥75' = 45% TLA
MAX BUILD COVER	29% TLA



DRAWINGS PROVIDED BY:

THE CLEARY COMPANY
989 Old Henderson Rd
COLUMBUS, OH 43220
614.459.4000

JENEY RESIDENCE
1740 ESSEX ROAD - COLUMBUS, OHIO 43221

SITE PLAN

REVISIONS	
NO.	DATE
ISSUE DATE: 4/8/2025	
PROJECT NUMBER: PROJECT 1740-C-24	
SCALE: 1" = 15'	
SHEET NO. S1	



NEW FLOOR PLANS

ISSUE DATE:	4/8/2025
PROJECT NUMBER:	PROJECT 1740-C-24
SCALE:	3/16" = 1'

D1



DRAWINGS PROVIDED BY:

THE CLEARY COMPANY
989 Old Henderson Rd
COLUMBUS, OH 43220
614.459.4000

JENEY RESIDENCE
1740 ESSEX ROAD - COLUMBUS, OHIO 43221

EXTERIOR ELEVATIONS

REVISIONS

NO.	DATE

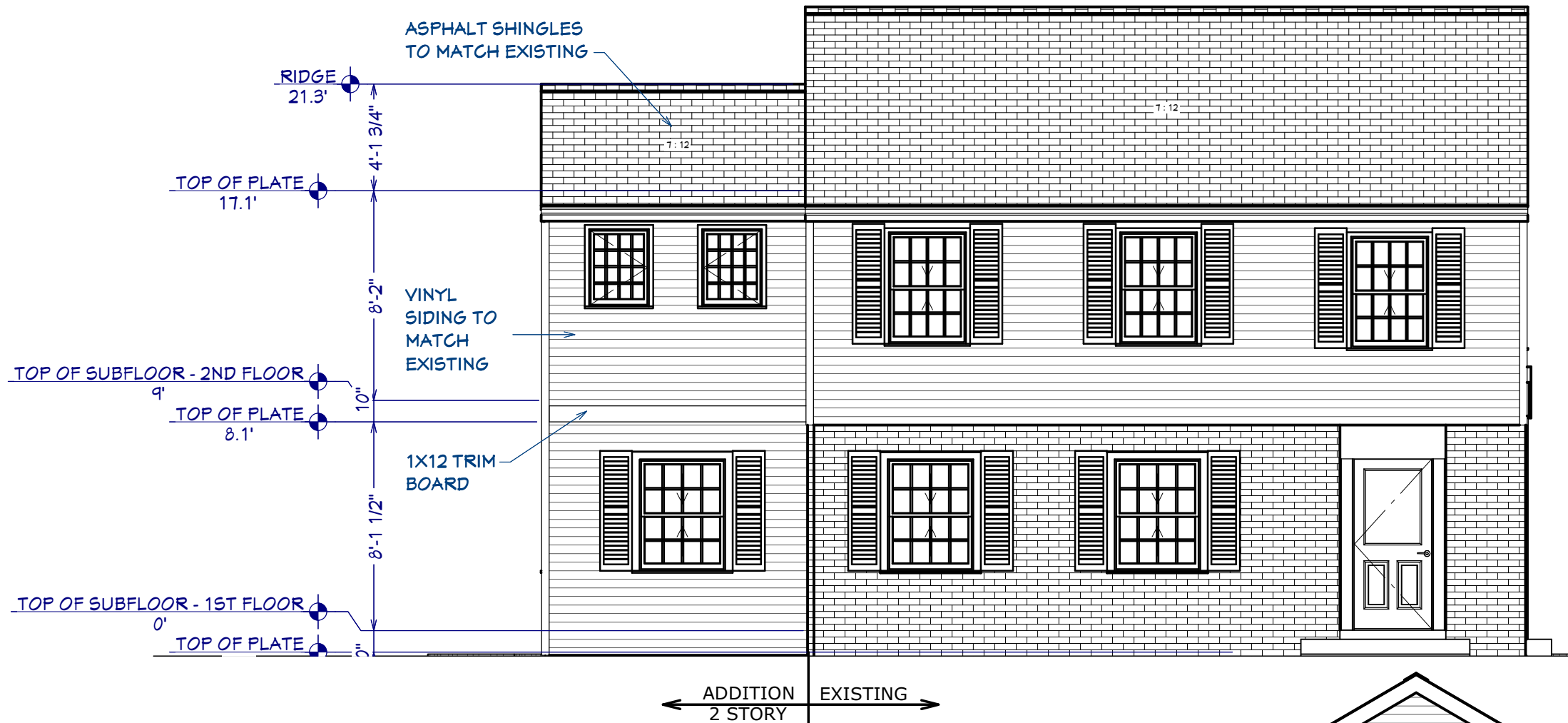
ISSUE DATE:
4/8/2025

PROJECT NUMBER:
PROJECT 1740-C-24

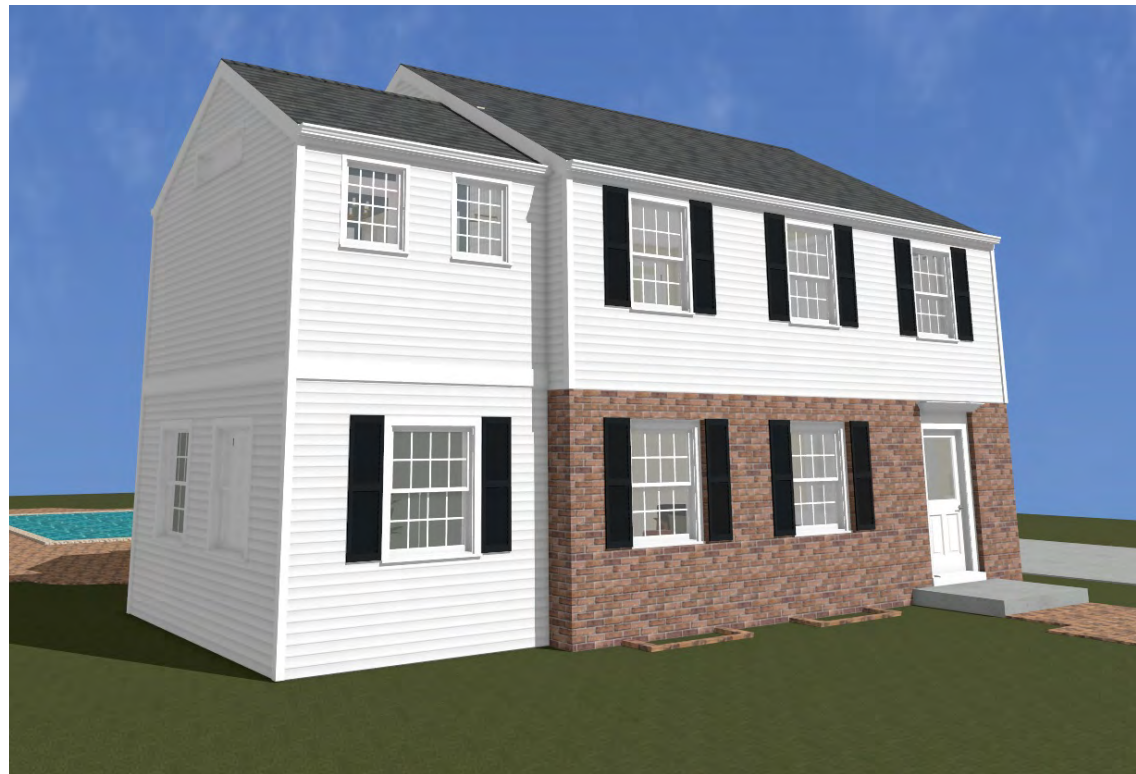
SCALE:
3/16" = 1'

SHEET NO.

D2



FRONT ELEVATION



RIGHT SIDE ELEVATION



DRAWINGS PROVIDED BY:

THE CLEARY COMPANY
989 Old Henderson Rd
COLUMBUS, OH 43220
614.459.4000

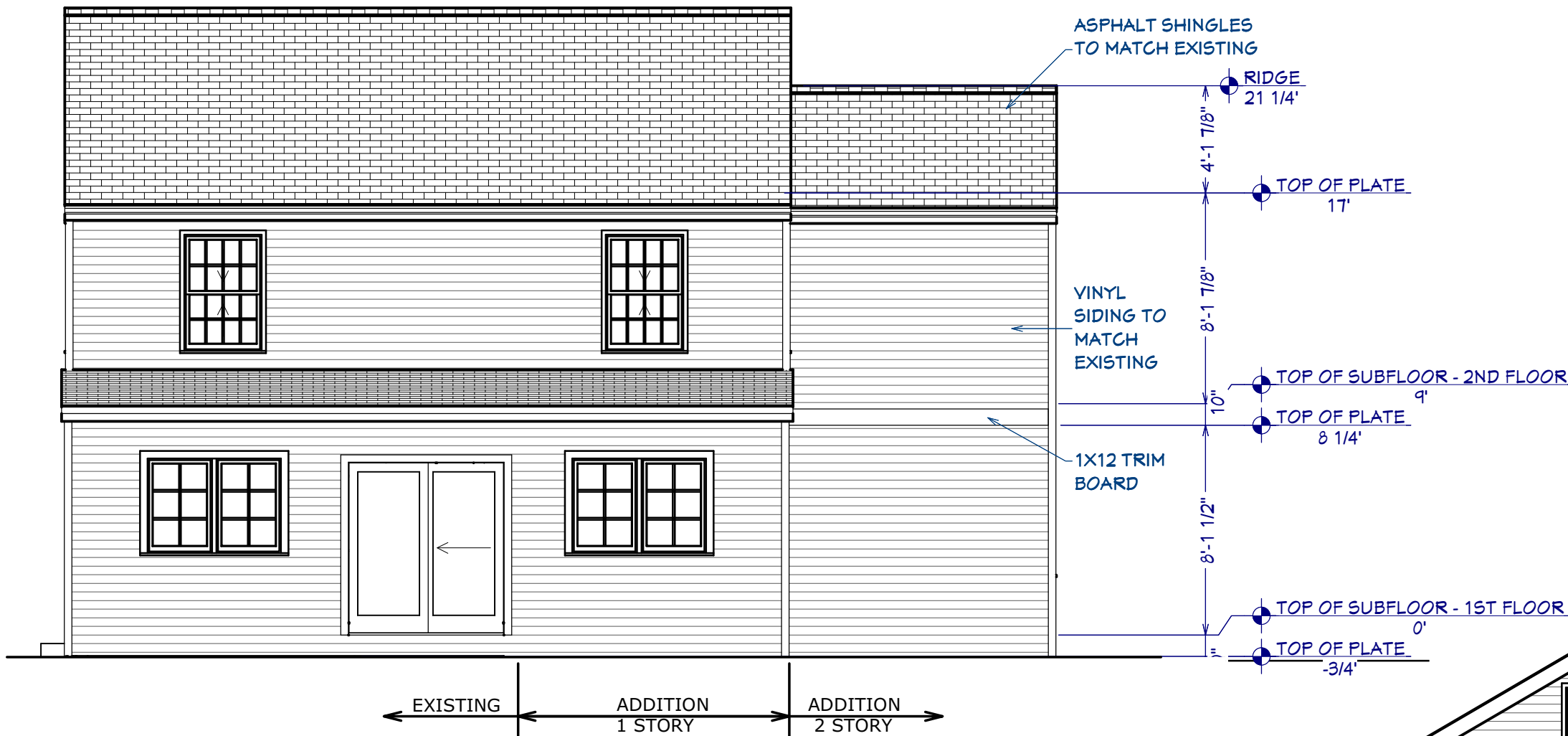
JENEY RESIDENCE
1740 ESSEX ROAD - COLUMBUS, OHIO 43221

EXTERIOR ELEVATIONS

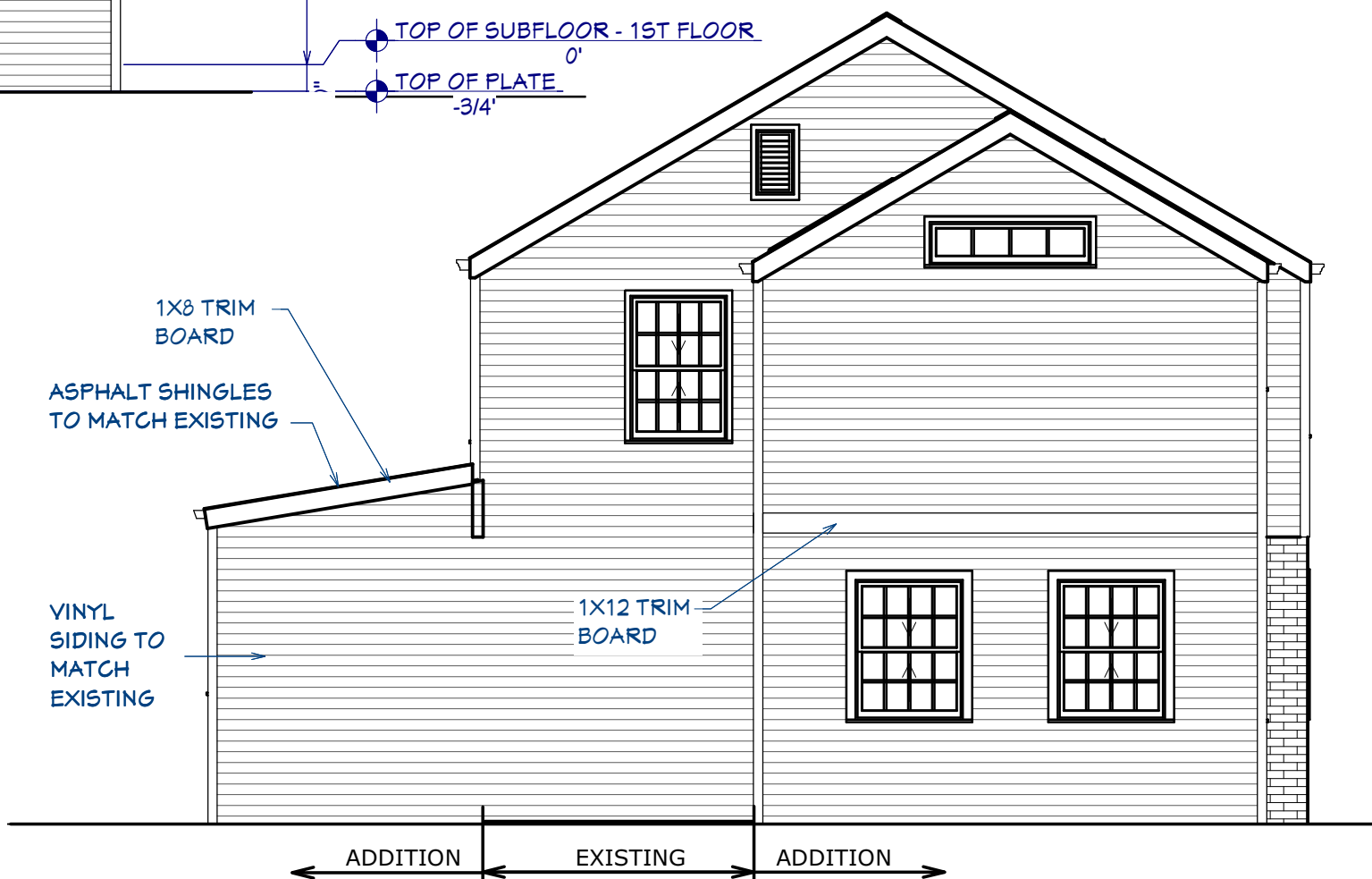
REVISIONS	
NO.	DATE

ISSUE DATE: 4/8/2025
PROJECT NUMBER: PROJECT 1740-C-24
SCALE: 3/16" = 1'

SHEET NO.
D3



REAR ELEVATION



LEFT SIDE ELEVATION

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1740 Essex Road

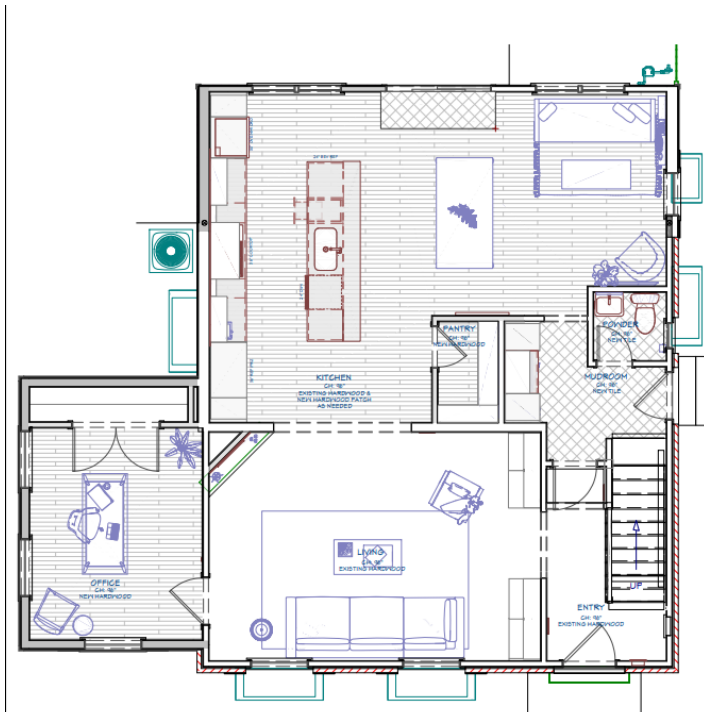
BZAP Staff Report Pictures | Variance Application



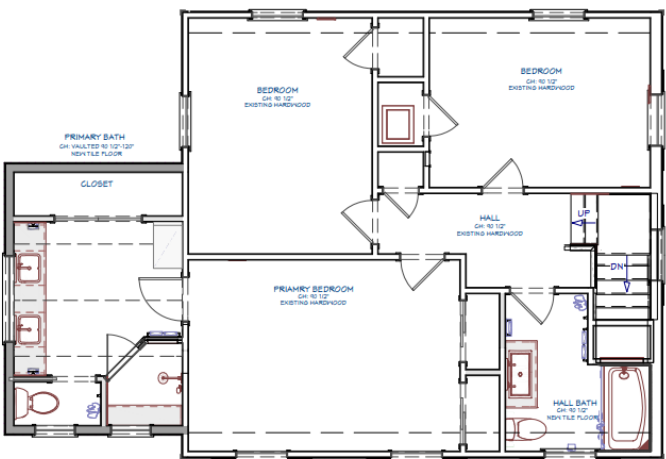
Google Maps ® Aerial – Looking North



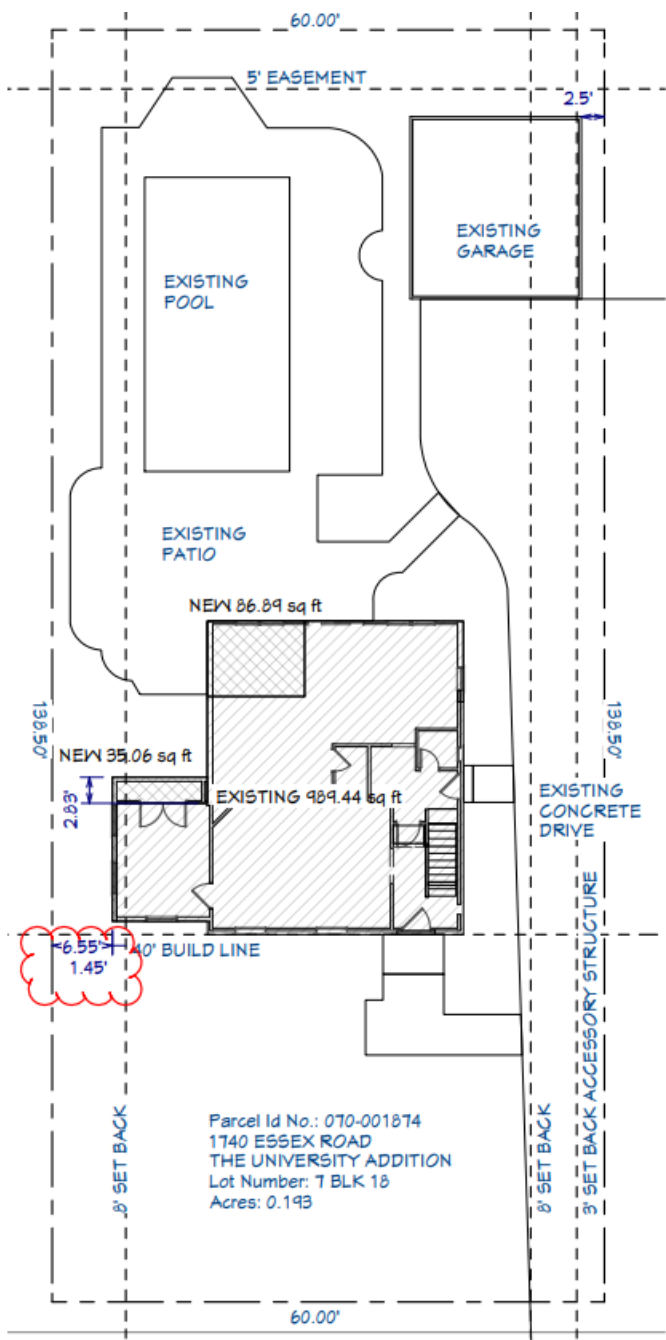
Proposed Site and Plans



1st Floor Plan



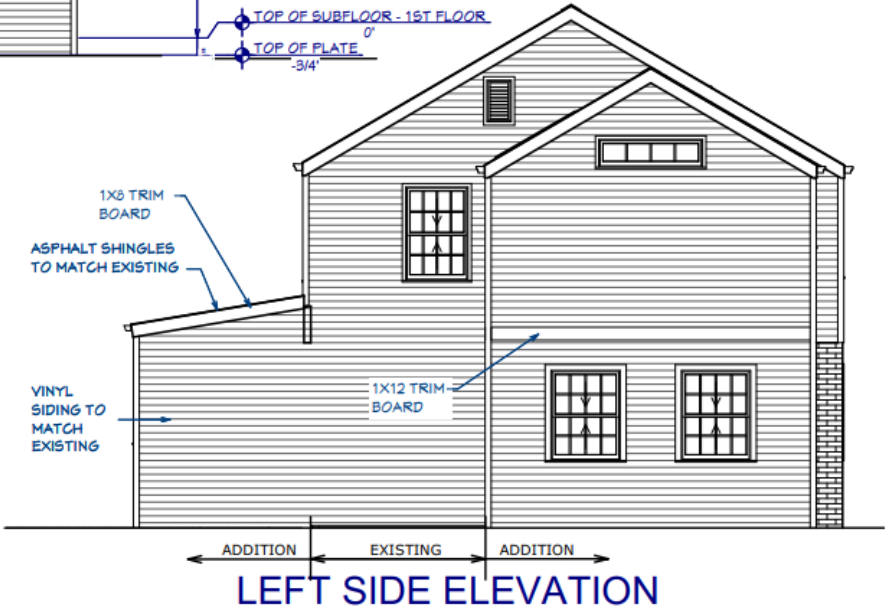
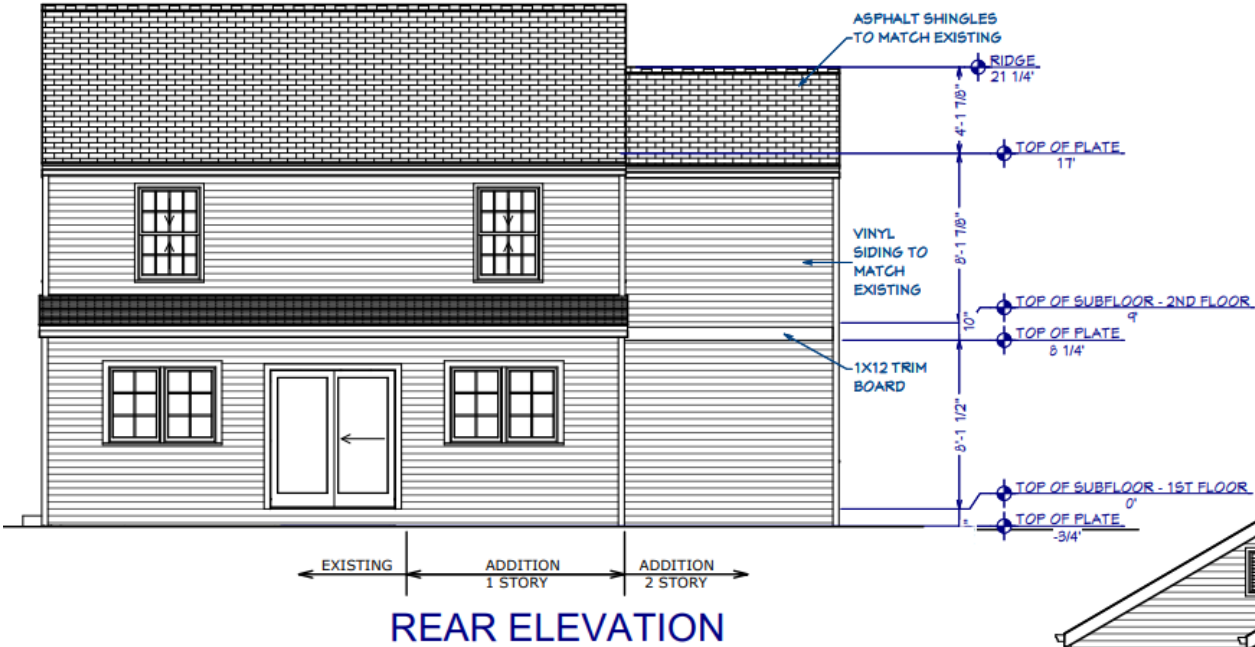
2nd Floor Plan



Existing and Proposed Front Elevation



Existing and Proposed Side/Rear Elevations



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Authors: Justin Milam, AICP, Senior Planner

BZAP Meeting Date: May 21, 2025

Subject: 2224 Tremont Road (VAR-23-25) - To allow a second story addition to be located atop an existing office that encroaches eight inches into the eight-foot minimum side yard setback.

Site Description/History

The subject property, 2224 Tremont Road, is located on the northeast side of the street, between Westover and Tewksbury Roads; it is zoned R-1c, One-Family Residence District. The property measures 66' x 150', similar to others in the neighborhood, and was platted as Lot #7 of the Upper Arlington subdivision from 1921. A two-story brick, stucco and siding home that was built in 1949 sits along the platted 40-foot building setback line and includes a driveway on the north side of the property that leads to a two-car detached garage. It is designated as a Contributing Structure in the Historic District. The applicant purchased the property in July 2018.

The existing office was enclosed as part of a variance granted in 1998, while a front porch variance request was granted in 2002.

Proposal

This application proposes a new second floor closet addition atop an existing first floor office. The 143-square foot office measures 9'-11' wide and 14'-5" deep, but encroaches eight inches into the side yard setback; the total encroachment is 9.6 square feet. A second floor closet is proposed above it and would maintain the same width, but would be two feet deeper, at 16'-5"; the encroachment would increase to 11 square feet. It is 21'-2" tall, 4'-7" lower than the ridge height of the home, and includes new Hardi-panel siding on the first floor with horizontal siding on the second to match the residence. Building, development, and front yard development coverage are all compliant with City standards, as are the side yard longwall setback and rear yard profile.

Zoning Code Requirements

- To allow a second story addition to be located atop an existing office that encroaches eight inches into the eight-foot minimum side yard setback (Article 5.02).



Alternatives

The applicant has explored reducing the width of the proposed second floor closet to comply with the minimum side yard setback, but this results in a smaller closet and creates more construction and structural challenges as the proposed plan takes advantage of the existing first floor structure (framing, footer, foundations, etc.).

Requested Action and Findings

Staff has reviewed the application and plans, visited the site, and discussed it with the applicant. The proposed design complements the home, is modestly-sized and would not negatively impact adjacent property or views from the street (Finding #4). The plan utilizes an existing site condition, and creates more closet and storage space on the second floor. For these reasons, Staff recommends that this application be approved.

Attachments

1.	Variance Application - 2224 Tremont Road
2.	BZAP Staff Report Pics - 2224 Tremont Road
3.	Building Card, 070-000798





25-1618

Variance Application

Status: Active

Submitted On: 4/15/2025

Primary Location

2224 TREMONT RD
UPPER ARLINGTON, OH 43221

Owner

Devin Woodyard
TREMONT 2224 COLUMBUS,
OH 43221

Applicant

 Devin Woodyard
 614-778-4110
 dwoodyard.1@orwoodyard.com
 2224 Tremont Rd
Upper Arlington, OH 43221

BZAP Information

BZAP Case

VAR-23-25

Status

Pending

BZAP Determination Date

05/21/2025

Vote Tally

Primary Variance

Side Yard

Findings of Fact for Approval/Denial

Variance Request

To allow a second story addition to be located atop an existing office that encroaches eight inches into the eight-foot minimum side yard setback.

BZAP conditions

Variance Information

Describe Variance Request ?

Request to build second floor addition on existing building footprint that currently sits 8" over the south side setback.

What practical difficulty, special conditions and/or circumstances exist that are peculiar to the land or structure involved and which are not generally applicable to other lands or structures in the same zoning districts?

Existing structure is already over the variance, there is no further footprint encroachment being requested. An addition where the 2nd floor is "returned" to the current setback or further would not look aesthetically correct. The current floor plan on the 2nd floor has an undersized bedroom and a bathroom that is too small to fit a vanity making it hazardous for hair dryers and other common bathroom appliances to be used. This bathroom is utilized by two of the bedrooms.

Will granting the variance confer a special privilege that is denied by this regulation to other lands, structures, or buildings in the same district?

No I do not believe so. It will not be right up against the adjoining property line and the addition would still be 92% in compliance with the setback. There is plenty of space between the homes that it will not interfere with any line of sight.

Will the essential character of the neighborhood area be substantially altered or will adjoining properties suffer substantial detriment as a result of the variance?

No, I do not believe so. The existing addition was done in stucco which does not match the colonial/georgian architecture of the rest of the front facade. The new addition will replace the stucco with white hardie cement siding and trim that will look more pleasing and in line with colonial architecture. It will not cause any hardship or significant loss to any of the surrounding properties.

Have all reasonable alternatives been investigated or exhausted to find that this variance request is the minimum necessary to make reasonable use of land and structures?

Yes, we explored options within the existing footprint but the shifting of rooms was awkward and would not make best use of the space.

Can this property yield a reasonable return or can there be any beneficial use of the property without the variance?

Yes, it could, but the addition will improve the use of space on the second floor by making an undersized bedroom more in line with traditional size of bedroom found in the neighborhood. Additionally, expanding the middle bathroom (Bath 2) will make the bathroom more beneficial for two bedrooms use with little to no detriment to the surrounding properties.

Acknowledgement: I or a representative will be present at the BZAP hearing.* 





Revised: May 2023

Certification of Notice

Applicant Name: Devin Woodyard

Location of property subject to BZAP request: 2224 Tremont Rd. Upper Arlington

This application will be heard by the Board of Zoning and Planning on: 5/21/2025

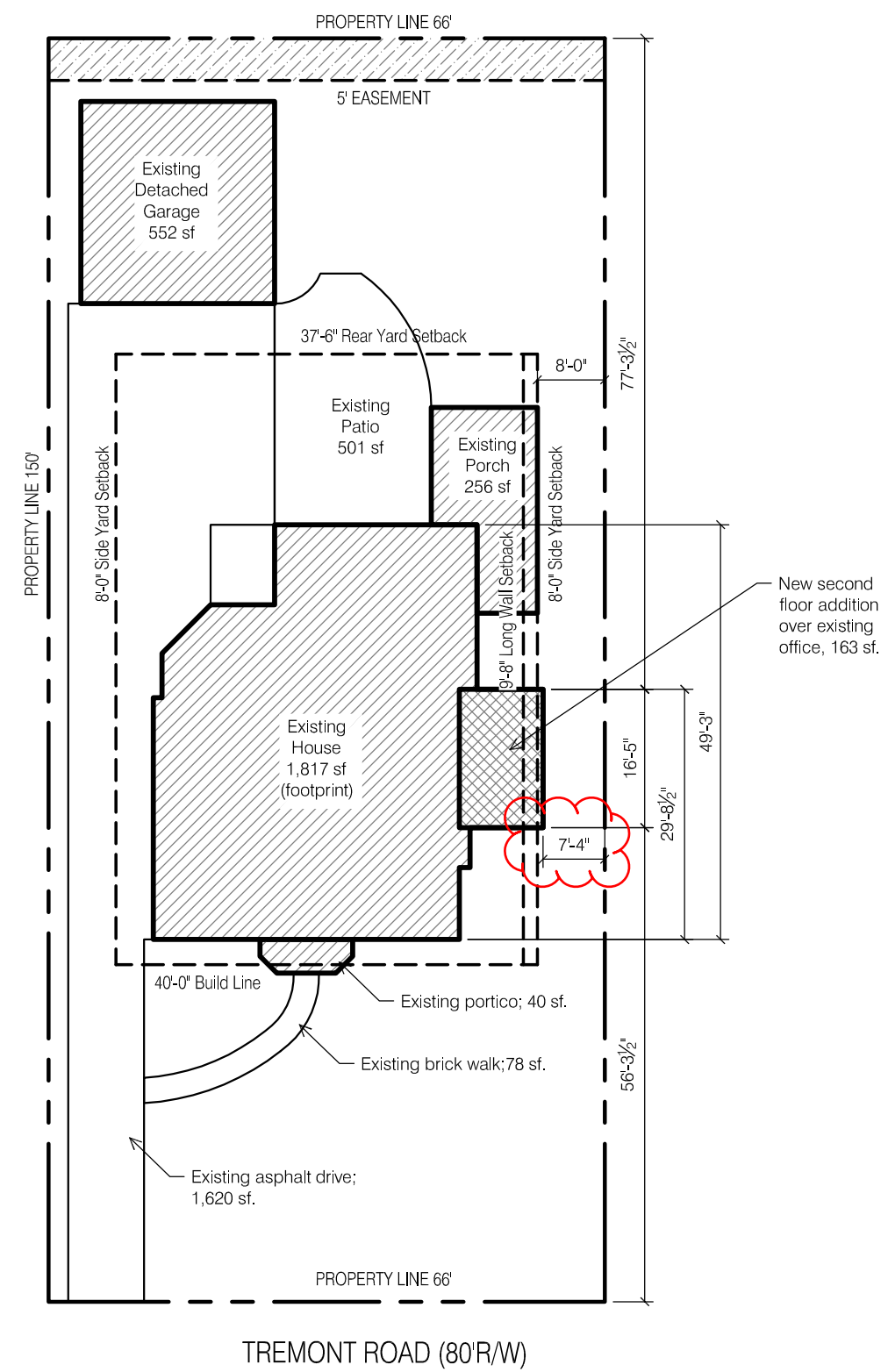
Describe activity which requires Board of Zoning and Planning review:

A variance to add a second floor addition over existing footprint which is 8" over the side yard setback.

Board of Zoning and Planning (BZAP) meetings begin at 6 PM on Wednesdays and are held at the Upper Arlington Municipal Services Center, 3600 Tremont Road, Upper Arlington, Ohio, 43221. Meeting location details and additional instructions will be provided on the Agenda, which is posted on the City's website at upperarlingtonoh.portal.civicclerk.com. For further information, please contact the Planning Division at planning@uaoh.net.

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Address of Property to be notified:	Property Owner Name:	Property Owner Signature or Certified Mail No.:	Date obtained or Mail sent:
2232 Tremont Rd	Gregory Stype / Deborah Stype	<i>Deborah Stype</i>	4/13/25
2210 Tremont Rd	Jonni Ford		
2216 Tremont Rd	Kyle Rooney / Christine Rooney	<i>Kyle Rooney</i>	4/11/25
2242 Tremont Rd	Richard Burry / Yvonne Burry	<i>Richard Burry</i>	4/13/25
2211 Tremont Rd	Brian McGinty / Alicia McGinty	<i>Brian McGinty</i>	4/13/25
2219 Tremont Rd	Adam Scott / Amber Scott	<i>Adam Scott</i>	4/13/25
2227 Tremont Rd	Daniel Straka / Brittany Straka	<i>Brittany Straka</i>	4/11/25
2253 Fairfax Rd	Stephanie Price / Sean Lindsey	<i>Stephanie Price</i>	4/11/25
2245 Fairfax Rd	Timothy Dolan	<i>Timothy Dolan</i>	4/11/25
2239 Fairfax Rd	Bunra Kaun / Jenna Kaun	<i>Bunra Kaun</i>	4/11/25
2233 Fairfax Rd	Samuel Linzell / Holly Linzell	<i>Samuel Linzell</i>	4/11/25
2229 Fairfax Rd	Robert Hutchinson / Kay Hutchinson	<i>Robert Hutchinson</i>	4/11/25
Applicant Signature: <i>Devin Woodyard</i>			Date: 4/15/25



1 OVERALL SITE PLAN

SCALE: 1" = 20'-0"

0 10 20 40

TREMONT ROAD (80'R/W)

GENERAL INFORMATION

Address: 2224 Tremont Road
Upper Arlington, Ohio 43221

Scope of Project: Construction of a new second floor addition above an existing office at the south side of the house for a new primary closet. The existing shared bath is to be relocated, a bedroom enlarged, and laundry moved to second floor. First floor laundry to be backfilled with wet bar.

Franklin County Lot #: 070-000798-00

Second Floor Addition SF: 163 sf

DESIGN CRITERIA

Design Criteria:
Wind Speed = 115 mph
Seismic Category = A
Weathering = Severe
Frost Line Depth = 36"
Termite = Moderate to Heavy
Ice Barrier Underlayment = Yes, Required.
Floor Live Load = 40 psf
Snow Load Roof = 20 psf
Foundation Concrete Compressive Strength = 2,500
Slab Concrete Compressive Strength = 3,000; air-entrained 5%-7%

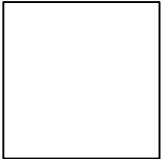
ZONING: R-1C

Number of Floors	Actual	Zoning Req't
Existing:	2	1 to 2.5 flr (35')
Lot Area & Lot Width	Actual	Zoning Req't
Lot Area:	9,900 sf	n/a
Lot Width:	66.00'	n/a
Addition Setbacks	Actual	Zoning Req't
Side Yard South:	7'-4"	8'-0" (Req Variance)
Long wall setback (50') = 8' + 1'-8" =		9'-8"
Rear Yard East:	78'-3"	37'-6" (25% lot depth)
Building Cover Limit	Actual	Zoning Req't
Building Cover w/ Addition:	2,685 sf (27%)	2,871 sf (29%) Meets zoning
Development Cover Limit	Actual	Zoning Req't
Dvprmt Cover w/ Addition:	4,884 sf (49%)	4,950 sf (50%) Meets zoning

SHEET INDEX

- A1.0 Site Plan & General Info
- A2.1 First Floor Plans
- A2.2 Second Floor Plans
- A3.1 Exterior Elevations
- A3.2 Overall Sections

ARCHITECT
BRENDA PARKER
614-586-5514
brenda.parker@cbusarch.com


March 24, 2025

WOODYARD RESIDENCE
2224 TREMONT ROAD
UPPER ARLINGTON, OHIO 43221

Zoning Set

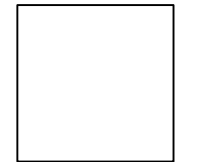
SCALE:
1/16" = 1'-0"

PROJECT NO.:

DATE:
March 24, 2025

SHEET NO.
A1.0

SITE PLAN & GENERAL INFO



March 24, 2025

WOODYARD RESIDENCE
2224 TREMONT ROAD
UPPER ARLINGTON, OHIO 43221

Zoning Set

SCALE:
As Noted

PROJECT NO.:

DATE:
March 24, 2025

SHEET NO.

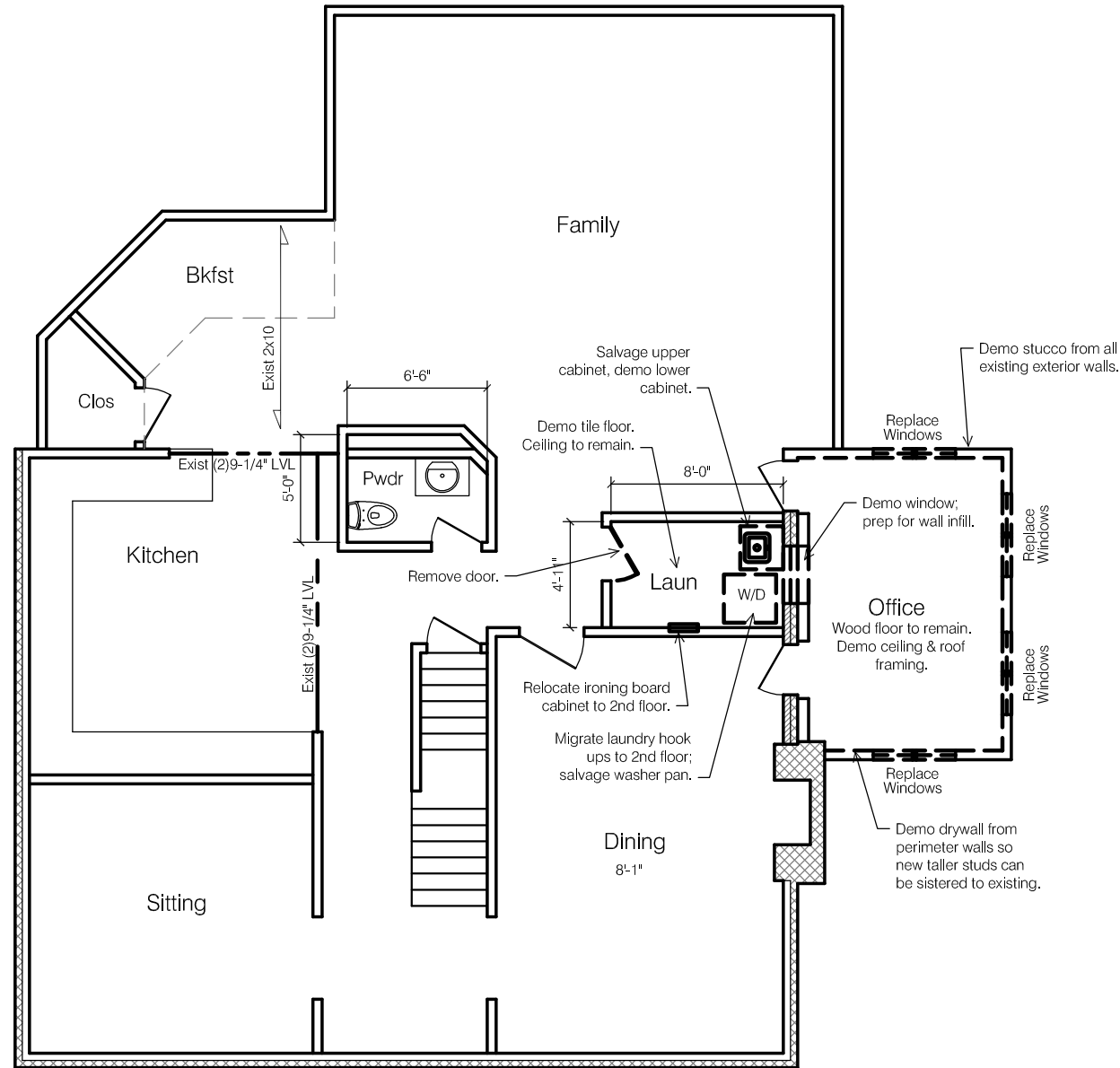
A2.1

FIRST FLOOR PLANS

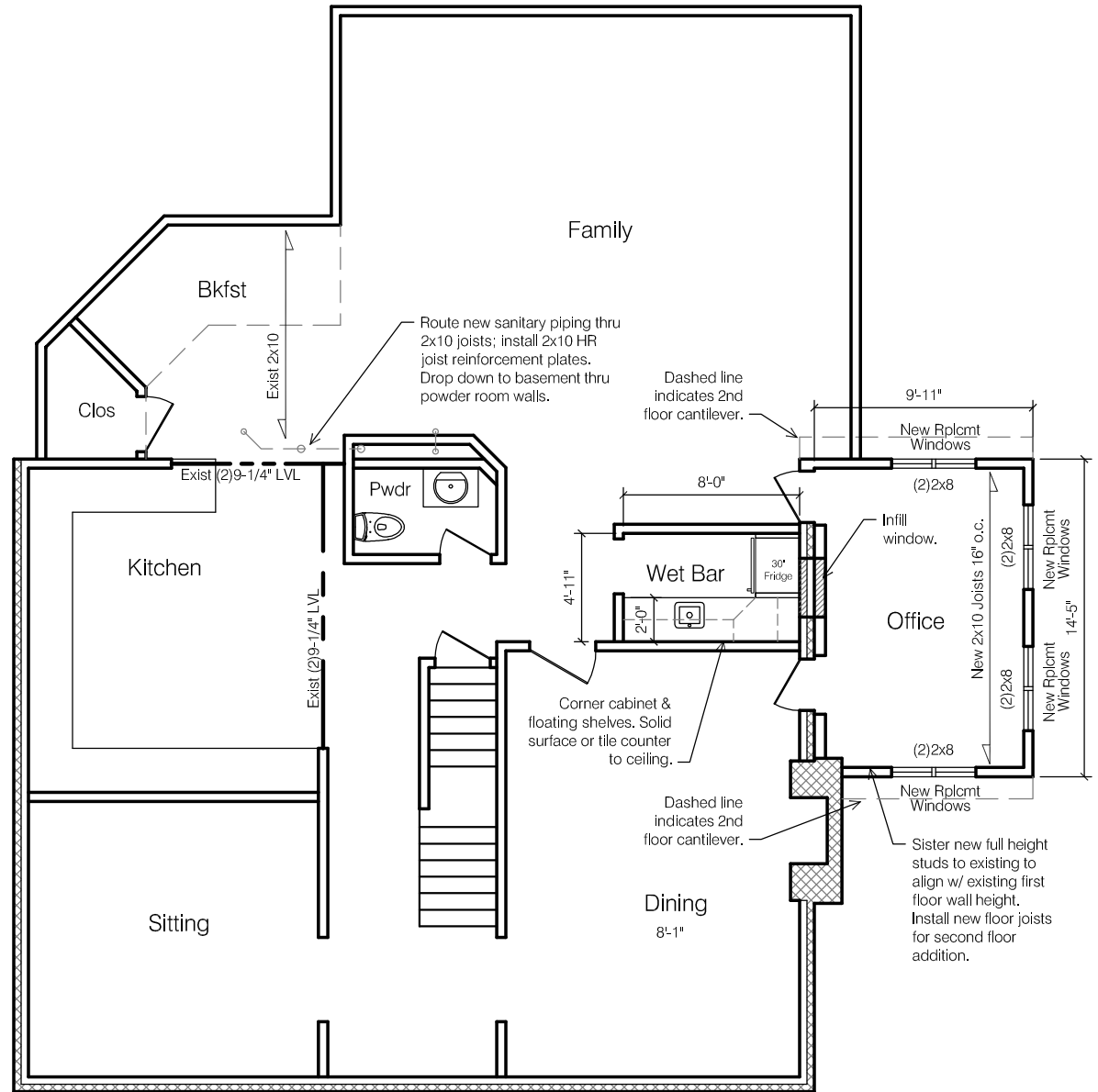
WALL LEGEND:

- Demo existing wall or component as noted.
- Existing masonry wall.
- Existing 2x4 wood stud walls @ 16" o.c. with new 1/2" gypsum wallboard on renovation side.

- New Interior Walls: 2x4 wood studs @ 16" o.c. with 1/2" gypsum wallboard.
- New Exterior Walls: 2x6 wood studs @ 16" o.c.; fill cavity with R19 kraft-faced fiberglass insulation; 1/2" gypsum wallboard at interior.

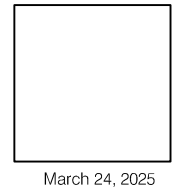


1 FIRST FLOOR PLAN - DEMO
SCALE: 1/8" = 1'-0"



2 FIRST FLOOR PLAN - NEW WORK
SCALE: 1/8" = 1'-0"





WOODYARD RESIDENCE
2224 TREMONT ROAD
UPPER ARLINGTON, OHIO 43221

Zoning Set

SCALE:
As Noted
PROJECT NO.:

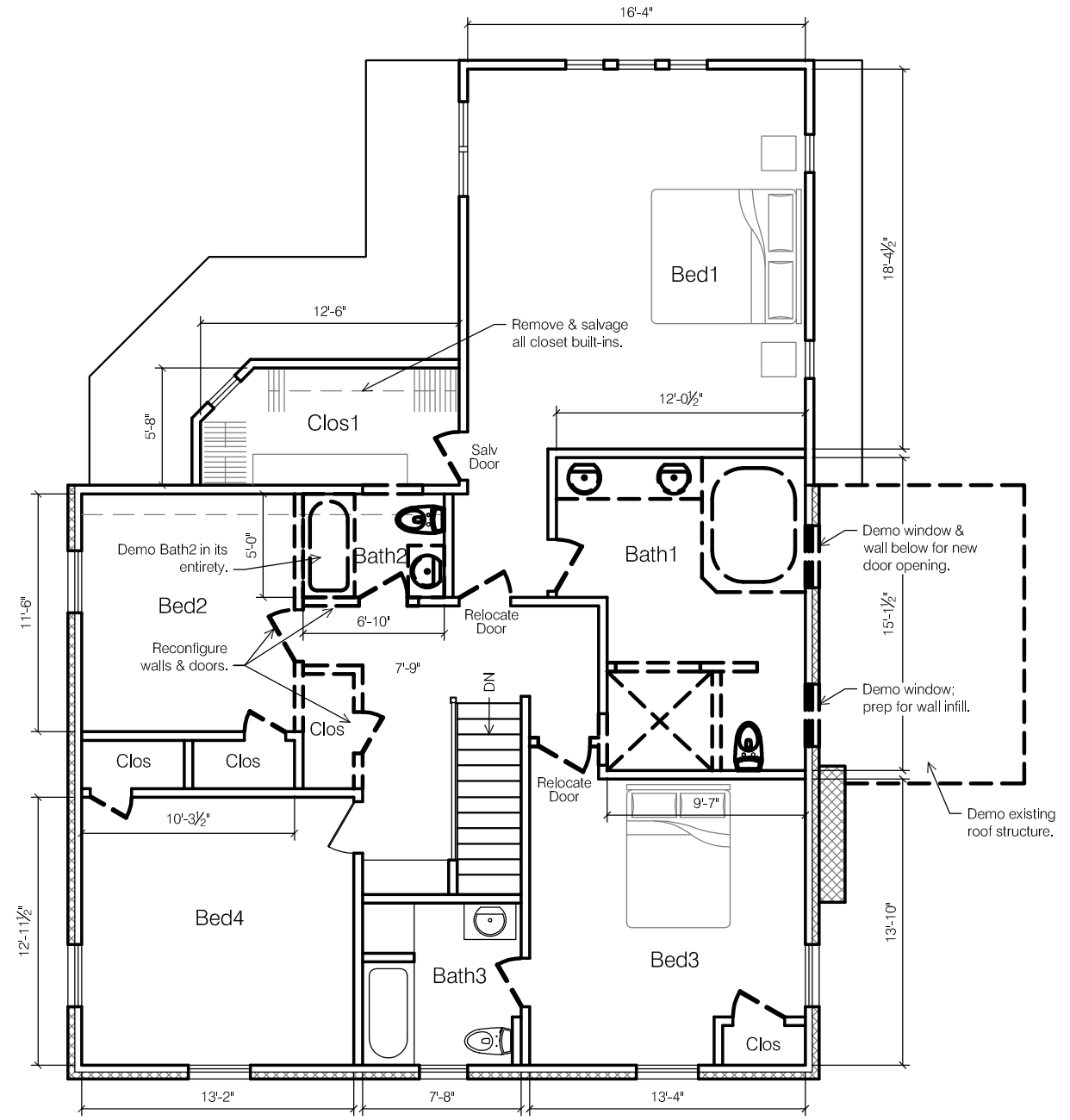
DATE:
March 24, 2025
SHEET NO.

A2.2

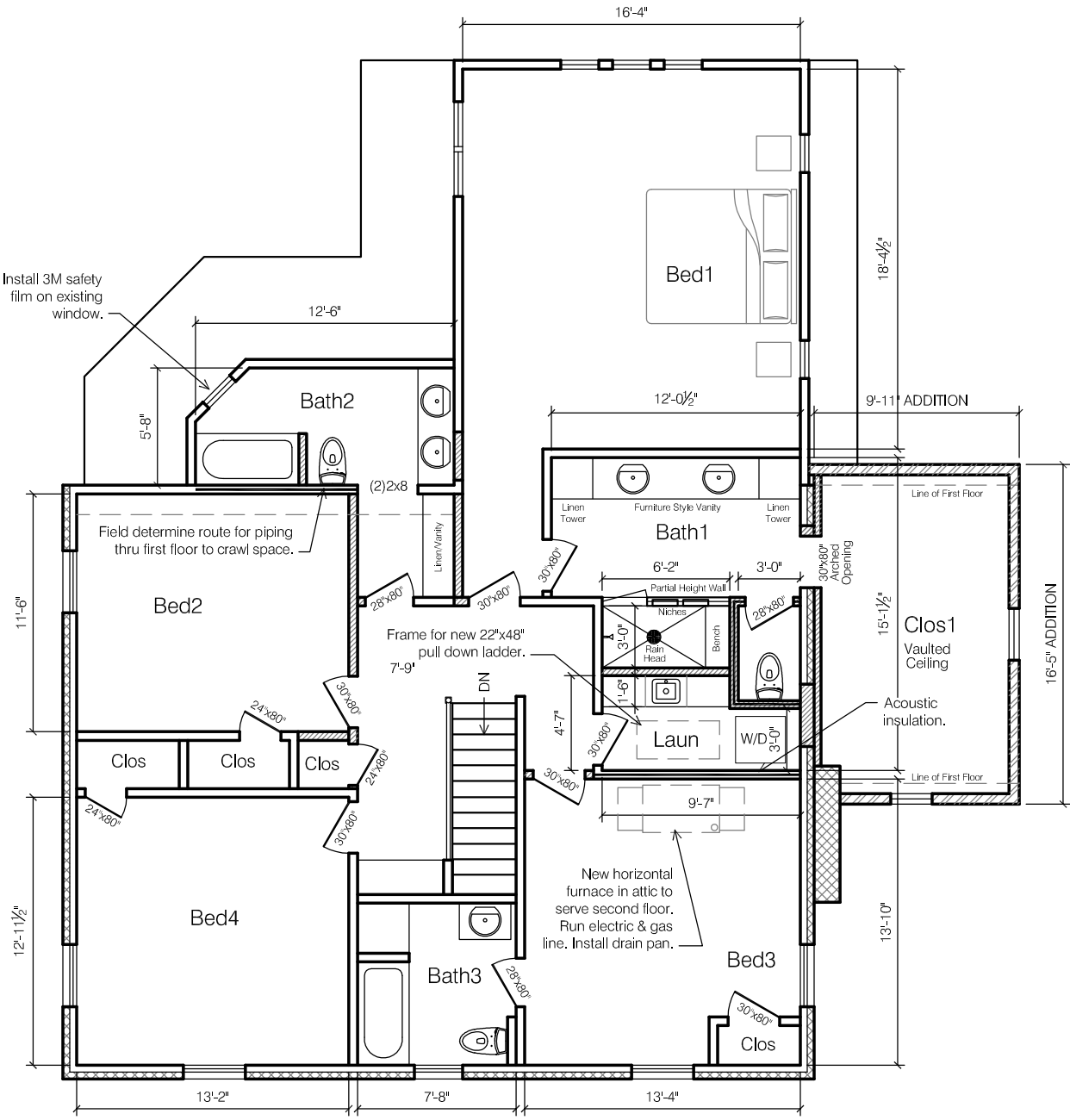
SECOND FLOOR PLANS

WALL LEGEND:

	Demo existing wall or component as noted.		New Interior Walls: 2x4 wood studs @ 16" o.c. with 1/2" gypsum wallboard.
	Existing masonry wall.		New Exterior Walls: 2x6 wood studs @ 16" o.c.; fill cavity with R19 kraft-faced fiberglass insulation; 1/2" gypsum wallboard at interior.
	Existing 2x4 wood stud walls @ 16" o.c. with new 1/2" gypsum wallboard on renovation side.		



1 SECOND FLOOR PLAN - DEMO
SCALE: 1/8" = 1'-0"

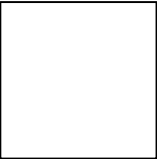


2 SECOND FLOOR PLAN - NEW WORK
SCALE: 1/8" = 1'-0"



WINDOW & DOOR SCHEDULE			EXTERIOR MATERIALS	
2224 Tremont Road			Body 1st Floor: New HardiPanel siding w/ 1x4 Windsor trim with Azek Scotia 3/4" x 3/4" panel mould. 1x10 frieze with Ekena Millwork Hughes bracket (2" wide x 10"h x 10"p). Body 2nd Floor: New HardiLap siding, smooth, 5" exposure. Paint in field. 1x4 Windsor casing picture frame & 1x4 corner trim. 1x10 trim along bottom. Soffit: Minimal overhang to accomodate continuous linear soffit vent. Roof: Slate roofing (utilize salvaged material & infill as necessary) to match existing as best as possible. Gutter: 5" Aluminum ogee gutter & downspouts.	
New Construction Windows to match existing manufacturer & type Exterior Color: White. Interior Color: White. Glass: LoE-272 with Argon. Jamb Extension for 2x6 walls.				
#	NOMENCLATURE	OPERATION		
01	Single (Frame Size 2'-4"w x 4'-8"h) PClos - 2 locations	Double Hung		

ARCHITECT
BRENDA PARKER
614-586-5514
brenda.parker@cbusarch.com



March 24, 2025

WOODYARD RESIDENCE
2224 TREMONT ROAD
UPPER ARLINGTON, OHIO 43221

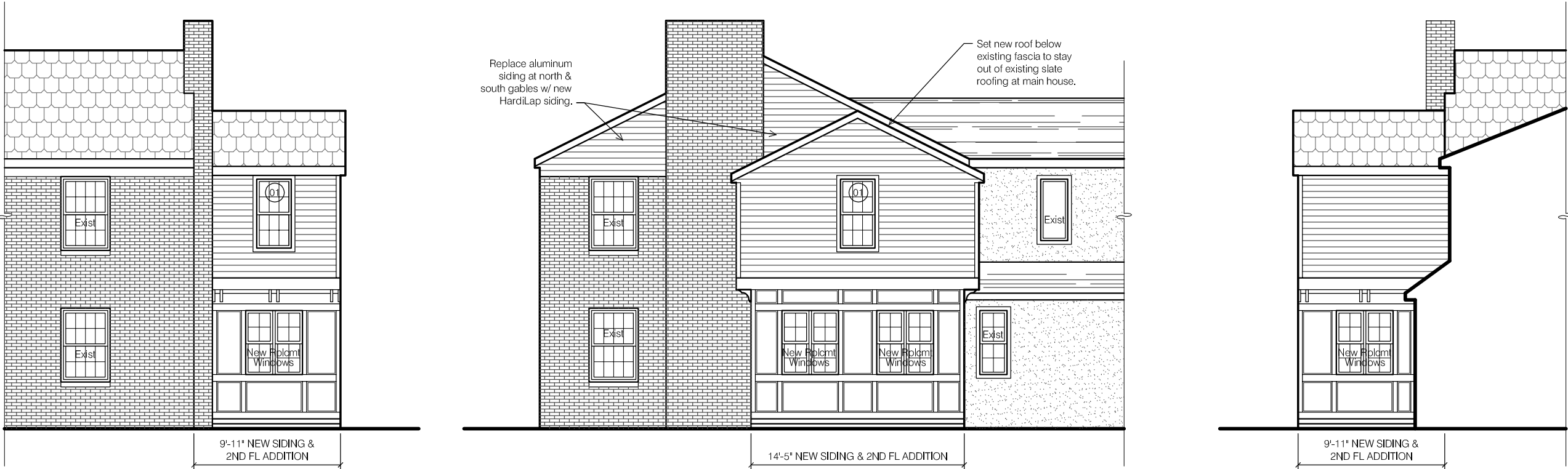
Zoning Set

SCALE:
As Noted
PROJECT NO.:

DATE:
March 24, 2025
SHEET NO.

A3.1

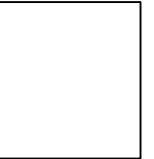
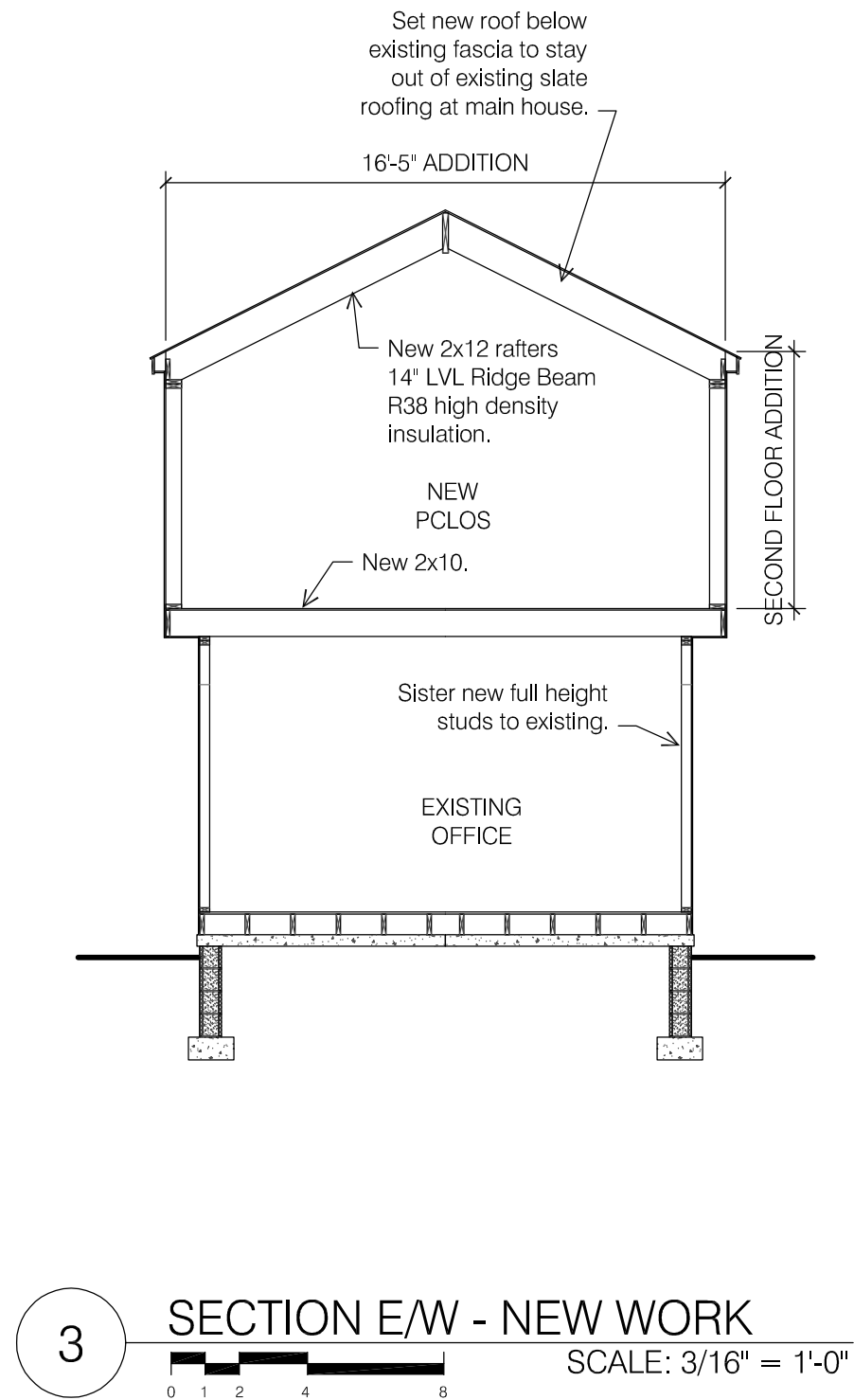
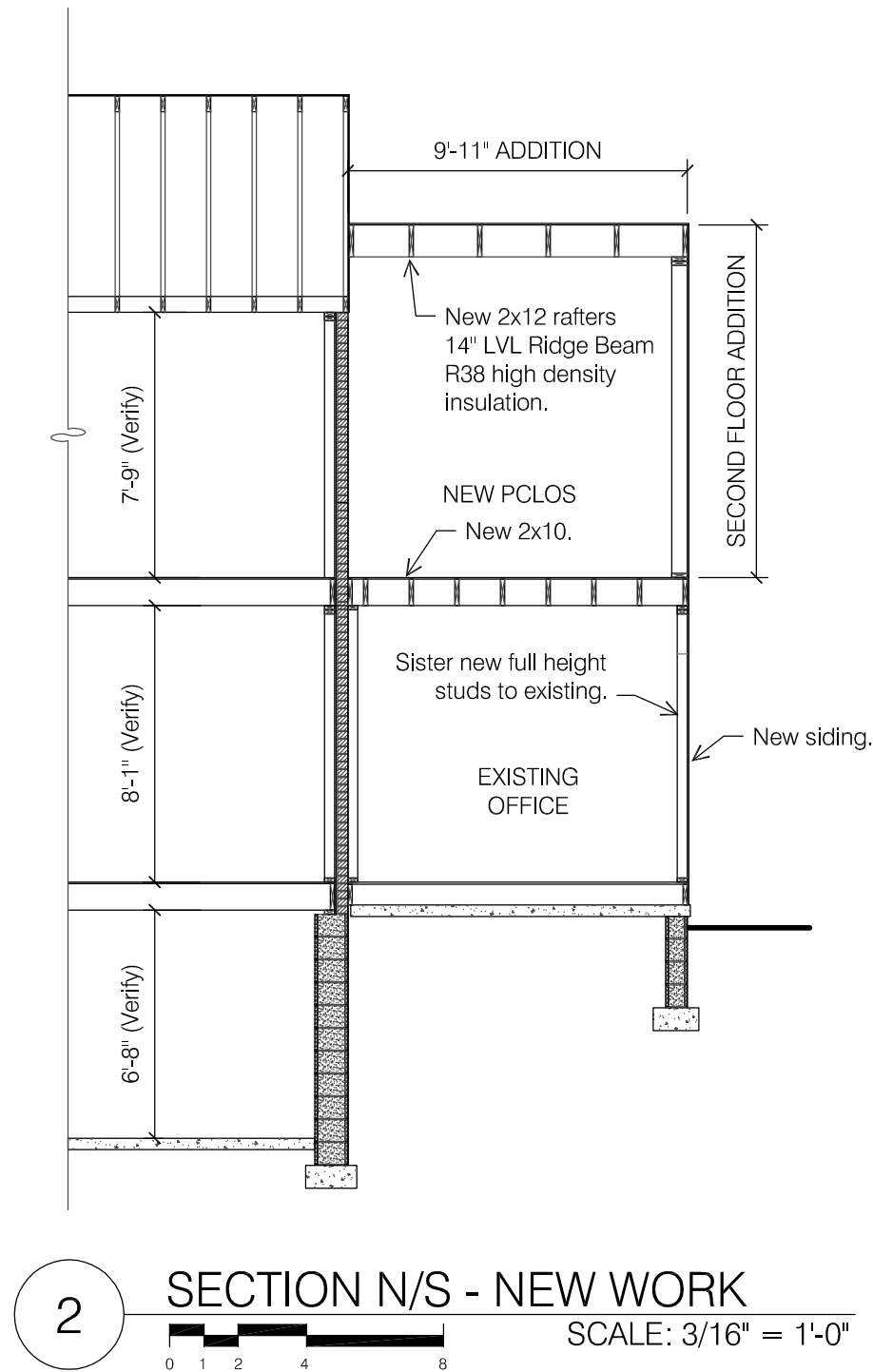
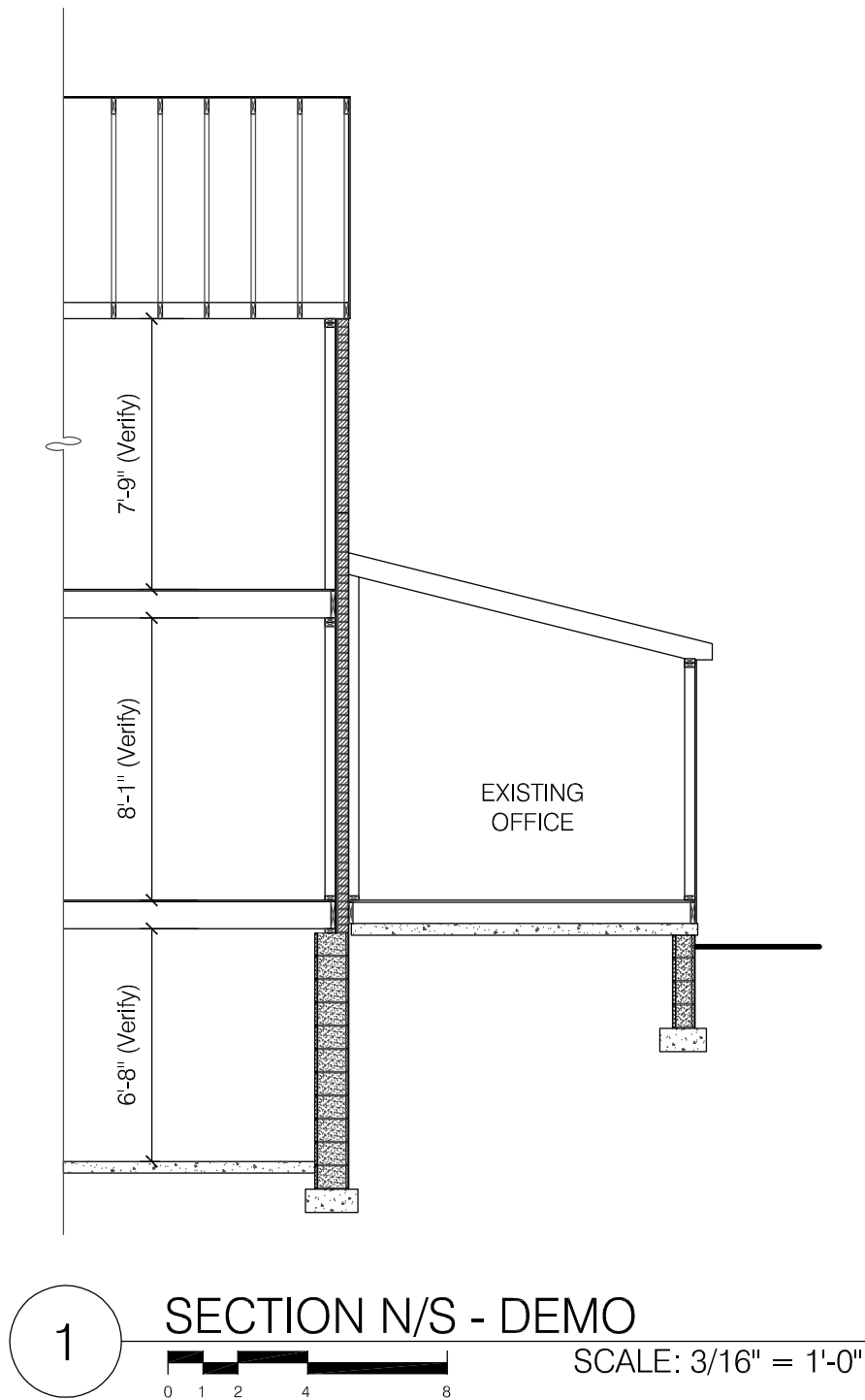
EXTERIOR ELEVATIONS



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



March 24, 2025

WOODYARD RESIDENCE
2224 TREMONT ROAD
UPPER ARLINGTON, OHIO 43221

Zoning Set

SCALE:
As Noted

PROJECT NO.:

DATE:
March 24, 2025

SHEET NO.

A3.2

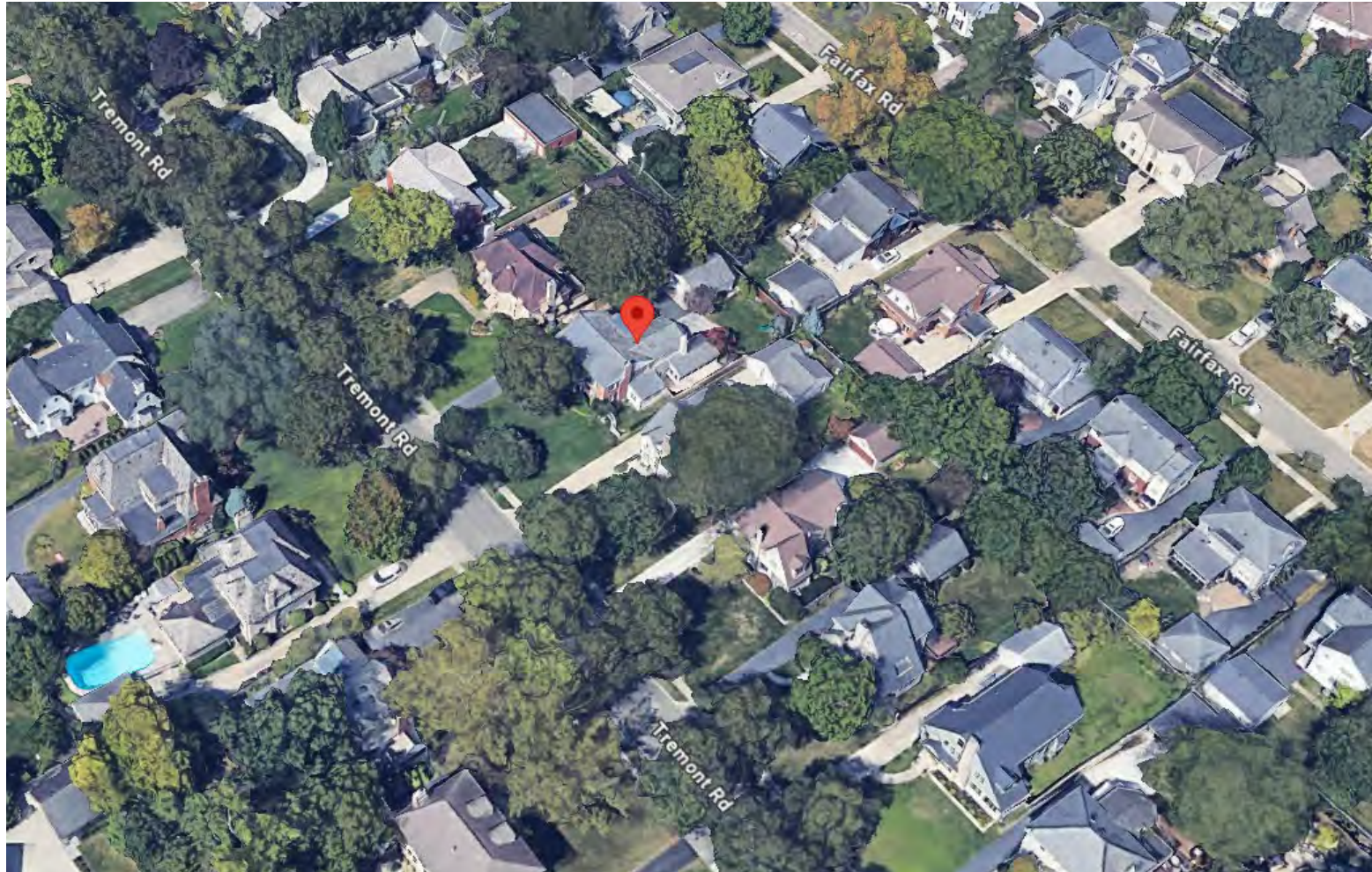
SECTIONS & DETAILS

2224 Tremont Road

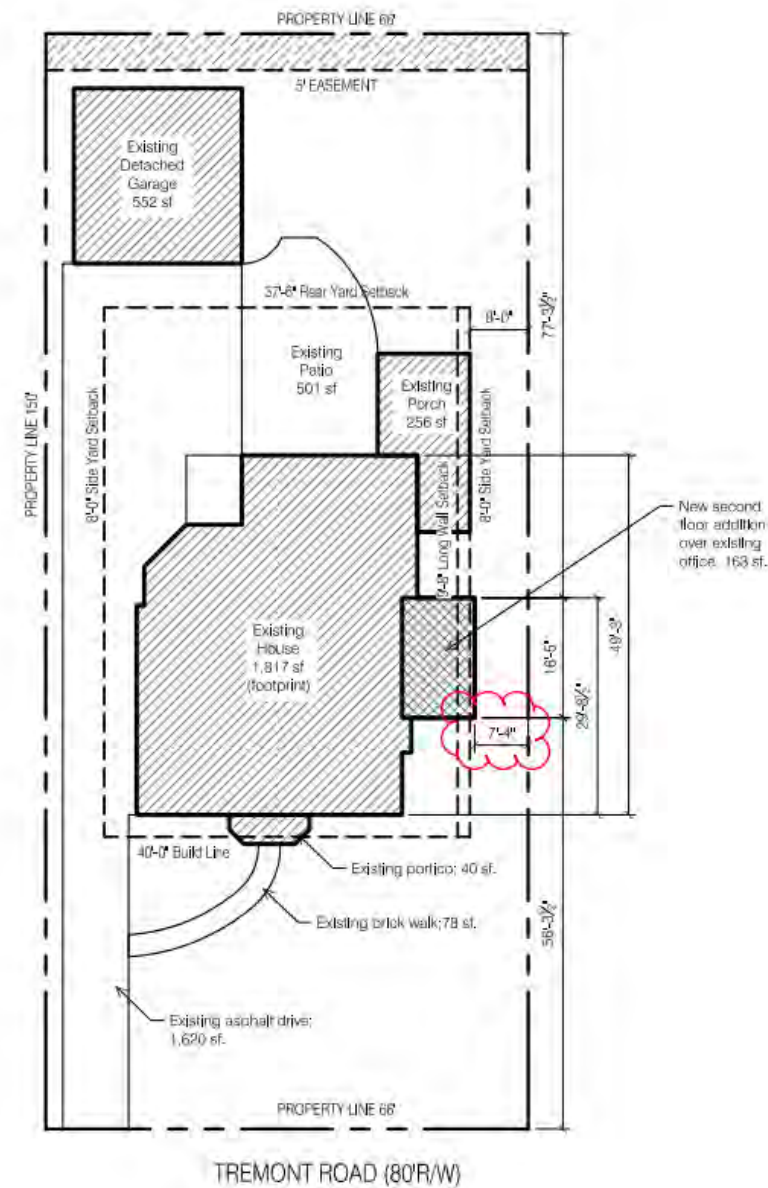
BZAP Staff Report Pictures | Variance Application



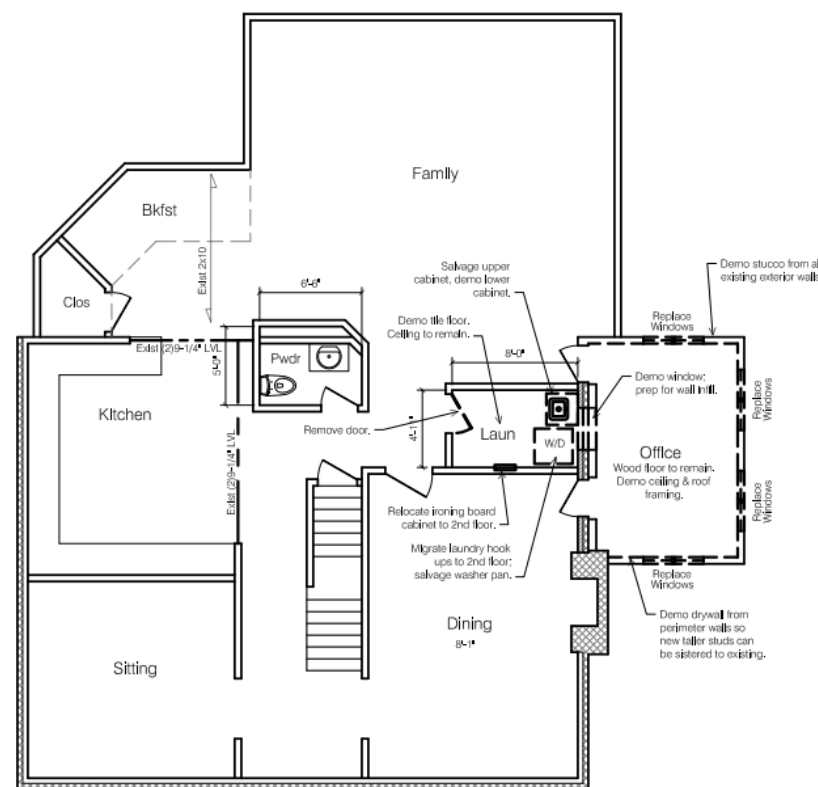
Google Maps ® Aerial – Looking North



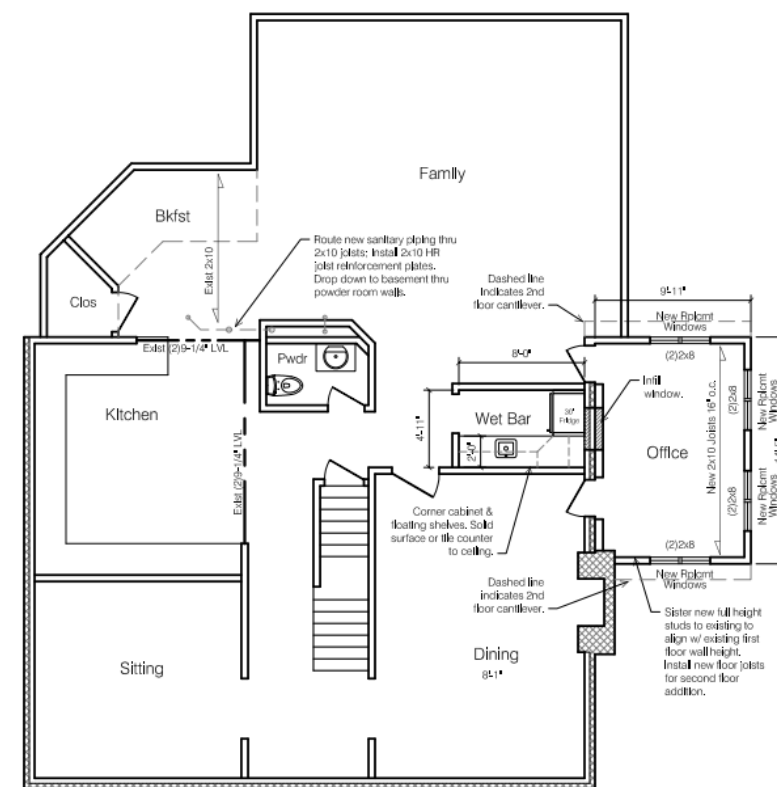
Proposed Site Plan



Proposed First Floor Plan

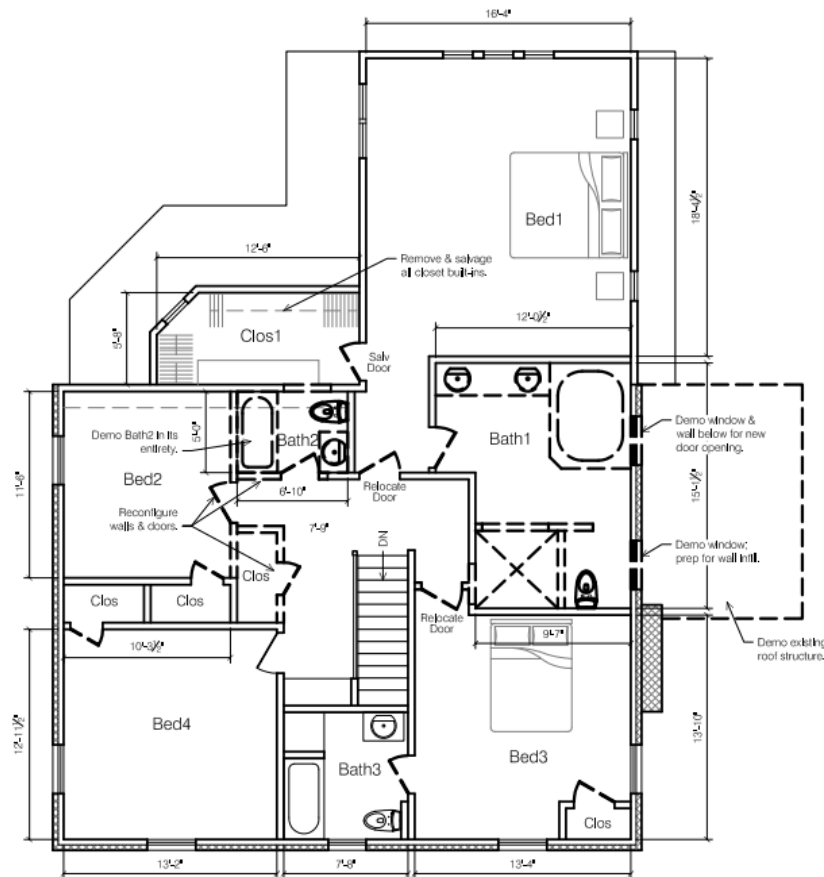


1 FIRST FLOOR PLAN - DEMO
SCALE: 1/8" = 1'-0"

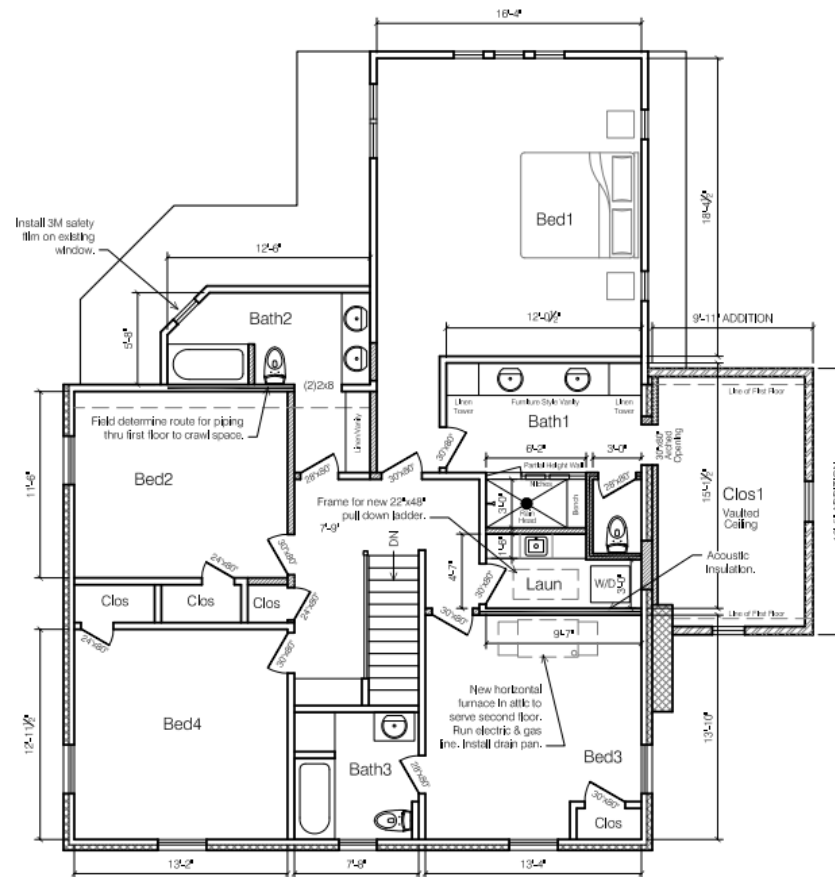


2 FIRST FLOOR PLAN - NEW WORK
SCALE: 1/8" = 1'-0"

Proposed Second Floor Plan

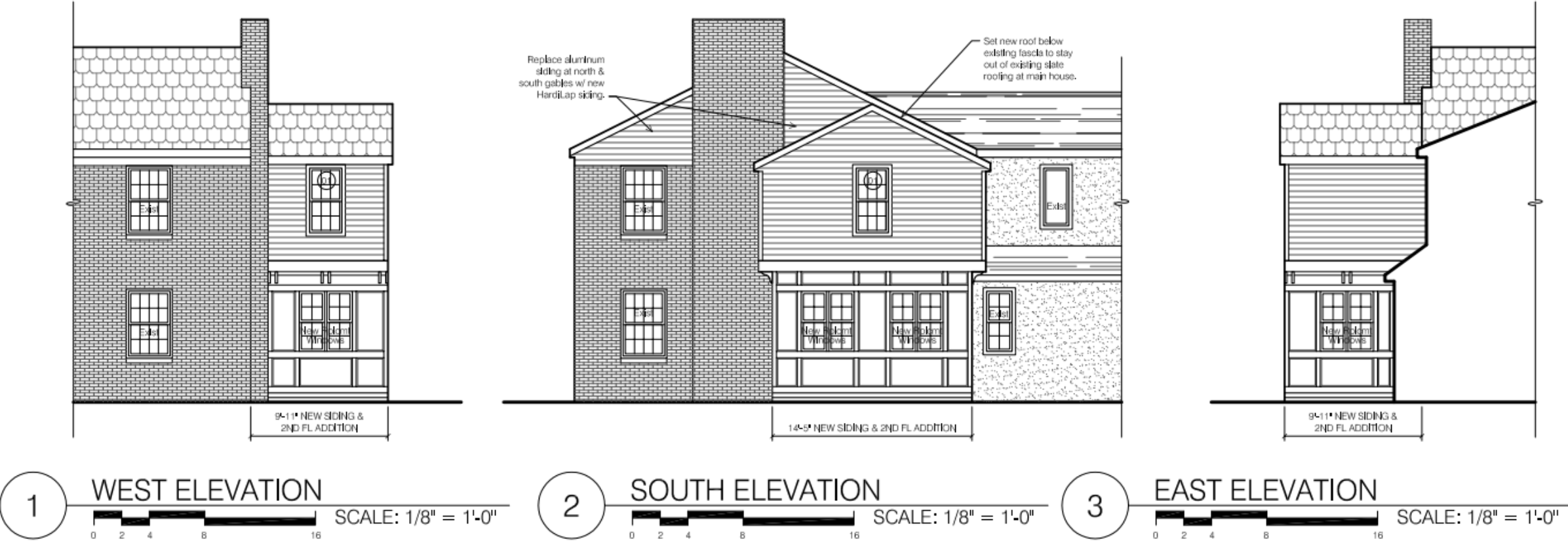


1 SECOND FLOOR PLAN - DEMO
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR PLAN - NEW WORK
SCALE: 1/8" = 1'-0"

Proposed Elevations



Existing Front Elevation



2224 TREMONT ROAD

7 & 6'
of 8

74

070-000798

Street Address	Lot No.	Sl. No.	Subdivision Name
Zoning Category	Lot Size	Platted Bldg. Setback	Parcel No. SSAF Per. # & Date Issued

NOTE: USE FRONT OF CARD FOR NEW, GROUND UP, CONSTRUCTION ONLY. USE REVERSE SIDE FOR ROOM ADDITIONS, REMODELINGS, GARAGE ADDITIONS AND OTHER MISCELLANEOUS SECONDARY PERMITS.

BUILDING PERMIT NO. 33 Issued: 4-16-48 Fee: _____ Valuation: 22,000.⁰⁰

Owners' Name, Address, and Phone Number: H H Hittson

Tenant's Name _____ Contractor's Name & Phone Number: FW Herbst, 2207 Lockbourne Rd.

Description of Work: 2-sty brick/frn & 2 car att gar. OBBC Use Gr.: _____ OBBC Type Const.: _____
Building Square Footage: _____

BUILDING PERMIT INSPECTIONS:

	Rejected	Approved
Footer		
Foundation Tile		
Grade & Damp Proof		
Framing		
Fireplace		
Insulation		
Roof Drains		

FINAL FOR OCCUPANCY

SEWER TAP PERMIT NO. 2638 Issued: _____ Rejected Rejected Approved
Contractor: Igel

DRIVEWAY PERMIT NO. _____ Issued: _____ Rejected Rejected Approved
Contractor: _____

ELECTRIC PERMIT NO. 92 Issued: _____ Service Rough Final
Contractor: Geo M Blum

HVAC PERMIT NO. _____ Issued: _____ Rough Final
Contractor: _____

PLUMBING PERMIT NO. 61 Issued: _____ Underground Rough Final
Contractor: A C Bauman

FIRE SUPPRESSION PERMIT NO. _____ Issued: _____ Final
Contractor: _____

BUILDING PERMIT NO. _____ Issued: _____ Fee: _____ Valuation: _____

Owners' Name, Address, and Phone Number: _____

Tenant's Name _____ Contractor's Name & Phone Number: _____

Description of Work: _____ OBBC Use Gr.: _____ OBBC Type Const.: _____

Building Square Footage: _____

BUILDING PERMIT INSPECTIONS:

	Rejected	Approved
Footer		
Foundation Tile		
Grade & Damp Proof		
Framing		
Fireplace		
Insulation		
Roof Drains		

FINAL FOR OCCUPANCY

DRIVEWAY PERMIT NO. _____ Issued: _____

Contractor: _____

DRIVEWAY PERMIT NO. _____ Issued: _____

Contractor: _____

ELECTRIC PERMIT NO. 6375-83 Issued: 9-23-83

Contractor: Bills Elec; 150 AMP, AC 6:7.

ELECTRIC PERMIT NO. _____ Issued: _____

Contractor: _____

HVAC PERMIT NO. 4400-83 Issued: 9-22-83

Contractor: Acme Htg Co; Furn repl, pump

HVAC PERMIT NO. _____ Issued: _____

Contractor: _____

PLUMBING PERMIT NO. _____ Issued: _____

Contractor: _____

PLUMBING PERMIT NO. _____ Issued: _____

Contractor: _____

MISC. PERMITS & NOTES:

1-22-98 BZAP approved side yard encroachment.
BZ-02-98.

Address of Work: 2224 Tremont Road

BUILDING PERMIT NO.: 1369-97 ISSUED: 1/6/98 FEE: \$656 VALUATION: \$96,000

Owner/Address/Phone: Livingstyles Inc. 2224 Tremont 43221 486-6661

Contractor/Address/Phone: owner 2316 Brixton Road

Description of Work: Remodel & addition Square Ftq. _____

MISC. PERMITS AND NOTES:

⑥ ADDITIONAL CONSTRUCTION ⑥

BUILDING PERMIT NO.: _____ ISSUED: _____ FEE: _____ VALUATION: _____

Owner/Address/Phone: _____

Contractor/Address/Phone: _____

Description of Work: _____ Square Ftg. _____

BUILDING PERMIT INSPECTIONS: (Levels I & V Note in Misc. if Needed)

Level II Footer:

REJECTED	APPROVED

Level III Grade & Dampproof:

--	--

Level IV Foundation Tile:

--	--

Level VI Framing:

--	--

Electric: Permit No.: _____ Issued: _____

ROUGH	FINAL
-------	-------

Contractor: _____

--	--

Electric: Permit No.: _____ Issued: _____

--	--

Contractor: _____

HVAC: Permit No.: _____ Issued: _____

--	--

Contractor: _____

HVAC: Permit No.: _____ Issued: _____

--	--

Contractor: _____

Plumbing: Permit No.: _____ Issued: _____

ROUGH	FINAL
-------	-------

Contractor: _____

--	--

Plumbing: Permit No.: _____ Issued: _____

--	--

Contractor: _____

Level VII Insulation:

REJECTED	APPROVED

Level VIII Driveway: Permit No.: 1048-99 Issued: 6-22-99

Contractor: Jarini Cement

--	--

Level IX FINAL FOR OCCUPANCY

MISC. PERMITS AND NOTES:

10-21-02 BLAP approved front porch variance. B2-88-02

CLOSED AS INCOMPLETE: 2/01
1048-99

Authors: Madison Strauss, Intern

BZAP Meeting Date: May 21, 2025

Subject: 2614 Tremont Road (VAR-24-25) - To allow an open breezeway to encroach up to 8'-5" into 34'-6" rear yard setback.

Site Description/History

The subject property, 2614 Tremont Road, is located on the east side of the street, 270 feet north of W. Lane Avenue. It measures 75' x 142', is similar to others in the neighborhood, and is identified as Lot #22 of the Guilford Place Addition subdivision from 1924. The property is zoned R-1c, One-Family Residence District, and is developed with a two-story stone and siding home that was built just in front of the platted 35-foot front building line. A driveway on the north side of the site leads to a two-car attached garage. The rear yard is enclosed with fencing and dense/tall arborvitae. The home was built in 1939 and was purchased by the applicant in May 1997.

Proposal

The proposal includes the conversion of the existing attached garage into living space, and the construction of an open-sided breezeway that would connect a new two-car detached garage to the existing house. It would be a continuation of a new roof for the east family room that would replace the current attached garage, utilizing several new columns. At its furthest point, the breezeway would encroach 8'-5" into the 34'-6" rear yard setback. The plan is near the maximum development coverage ratio, but is compliant with front yard and building coverage limits.

Zoning Code Requirements

- To allow an open breezeway that would encroach up to 8'-5" into the 34'-6" rear yard setback, allowing for the connection of the home to a proposed detached two-car garage (Article 5.02).

Alternatives

The applicant could eliminate the breezeway or make the proposed breezeway freestanding, so that a variance would not be needed. However, the applicant feels that connecting the structures with the breezeway makes the most sense functionally, structurally, and for safety reasons.



Requested Action and Findings

Staff reviewed the application and plans, visited the site, and discussed it with the applicant. Due to the location of the existing home and proposed detached garage, as well as existing fencing and landscaping, the proposed open-sided breezeway would not be visible from the street or surrounding properties. It helps to provide a useful and protected entry into the back of the home and blends well with the proposed design of the detached garage and home (Finding #4). The proposed design and footprint are modest in size (Finding #3). For these reasons, Staff recommends that this application be approved. Should the breezeway be enclosed in the future, a variance from BZAP would be necessary.

Attachments

1.	Variance Application - 2614 Tremont Road
2.	BZAP Staff Report Pics - 2614 Tremont Road





25-1675

Variance Application

Status: Active

Submitted On: 4/18/2025

Primary Location

2614 TREMONT RD
UPPER ARLINGTON, OH 43221

Owner

JOHNSON SUSAN F TR
TREMONT 2614 COLUMBUS, OH
43221

Applicant

 Walt Betley
 614-565-8214
 walt@betleyvistain.com
 1580 Fishinger Rd. Suite 150
Upper Arlington, Ohio 43221

BZAP Information

BZAP Case

VAR-24-25

Status

Pending

BZAP Determination Date

05/21/2025

Vote Tally

Primary Variance

Rear Yard

Findings of Fact for Approval/Denial

Variance Request

To allow an open breezeway to encroach up to 8'-5" into 34'-6" rear yard setback.

BZAP conditions

Variance Information

Describe Variance Request ?

Two car garage with attached covered walkway to existing residence.

What practical difficulty, special conditions and/or circumstances exist that are peculiar to the land or structure involved and which are not generally applicable to other lands or structures in the same zoning districts?

As the homeowners desire to stay in their home and plan ahead for their future needs, they would like to renovate the existing attached garage to function as a family room and master bedroom. For safety reasons now and in the future, they would like to have a covered walkway from the new detached garage to the house.

Will granting the variance confer a special privilege that is denied by this regulation to other lands, structures, or buildings in the same district?

No special privilege will be granted by allowing this variance. Both north and east property lines are heavily landscaped and structure will not be readily visible.

Will the essential character of the neighborhood area be substantially altered or will adjoining properties suffer substantial detriment as a result of the variance?

The architecture is such it is the same as the existing structure. Slate roof and clabored siding to match existing.

Have all reasonable alternatives been investigated or exhausted to find that this variance request is the minimum necessary to make reasonable use of land and structures?

Other options have been explored with this version allowing the homeowners the best overall benefit.

Can this property yield a reasonable return or can there be any beneficial use of the property without the variance?

A greater return will be provided with this variance due to the straight in and strait out driveway on the drawings.

Acknowledgement: I or a representative will be present at the BZAP hearing.* 



April 16, 2025

Jane Stone
2240 Lane Avenue
Upper Arlington, Ohio 43221



1580 Fishinger Road
Suite 150
Columbus, Ohio 43221
(614) 451-3201
Fax (614) 451-3237

RE: 2614 Tremont Road Upper Arlington, Ohio 43221

Dear Neighbor:

You are receiving this notice per the requirements of Unified Development Ordinance Article 7.17, which requires written notice of the pending construction of a new 2 car garage and covered walkway from the existing residence to all property owners within 200 feet of the subject property.

You are welcome to view a copy of the submitted plans at the Community Development Department, 3600 Tremont Road, or online: <https://upperarlingtonoh.viewpointcloud.com/>. If you have any questions, please contact me at 614/565-8214 or walt@betleyvistain.com or the City's Planning Division at planning@uaoh.net.

The review meeting will be held Wednesday May 21, 2025 at 6 pm at the City of Upper Arlington city offices located at 3600 Tremont Road.

Please note that this notice does not grant permission to provide input on the proposed site plan or design of the home, but is a good-faith effort to notify you of pending construction in our neighborhood. Thank you.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Walt Betley', is written over a horizontal line.

Walt Betley
Betley Vistain Builders, Inc.

Subject: Fw: Johnson Residence - 2614 Tremont Road

From: "Justin Milam" <jmilam@uaoh.net>

Sent: 4/15/2025 2:04:45 PM

To: "Jack Wiseman" <jack@betlevystain.com>; "walt@betlevystain.com" <walt@betlevystain.com>;

Variance link:

<https://upperarlingtonoh.portal.opengov.com/categories/1080/record-types/6385>

Neighbors to notify- looks like they are all owner-occupied, which is great:

Current Parcel List

Results Click rows to view property details Displaying 1 - 13 of 1

All	Alt ID	Site Address	Owner 1	Owner 2
☐	070-000763-00	2240 LANE AVE	STONE JANE K TTEE	
☐	070-001149-00	2200 LANE AVE	HARPER ANDREW S	HARPER ROBYN L
☐	070-001150-00	2204 LANE AVE	HOUSEHOLDER OAKLEY R	
☐	070-001151-00	2590 TREMONT RD	SENGELMANN C JEFFREY	SENGELMANN KAREN D
☐	070-001152-00	2604 TREMONT RD	SHAPIRO JEFFREY M	SHAPIRO CATHERINE R M
☐	070-001153-00	2614 TREMONT RD	JOHNSON SUSAN F	
☐	070-001154-00	2622 TREMONT RD	MERKLE SAMUEL J	MERKLE SANDRA G
☐	070-001155-00	2632 TREMONT RD	SEABLOOM JOSHUA C	SEABLOOM ELIZABETH R
☐	070-001190-00	2625 YORK RD	CHRISTIE ROBERT M	CHRISTIE ERICA S
☐	070-001191-00	2615 YORK RD	FUMI DAVID D	FUMI ROSEANDREA L
☐	070-001192-00	2605 YORK RD	LEAHY ROBERT MATTHEW TR	LEAHY AMY M TR
☐	070-001193-00	2597 YORK RD	KAISER CARL	KAISER LORRE
☐	070-002978-00	2223 ONANDAGA DR	DENNIS RICHARD J	DENNIS CRISTINE R

Printable Version

Results Page: [1]

-Justin

From: Justin Milam <jmilam@uaoh.net>

Sent: Wednesday, March 12, 2025 3:26 PM

To: David Stock <dave@stockandstone.com>

Cc: Chad Gibson <cgibson@uaoh.net>

Subject: Re: Johnson Residence - 2614 Tremont Road

Hi Dave-

Thanks for reaching out. You are correct that this would indeed be a variance for a breezeway in the rear yard. The variance would be less substantial if it were open, as the garage would still be considered detached. Enclosed, the detached garage becomes attached. Hope this helps and thanks again for checking!

-Justin

9589 0710 5270 2183 5600 90

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☐ Return Receipt (electronic) \$0.00	
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☐ Adult Signature Required \$0.00	
☐ Adult Signature Restricted Delivery \$0.00	
Postage \$0.73	
Total Postage and Fees \$9.68	04/16/2025
Sent To Joshua Seabloom	
Street and Apt. No., or PO Box No. 2632 Tremont Road	
City, State, ZIP+4® Upper Arlington, OH 43221	
PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions	

9589 0710 5270 2183 5600 02

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☐ Return Receipt (electronic) \$0.00	
☐ Certified Mail Restricted Delivery \$0.00	
☐ Adult Signature Required \$0.00	
☐ Adult Signature Restricted Delivery \$0.00	
Postage \$0.73	
Total Postage and Fees \$9.68	04/16/2025
Sent To Robert Christie	
Street and Apt. No., or PO Box No. 2625 Tremont Road	
City, State, ZIP+4® Upper Arlington, OH 43221	
PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions	

9589 0710 5270 2183 5600 26

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☐ Adult Signature Restricted Delivery \$0.00	
Postage \$0.73	
Total Postage and Fees \$9.68	04/16/2025
Sent To Robert Leahy	
Street and Apt. No., or PO Box No. 2605 York Road	
City, State, ZIP+4® Upper Arlington, OH 43221	
PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions	

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Columbus, OH 43221	
Certified Mail Fee \$4.85	0220 28
Extra Services & Fees (check box, add fee as appropriate)	
☐ Return Receipt (hardcopy) \$4.10	
☐ Return Receipt (electronic) \$0.00	
☐ Certified Mail Restricted Delivery \$0.00	
☐ Adult Signature Required \$0.00	
☐ Adult Signature Restricted Delivery \$0.00	
Postage \$0.73	
Total Postage and Fees \$9.68	04/16/2025
Sent To David Fumi	
Street and Apt. No., or PO Box No. 2615 York Road	
City, State, ZIP+4® Upper Arlington, OH 43221	
PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions	

9589 0710 5270 2183 5600 40

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Certified Mail Fee \$4.85	0220 28
Extra Services & Fees (check box, add fee as appropriate)	
☐ Return Receipt (hardcopy) \$4.10	
☐ Return Receipt (electronic) \$0.00	
☐ Certified Mail Restricted Delivery \$0.00	
☐ Adult Signature Required \$0.00	
☐ Adult Signature Restricted Delivery \$0.00	
Postage \$0.73	
Total Postage and Fees \$9.68	04/16/2025
Sent To Richard Dennis	
Street and Apt. No., or PO Box No. 2223 Onandaga Drive	
City, State, ZIP+4® Upper Arlington, OH 43221	
PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions	

9589 0710 5270 2183 5600 33

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT Domestic Mail Only	
For delivery information, visit our website at www.usps.com ®.	
Columbus, OH 43221	
Certified Mail Fee \$4.85	0220 28
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☐ Return Receipt (electronic) \$0.00	
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☐ Adult Signature Required \$0.00	
☐ Adult Signature Restricted Delivery \$0.00	
Postage \$0.73	
Total Postage and Fees \$9.68	04/16/2025
Sent To Karl Kaiser	
Street and Apt. No., or PO Box No. 2597 York Road	
City, State, ZIP+4® Upper Arlington, OH 43221	
PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions	

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☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

0220

28

Postmark
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APR 16 2025

Postage \$0.73

Total Postage and Fees

\$9.68

04/16/2025

Sent To Jane Stone

Street and Apt. No., or PO Box No.

2240 Lane Avenue

City, State, ZIP+4®
Upper Arlington, OH 43221

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

9589 0710 5270 2183 5599 45

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Certified Mail Fee \$4.85

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APR 16 2025

Postage \$0.73

Total Postage and Fees

\$9.68

04/16/2025

Sent To Andrew Harper

Street and Apt. No., or PO Box No.

2200 Lane Avenue

City, State, ZIP+4®
Upper Arlington 43221

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☐ Certified Mail Restricted Delivery \$0.00

☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

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Here

APR 16 2025

Postage \$0.73

Total Postage and Fees

\$9.68

04/16/2025

Sent To Oakley Householder

Street and Apt. No., or PO Box No.

2204 Lane Avenue

City, State, ZIP+4®
Upper Arlington, OH 43221

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

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☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

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Postmark
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APR 16 2025

Postage \$0.73

Total Postage and Fees

\$9.68

04/16/2025

Sent To Jeffery Senglemann

Street and Apt. No., or PO Box No.

2590 Tremont Road

City, State, ZIP+4®
Upper Arlington, OH 43221

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

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☐ Adult Signature Required \$0.00

☐ Adult Signature Restricted Delivery \$0.00

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APR 16 2025

Postage \$0.73

Total Postage and Fees

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Sent To Jeffrey Shapiro

Street and Apt. No., or PO Box No.

2604 Tremont Road

City, State, ZIP+4®
Upper Arlington, OH 43221

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions

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APR 16 2025

Postage \$0.73

Total Postage and Fees

\$9.68

04/16/2025

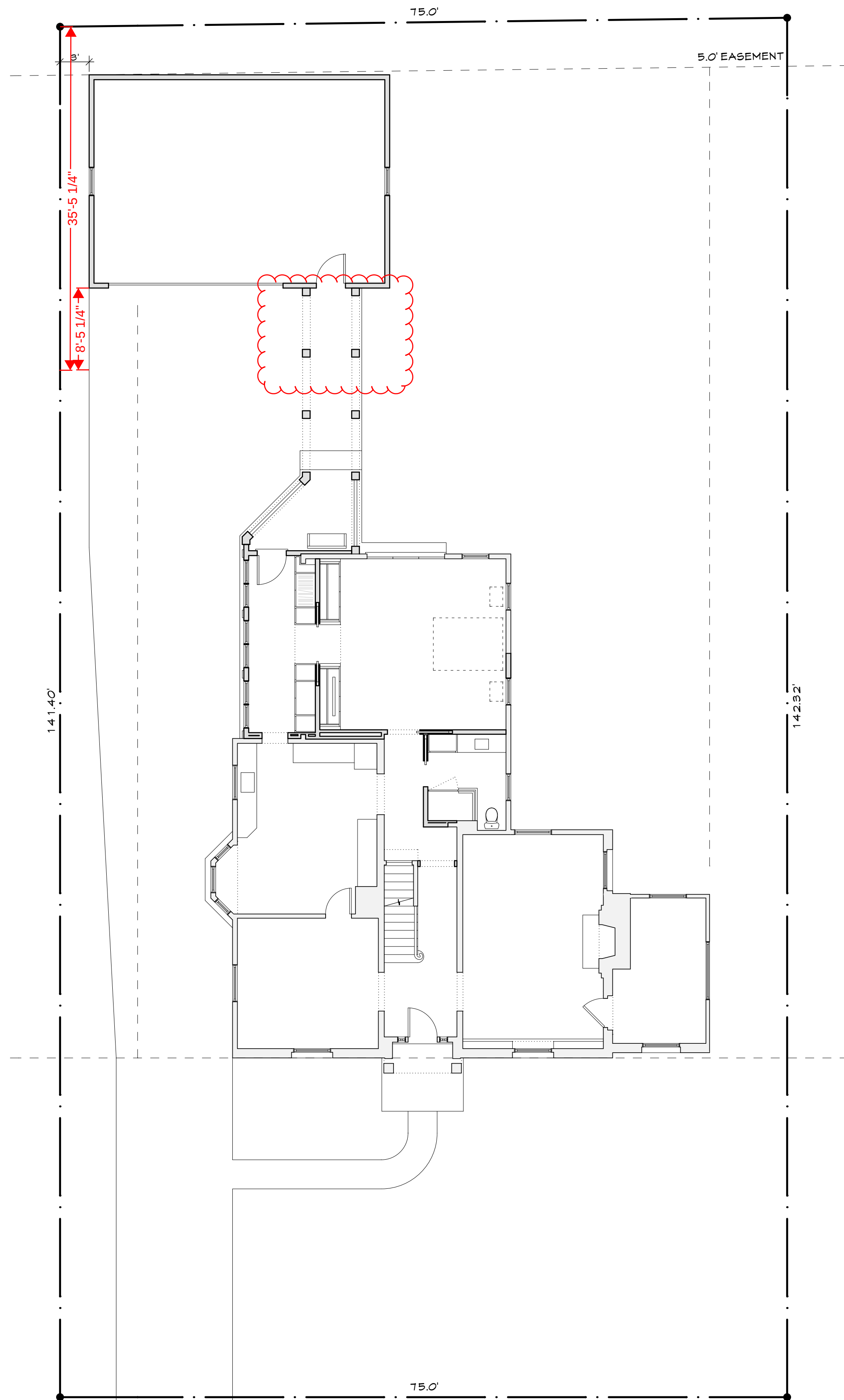
Sent To Samuel Merkle

Street and Apt. No., or PO Box No.

2622 Tremont Road

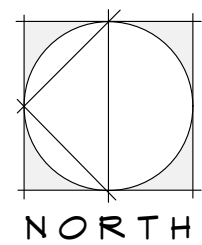
City, State, ZIP+4®
Upper Arlington, OH 43221

PS Form 3800, January 2023 PSN 7530-02-000-9047 See Reverse for Instructions



TREMONT ROAD

PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



THE JOHNSON RESIDENCE

2614 TREMONT ROAD

UPPER ARLINGTON, OHIO



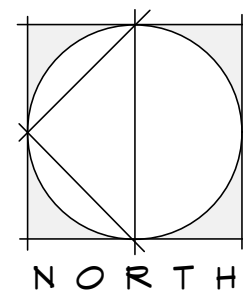
STOCK & STONE

ARCHITECTS • LLC

3686 North High Street Columbus, Ohio 43214 614-261-5810

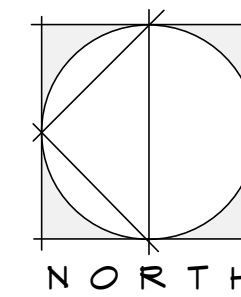
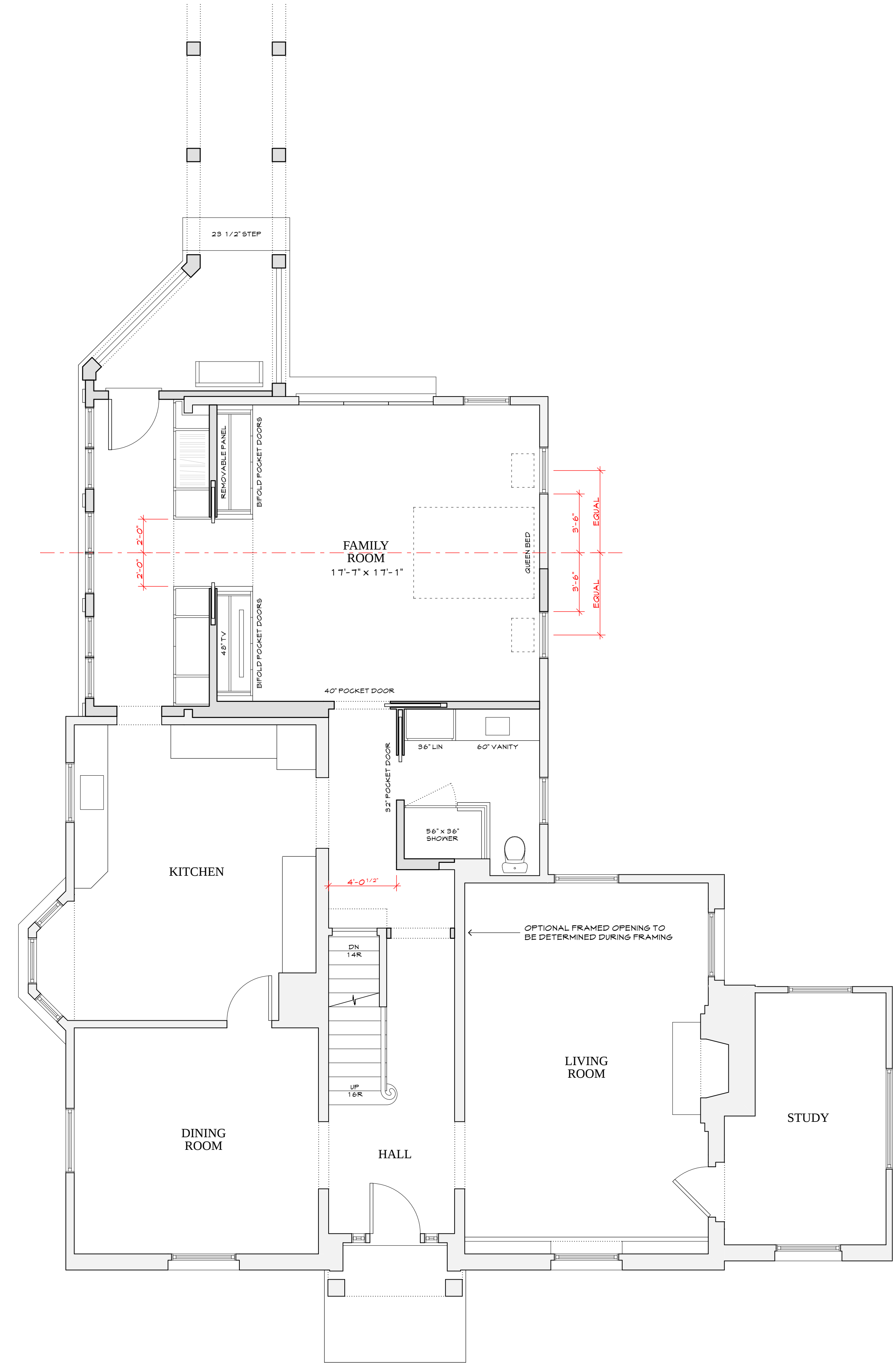
LOT AREA = 10,639.5 SQ. FT.

PRINCIPLE BUILDING REQUIREMENTS	PERMITTED	EXISTING	PROPOSED
DEVELOPMENT COVER PERMITTED	4,187.7 SQ. FT. (45.0%)	3,222.9 SQ. FT. (30.2%)	4,579.4 SQ. FT. (43.0%)
BUILDING COVER PERMITTED	3,085.4 SQ. FT. (29.0%)	1,817.0 SQ. FT. (17.0%)	2,791.8 SQ. FT. (26.2%)
PERMITTED HEIGHT	35.0 FT.	26.7 FT.	26.7 FT.
MAX. NUMBER OF STORIES	2.5	2.0	2.0
FRONT YARD DEPTH	35.0 FT.	33.6 FT.	33.6 FT.
MIN. REAR YARD	35.4 FT.	54.8 FT.	46.3 FT.
MIN. SIDE YARD	8.0 FT.	8.0 FT.	8.0 FT.
MIN. SIDE YARD SUM	16.0 FT.	23.0 FT.	23.0 FT.
DETACHED GARAGE REQUIREMENTS	PERMITTED		PROPOSED
MIN. SIDE YARD	3.0 FT.		3.0 FT.
MIN. REAR YARD	5.0 FT.		5.0 FT.
PERMITTED HEIGHT	17.0 FT.		17.0 FT.
MAX. NUMBER OF STORIES	1.0 FT.		1.0 FT.
TOTAL AREA PERMITTED	SQ. FT.		682.0 SQ. FT.



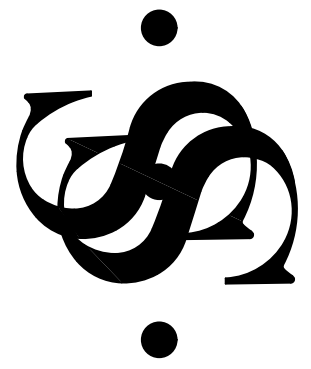
EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FIRST FLOOR	1,360.0± SQ. FT.
SECOND FLOOR	1,465.0± SQ. FT.
TOTAL	2,825.0± SQ. FT.
GARAGE	410.0± SQ. FT.



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

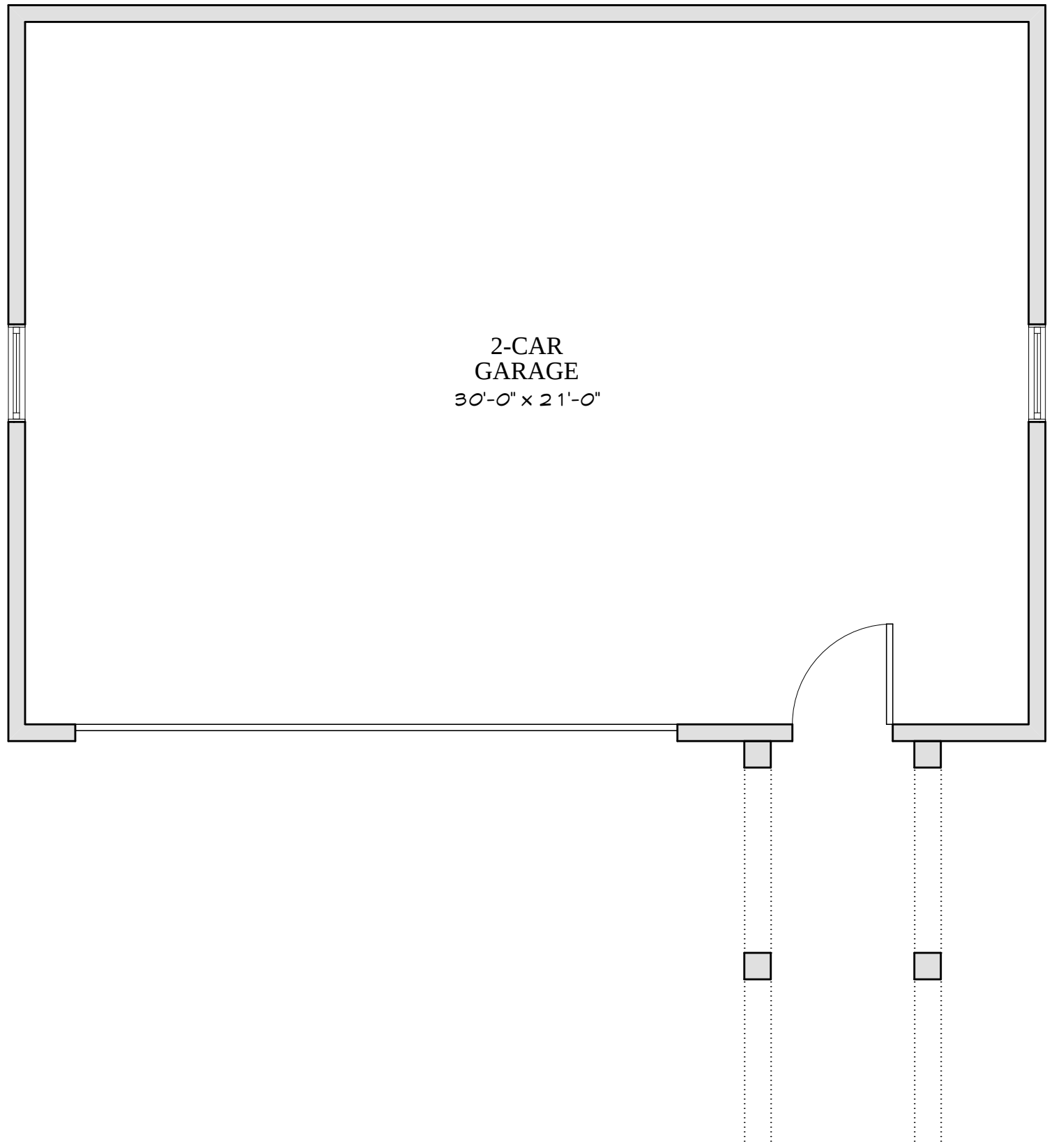
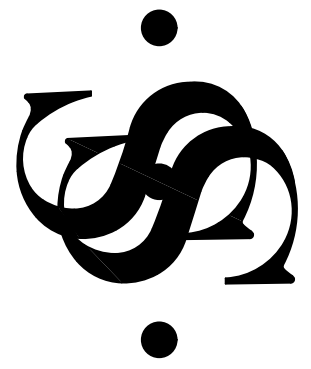
EXISTING FIRST FLOOR	1,360.0± SQ. FT.
NEW FAMILY ROOM	415± SQ. FT.
ADDITION	112± SQ. FT.
TOTAL FIRST FLOOR	1,887± SQ. FT.
DETACHED GARAGE	682± SQ. FT.



EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED NORTH ELEVATION
SCALE: 1/4"=1'-0"



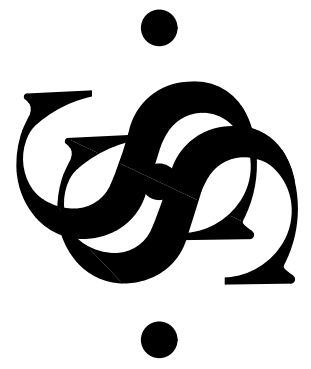
PROPOSED GARAGE ELEVATION
SCALE: 1/4"=1'-0"



EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"



EXISTING SOUTH ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED SOUTH ELEVATION
SCALE: 1/4"=1'-0"

2614 Tremont Road

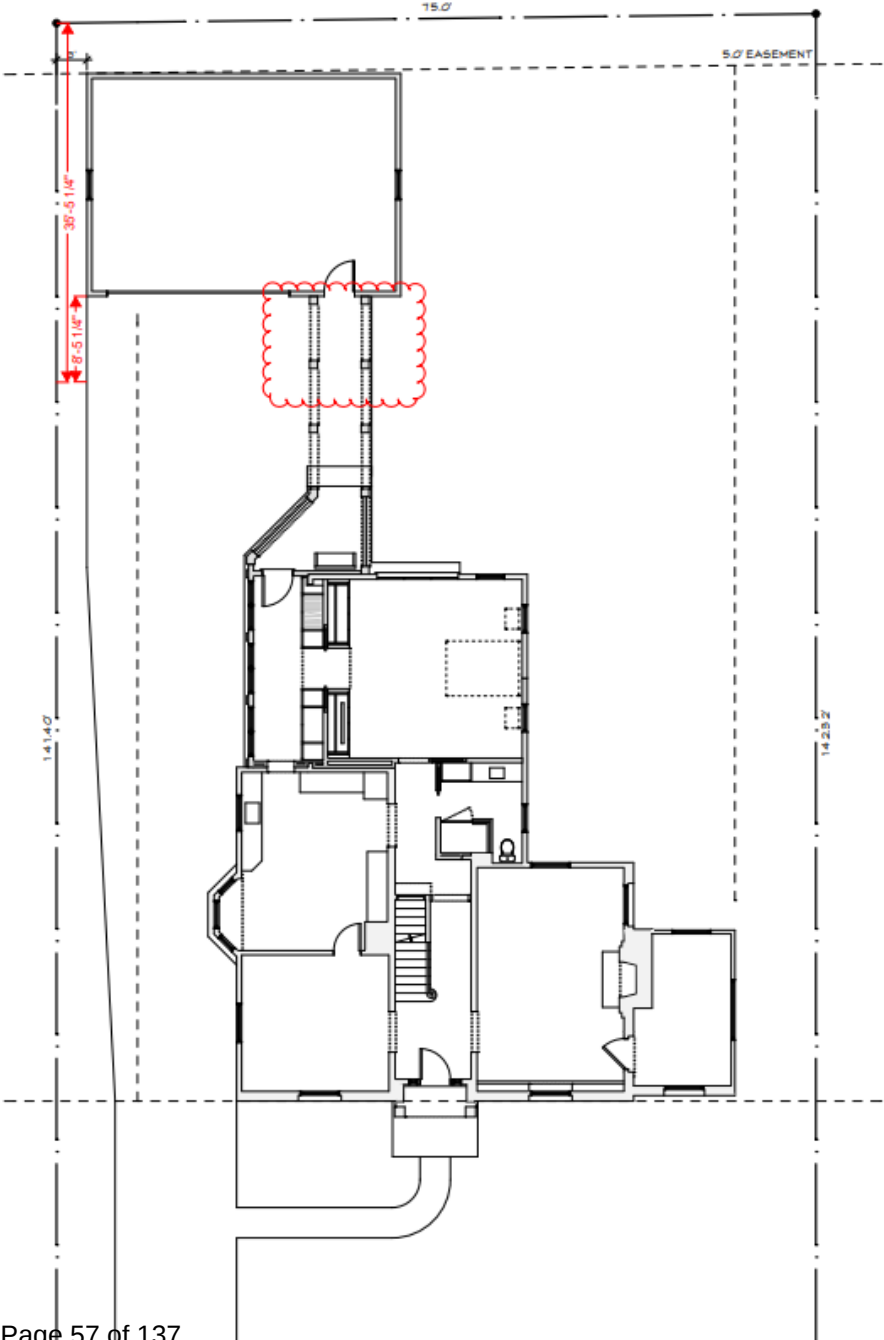
BZAP Staff Report Pictures | Variance Application



Google Maps ® Aerial – Looking East



Proposed Site Plan



Existing & Proposed North Elevation



EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED NORTH ELEVATION
SCALE: 1/4"=1'-0"

Existing & Proposed South Elevation



EXISTING SOUTH ELEVATION
SCALE 1/8"=1'-0"



PROPOSED SOUTH ELEVATION
Page 59 of 137

Existing Rear Yard



Proposed Garage Elevation w/ Location



PROPOSED GARAGE ELEVATION
SCALE: 1/4"=1'-0"



Authors: Justin Milam, AICP, Senior Planner

BZAP Meeting Date: May 21, 2025

Subject: 2020 Wyandotte Road (VAR-18-25) - To allow a second story addition to encroach up to eight feet into the 25'-6" rear yard setback.

Site Description/History

The subject property, 2020 Wyandotte Road, is located on the east side of the street, just north of Edgemont Road North, and is zoned R-1c, One-Family Residence District. The property is irregular in shape, with 80 feet of frontage and depths of 124 feet on the north side and 80 feet on the south. It was platted as Lot #3 of the Upper Arlington subdivision from 1930 and is the shallowest of all the lots within this triangular block. A two-story stone and siding home, built in 1939, sits along the platted 40-foot setback line with a driveway on the north side leading to an attached two-car garage. The rear of the home contains a nonconforming one-story sunroom that encroaches into the rear yard along with an outdoor patio. The property is enclosed with six-foot tall wood privacy fencing, evergreens, and deciduous trees. The applicant purchased the property in November 2016.

Building Permit #25-1329 was submitted on March 31, 2025, but denied by Staff on April 7, 2025, due to noncompliance.

Variances have been granted for the properties immediately to the north and south: 2028 to the north received a variance to construct a one-story screen porch that encroached 22 feet into the 31-foot rear yard setback, and 2010 to the south received a variance to extend a garage roof two feet into the 10-foot minimum side yard.

Proposal

The application proposes the construction of a second floor addition directly atop the existing first floor sunroom at the rear of the house and would contain two bathrooms. The proposed addition maintains the same footprint with a depth of eight feet and a width of 33 feet; there are no changes to building or development cover limits, nor the nonconforming rear yard setback. It is 21'-4" tall, five feet shorter than the home, and includes Hardie-siding and a standing-seam metal roof to match the residence. The plan meets the rear yard profile coefficient as well. No changes are proposed to existing fencing or landscaping.



Zoning Code Requirements

- To allow a second story addition to encroach up to eight feet into the 25'-6" rear yard setback (Article 5.02).

Alternatives

The applicant has looked at other alternatives for the two second floor bathrooms, but is restricted due to existing site conditions. The applicant believes that taking advantage of the existing first floor structure to be the best option.

Requested Action and Findings

Staff has reviewed the application and plans, visited the site, and discussed it with the applicant. The property is irregular in shape with an especially shallow depth along the south property line; many aspects of the home are nonconforming, and no variances have been granted for the property. The proposal utilizes an existing site condition to add second floor bathrooms over the existing sunroom with the same footprint. Its design compliments the home and is in scale and proportion with the home. Existing fencing and landscaping limit views of the existing home. For these reasons, Staff supporting this application, noting Findings #1 (special conditions of the lot), #3 (minimum necessary), and #4 (impacts on adjacent property).

Staff has fielded inquiries from neighbors who received a notification letter concerning the application. With past rear yard variances granted on the street, concern has been expressed about the closeness of the homes to others and overall views looking north or south along the rear property line. [Staff noted for each inquiry that the encroachment was staying the same and a rear yard profile/looming effect variance was not needed.]

Attachments

1.	Variance Application - 2020 Wyandotte Road
2.	BZAP Staff Report Pics - 2020 Wyandotte Road





25-1496

Variance Application

Status: Active

Submitted On: 4/9/2025

Primary Location

2020 WYANDOTTE RD
UPPER ARLINGTON, OH 43212

Owner

BYRD BRENT A
WYANDOTTE 2020 UPPER
ARLINGTON, OH 43212

Applicant

 Brent Byrd
 614-477-2811
 brentbyrd1@gmail.com
 2020 Wyandotte Rd
Columbus, OH 43212

BZAP Information

BZAP Case

VAR-18-25

Status

Pending

BZAP Determination Date

05/21/2025

Vote Tally

Primary Variance

Rear Yard

Findings of Fact for Approval/Denial

Variance Request

To allow a second story addition to encroach up to eight feet into the 25'-6" rear yard setback.

BZAP conditions

Variance Information

Describe Variance Request ?

We request this variance to allow for a 2nd story addition over the existing 1st Floor structure, which extend over a more recent rear yard building setback.

What practical difficulty, special conditions and/or circumstances exist that are peculiar to the land or structure involved and which are not generally applicable to other lands or structures in the same zoning districts?

The existing 1st Floor structure extends over a more recent rear yard building setback due to the property's small rear ward and is cause non-conforming condition.

Will granting the variance confer a special privilege that is denied by this regulation to other lands, structures, or buildings in the same district?

No, the variance will allow for the existing structure to be updated meeting the needs of the more contemporary family of today and maintain the aesthetics of existing residence and neighboring properties.

Will the essential character of the neighborhood area be substantially altered or will adjoining properties suffer substantial detriment as a result of the variance?

It's our opinion that the granting of this variance and proposed addition will be a positive for the residence and the neighboring properties values and aesthetics.

Have all reasonable alternatives been investigated or exhausted to find that this variance request is the minimum necessary to make reasonable use of land and structures?

We feel that the 2nd floor addition is the best way to minimize the effect on the property being that is directly above the existing 1st floor and does not increase the footprint of the existing structure, but improves the attributes of the residence.

Can this property yield a reasonable return or can there be any beneficial use of the property without the variance?

Without the variance and the additions of such spaces, the residence will remain a beautiful home, but will fall short of the amenities expected of a structure of it's value in Upper Arlington, OH.

Acknowledgement: I or a representative will be present at the BZAP hearing.* 



Certification of Notice

Applicant Name: Brent Byrd

Location of property subject to BZAP request: 2020 Wyandotte Rd, Columbus, OH 43212

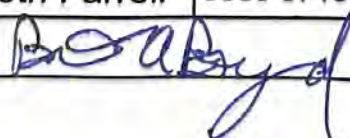
This application will be heard by the Board of Zoning and Planning on: May 21, 2025 @ 6PM

Describe activity which requires Board of Zoning and Planning review:

We request this variance to allow for a 2nd story addition over the existing 1st Floor structure in the rear of the house. Part of the existing 1st Floor structure extends over a more recent rear yard building setback due to the property's small rear yard and is causing a non-conforming condition.

Board of Zoning and Planning (BZAP) meetings begin at 6 PM on Wednesdays and are held at the Upper Arlington Municipal Services Center, 3600 Tremont Road, Upper Arlington, Ohio, 43221. Meeting location details and additional instructions will be provided on the Agenda, which is posted on the City's website at upperarlingtonoh.portal.civicclerk.com. For further information, please contact the Planning Division at planning@uaoh.net.

Your signature below **DOES NOT** constitute approval or disapproval of the request. Your signature only represents that you have been properly notified of the request. You are encouraged to attend any and all meetings regarding this matter.

Address of Property to be notified:	Property Owner Name:	Property Owner Signature or Certified Mail No.:	Date obtained or Mail sent:
2019 WYANDOTTE RD	Clark & Alexandra Seiling	9589 0710 5270 2919 1706 04	04/09/2025
2005 WYANDOTTE RD	John and Kristy Kuhl	9589 0710 5270 2919 1707 58	04/09/2025
2027 WYANDOTTE RD	Greg & Courtney Pearson	9589 0710 5270 2919 1707 41	04/09/2025
2019 EDGEMONT RD	Patrick & Laura Cook	9589 0710 5270 2919 1707 34	04/09/2025
2028 WYANDOTTE RD	Jesse & Lora Harris	9589 0710 5270 2919 1707 27	04/09/2025
1709 WALTHAM RD	Daniel Mead & Sarah Cooper	9589 0710 5270 2919 1707 10	04/09/2025
2027 EDGEMONT RD	Neil Heuker, Kenneth & Barbara Brunch	9589 0710 5270 2919 1707 03	04/09/2025
2010 WYANDOTTE RD	Patrick & Michele Cinci	9589 0710 5270 2919 1706 97	04/09/2025
1701 WALTHAM RD	Maegan & Bryan Ferres	9589 0710 5270 2919 1706 80	04/09/2025
2035 WYANDOTTE RD	Guy & Laura Williams	9589 0710 5270 2919 1706 73	04/09/2025
2011 WYANDOTTE RD	Michael Gilber & Collete Frommeyer	9589 0710 5270 2919 1706 66	04/09/2025
2036 WYANDOTTE RD	Ryan & Sara Vetter	9589 0710 5270 2919 1706 59	04/09/2025
2011 EDGEMONT RD	Elizabeth Farrell	9589 0710 5270 2919 1706 42	04/09/2025
Applicant Signature: <u>Brent A. Byrd</u> 			Date: <u>4/09/2025</u>

NOTICE:

Date: April 9, 2025

To:

This letter is to notify you that Brent Byrd has applied to the City of Upper Arlington Board of Planning and Zoning requesting a variance for the property at 2020 Wyandotte Rd, Columbus, OH 43212.

The Zoning Variance request is as follows:

Allow for a 2nd story addition over the existing 1st Floor structure in the rear of the house. Part of the existing 1st Floor structure extends over a more recent rear yard building setback due to the property's small rear ward and is causing a non-conforming condition.

The Upper Arlington Board of Zoning will hear this application at 6pm on Wednesday, May 21, 2025 at the Upper Arlington Municipal Service Center, 3600 Tremont Road, Upper Arlington, Ohio, 43221. The meeting location details and additional information on the agenda which is posted on the city's website (docs.uaoh.net/AgendaOnline/Meetings). If you would like further information, please contact the Planning and Zoning Division directly at planning@uaoh.net.

Sincerely,

Brent A. Byrd

GENERAL STRUCTURAL NOTES:

GENERAL

1. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE AND TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER SHORING, SHEETING, TEMPORARY BRACING, CUTS OR TIEDOWNS WHICH MUST BE NECESSARY. SUCH MATERIAL SHALL REMAIN THE CONTRACTOR'S PROPERTY AFTER COMPLETION OF THE PROJECT.
2. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
3. MECHANICAL EQUIPMENT LOADS, OPENINGS AND STRUCTURE IN ANY WAY RELATED TO MECHANICAL REQUIREMENTS ARE SHOWN FOR RECORD PURPOSES ONLY. CONTRACTOR SHALL OBTAIN APPROVAL OF MECHANICAL AND OTHER TRADES BEFORE PROCEEDING WITH SUCH PORTION OF THE WORK. EXCESS COST RELATED TO VARIATION IN MECHANICAL REQUIREMENTS TO BE BORNE BY MECHANICAL CONTRACTOR.
4. SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE PLANS CONFLICT WITH THE GENERAL STRUCTURAL NOTES, THE SPECIFICATIONS OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL CONTROL.
5. GOVERNING CODE: 2019 OHIO RESIDENTIAL BUILDING CODE.
6. DESIGN LOADS:
- FLOOR LIVE LOADS:
- OFFICE 50 PSF
 - CORRIDORS 80/100 PSF
 - ASSEMBLY 100 PSF
 - STORAGE 125 PSF (LIGHT)
 - PARTITION ALLOWANCE 20 PSF
 - ROOF LIVE LOADS 25 PSF
 - ROOF SNOW LOADS:
 - GROUND SNOW LOAD (P_g) 20 PSF
 - FLAT ROOF SNOW LOAD (P_f) 20 PSF
 - SNOW EXPOSURE FACTOR (E_s) 1.0
 - SNOW LOAD IMPORTANCE FACTOR (I_s) 1.0
 - THERMAL FACTOR (T_e) 1.0
 - RAIN OR SNOW SURCHARGE 3.0
- WIND LOADS:
- ULTIMATE WIND SPEED 95 MPH
 - BASIC WIND SPEED 80 MPH
 - WIND IMPORTANCE FACTOR 1.0
 - EXPOSURE CATEGORY C
 - INTERNAL PRESSURE COEFFICIENT +/- 0.18
- SEISMIC DESIGN DATA:
- SEISMIC USE GROUP I
 - SITE CLASS S_{MS}
 - S_{MS} 0.122
 - S_{MS} 0.098
 - SEISMIC DESIGN CATEGORY A
 - SEISMIC FORCE RESISTING SYSTEM LIGHT FRAMED WALLS WITH SHEAR PANELS IF ALL OTHER MATERIALS
 - ANALYSIS PROCEDURE EQUIVALENT LATERAL FORCE
 - SEISMIC DESIGN BASE SHEAR 10 K

REINFORCED CONCRETE

1. MATERIALS:

- A. SPECIFICATIONS: IN GENERAL, COMPLY WITH ACI 308-14, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS".

B. STRUCTURAL CONCRETE:

CLASS	LOCATION	f _c (psi)
I	FOOTINGS, INTERIOR PIERS	3,000
II	INTERIOR SLABS ON GRADE AND ALL INTERIOR CONCRETE NOT OTHERWISE IDENTIFIED	3,500
III	EXTERIOR SLABS ON GRADE, SITE CONCRETE, AND ALL EXTERIOR CONCRETE NOT OTHERWISE IDENTIFIED	4,000 (W/AR)
IV	BACKFILL BELOW FOOTINGS	1,500

C. ALL DEFORMED REINFORCING BARS: F_y = 60,000 PSI.

2. FIELD MANUAL: PROVIDE AT LEAST ONE COPY OF THE ACI FIELD REFERENCE MANUAL, 9P-15 IN THE FIELD OFFICE AT ALL TIMES.

3. FOOTINGS, PIERS, WALLS:

- A. DOWELS IN FOOTINGS TO MATCH VERTICAL PIER OR WALL REINFORCING.
- B. PROVIDE CORNER BARS AT WALL AND FOOTING CORNERS TO MATCH HORIZONTAL REINFORCING. MINIMUM LENGTH OF EACH LEG - 36 BAR DIAMETERS.

4. SPLICES:

- A. SPLICES FOR VERTICAL STEEL IN WALLS OR PIERS - LAP 30 DIAMETERS, UNLESS NOTED OTHERWISE.
- B. MINIMUM LAP FOR FOOTING SLAB, AND HORIZONTAL WALL REINFORCING = 36 DIAMETERS.

7. CONSTRUCTION JOINTS:

- A. CONSTRUCTION JOINTS PERMITTED ONLY WHERE SHOWN OR AS APPROVED BY THE STRUCTURAL ENGINEER.
- J. MINIMUM BEAM BEARING ON MASONRY = 8".

UNTEL NOTES

1. PROVIDE UNTELS OVER ALL OPENINGS IN MASONRY WALLS. NOT ALL UNTELS ARE SHOWN ON THE STRUCTURAL DRAWINGS. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS FOR SIZES AND LOCATIONS OF OPENINGS, AND FOR STANDARD UNTELS. USE THE APPROPRIATE UNTEL FROM THE SCHEDULE IN NOTE 5 BELOW. FOR NUMBERED UNTELS DESIGNATED ON THE STRUCTURAL DRAWINGS, USE THE SCHEDULED UNTEL IN NOTE 5 BELOW.

2. PROVIDE ONE ANGLE FOR EACH 4" OF WALL THICKNESS, AND USE 6" MINIMUM BEARING EACH END. FOR BEAM UNTELS, STOP BOTTOM PLATE 1/8" SHORT OF JAMBS, AND USE 6" MINIMUM BEARING EACH END.

MASONRY ROUGH OPENING	SECTION
10'-0" TO 14'-0"	L 3'-0" X 3'-0" S/6
4'-1" TO 5'-6"	L 4'-0" X 3'-0" S/6 L/V
9'-7" TO 10'-6"	L 5'-0" X 3'-0" S/6 L/V
6'-7" TO 8'-0"	L 6'-0" X 3'-0" S/6 L/V

3. IN 6" WALLS, PROVIDE 2 L'S 3'-0" X 2'-0" X 3'-0" S/6 WITH LONG LEGS BACK TO BACK, UNLESS NOTED OTHERWISE.

4. IN 12" WALLS, PROVIDE 2 L'S 5'-0" X 5'-0" S/6 UNLESS NOTED OTHERWISE.

OPEN WEB TRUSS NOTES

5. MATERIALS:

- A. CONNECTIONS: ALL INTERNAL TRUSS CONNECTIONS ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER. CONNECTIONS SHALL BE FORMED PLATE TYPE, OF MINIMUM 20 GAUGE GALVANIZED STEEL SHEET. ALL JOINTS ARE TO BE DESIGNED USING METHODS AS SET FORTH IN THE STANDARDS (SPL) HANGERS. ALL TRUSSES TO TRUSS HANGERS SHALL BE MINIMUM 10 GA, AND SHALL BE PROVIDED BY THE TRUSS SUPPLIER.

6. SPECIFICATIONS AND REFERENCE STANDARDS: UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION, ERECTION, HANDLING AND BRACING REQUIREMENTS ARE TO BE GOVERNED BY THE LATEST REVISIONS OF:

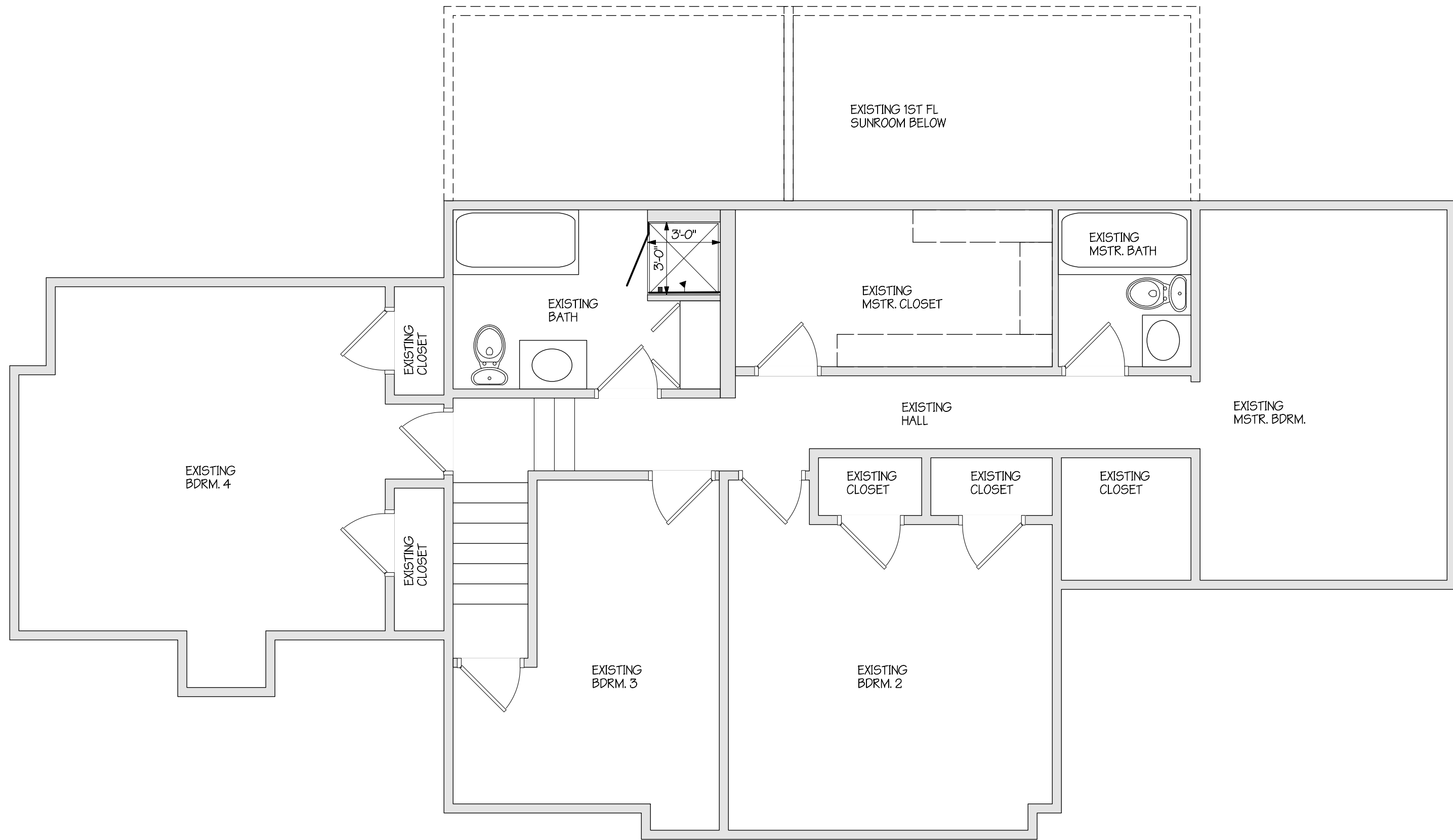
- A. NATIONAL DESIGN SPECIFICATIONS FOR STRESS-GRADE LUMBER AND ITS FASTENINGS.
- B. TIMBER CONSTRUCTION STANDARDS.
- C. DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES.
- D. TRUSS PLATE INSTITUTE PUBLICATION #176 BRACING WOOD TRUSSES: COMMENTARY AND RECOMMENDATIONS.

7. SUBMITTALS:

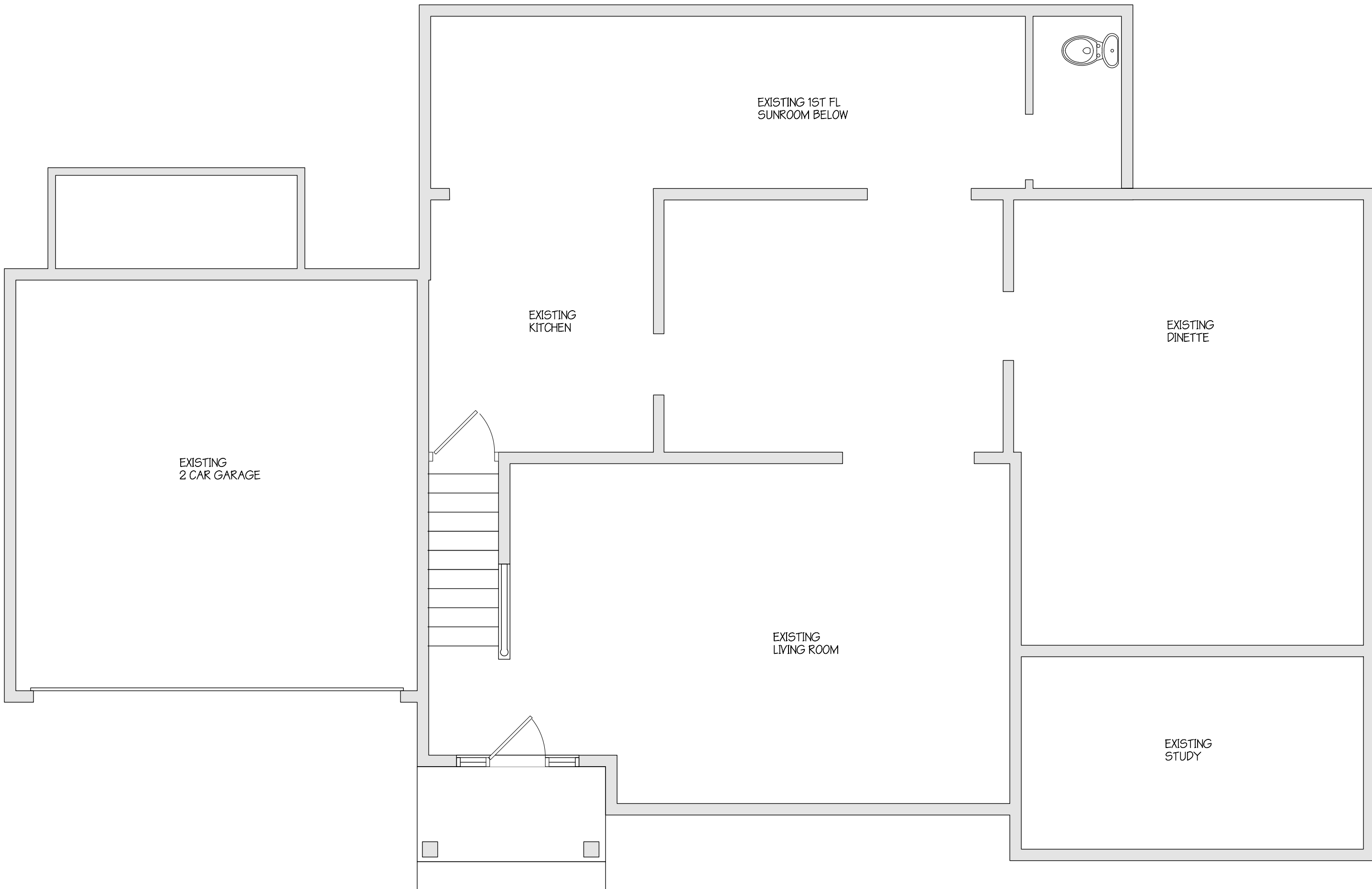
- A. TRUSS DESIGNS ARE TO BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION. TRUSS SUBMITTAL SHALL INCLUDE THE FOLLOWING INFORMATION:
1. DESIGN INFORMATION FOR EACH TYPE OF TRUSS SUPPLIED.
 2. LAYOUT DRAWING INDICATING LOCATION OF EACH SPECIFIC TRUSS TYPE.
 3. TRUSS HANGER TYPE AND LOCATION FOR ALL TRUSSES FRAMING INTO TRUSSES.
 4. TRUSS DESIGNS AND LAYOUT DRAWING STAMPED BY A REGISTERED PROFESSIONAL ENGINEER, STATE OF OHIO.

- B. SUBMITTALS WHICH DO NOT INCLUDE THE ABOVE LISTED INFORMATION WILL BE RETURNED TO THE CONTRACTOR PRIOR TO REVIEW.

8. MISCELLANEOUS: UNLESS SPECIFICALLY NOTED OTHERWISE ON THE APPROVED TRUSS SHOP DRAWINGS, ALL MEMBERS OF MULTIPLE TRUSSES ARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.



C EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"



B EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"

2020 WYANDOTTE ROAD - SITE INFO

SQUARE FOOTAGE

LOT SIZE = 8,164.4 S.F. (100%)
EXIST. 1ST FL. RESID. = 2,234 S.F. (27.3 %)

NEW ADDITION = 264 S.F.
(ADDITION ON EXISTING STRUCTURE FOOTPRINT)

EXISTING LOT = 8,164.4 S.F. = 100%

REAR YARD

EXISTING REAR YARD = 2,547.4 S.F. = 31.2 %
NEW REAR YARD = 2,547.4 S.F. = 31.2 %

SIDE YARD

EXIST. NORTH SIDE YARD = 9'-1"
NEW NORTH SIDE YARD = TO REMAIN CONSTANT

EXIST. SOUTH SIDE YARD = 11'-2"
NEW SOUTH SIDE YARD = TO REMAIN CONSTANT

BUILDING HEIGHT

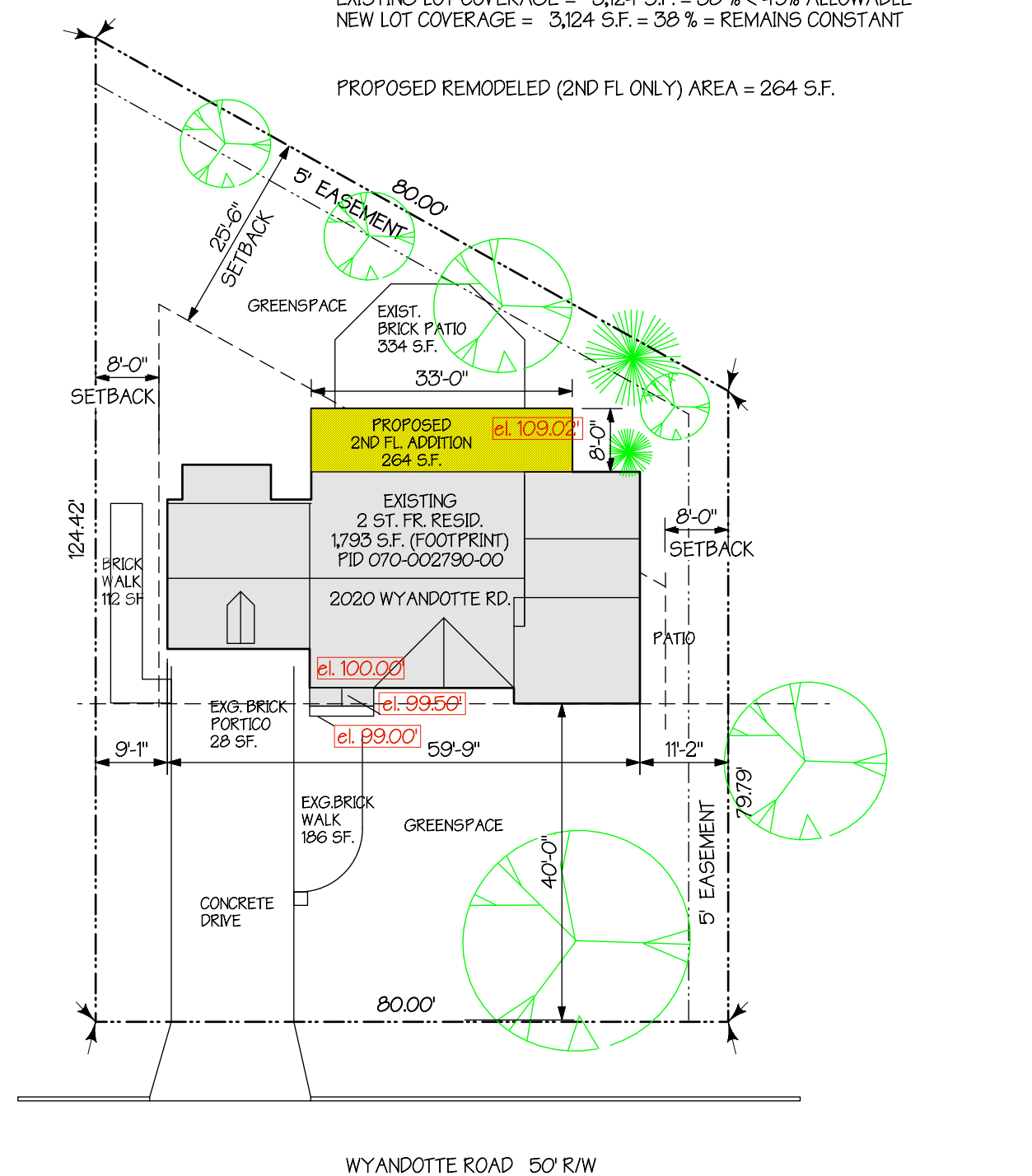
MAX. HEIGHT ALLOWABLE = 35'-0"
EXISTING BUILDING HEIGHT = ~ 27'-4" REMAINS CONSTANT

BUILDING COVERAGE

EXISTING BUILDING COVERAGE = 1,793 S.F. = 22 % < 29% ALLOWABLE
NEW BUILDING COVERAGE = 1,793 S.F. = 22 % REMAINS CONSTANT

EXISTING LOT COVERAGE = 3,124 S.F. = 38 % < 45% ALLOWABLE
NEW LOT COVERAGE = 3,124 S.F. = 38 % = REMAINS CONSTANT

PROPOSED REMODELED (2ND FL. ONLY) AREA = 264 S.F.



A SITE PLAN
1" = 20'-0"

SCHEDULE OF DRAWINGS

SHEET DESCRIPTION

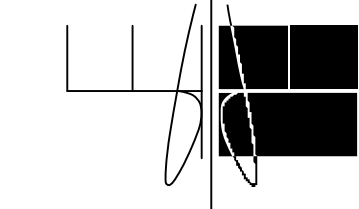
A1	SCHED. OF DWGS., SITE PLAN, BLDG CODE/STRUCTURAL NOTES, EXISTING FLOOR PLANS
A2	REMODELED FLOOR PLAN, ELEVATIONS& NOTES
A3	FLOOR & ROOF FRAMING PLANS
A4	WALL SECTIONS & DETAILS
P101	PLUMBING PLAN, STACK DIAG., SECTION & ISOMETRIC
P102	PLUMBING SCHEDULE AND NOTES
EM1	FLOOR ELECTRICAL LIGHTING/POWER PLAN & NOTES

BYRD RESIDENCE REMODELING
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JOHN A. EBERTS
ARCHITECT

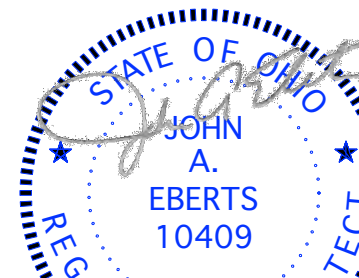
LEED AP, OHIO REG. 10409
165 EXETER ROAD, SUITE B
COLUMBUS, OHIO 43224



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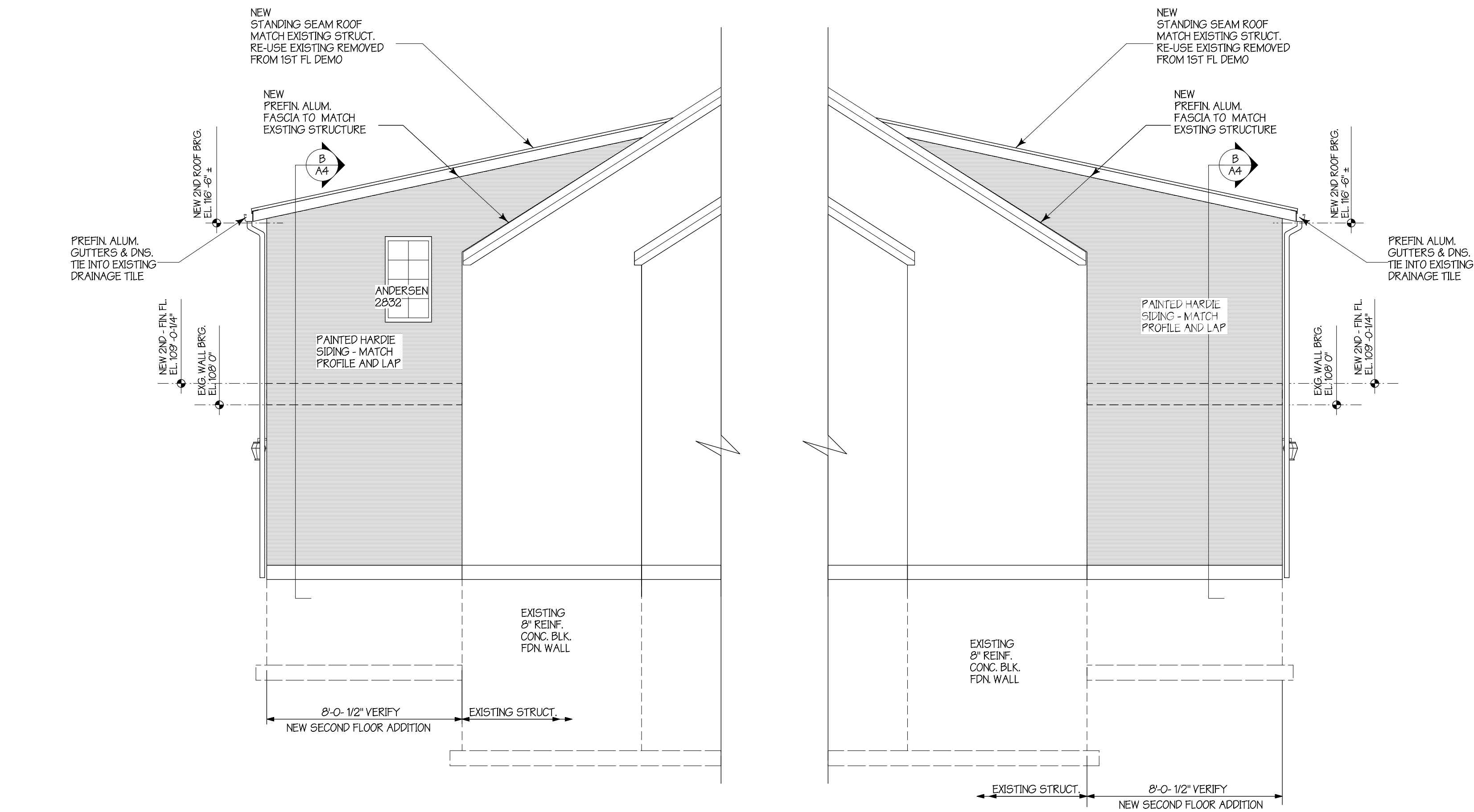
OH 10409 EXP. 12/31/25

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04-09-25

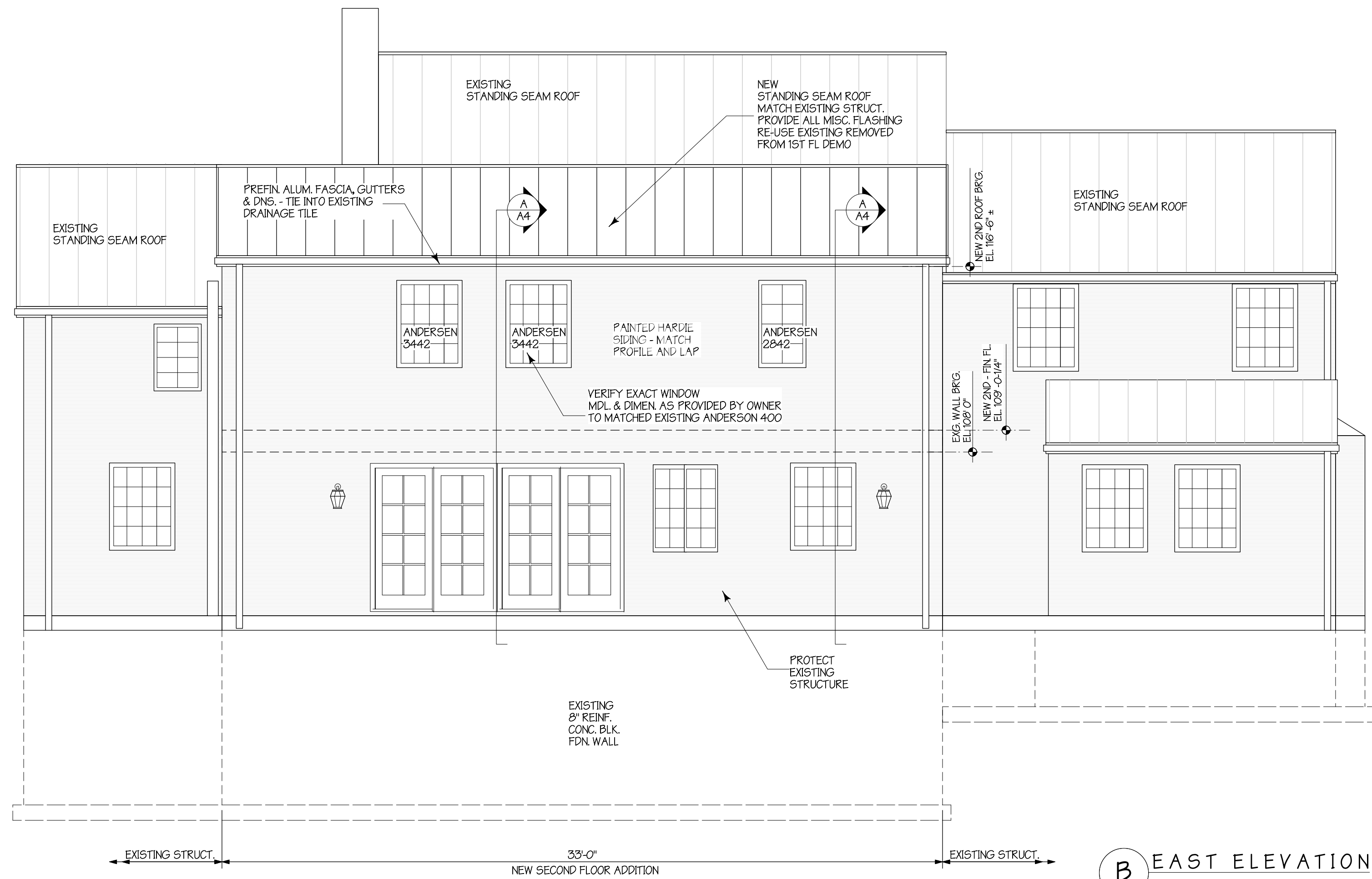
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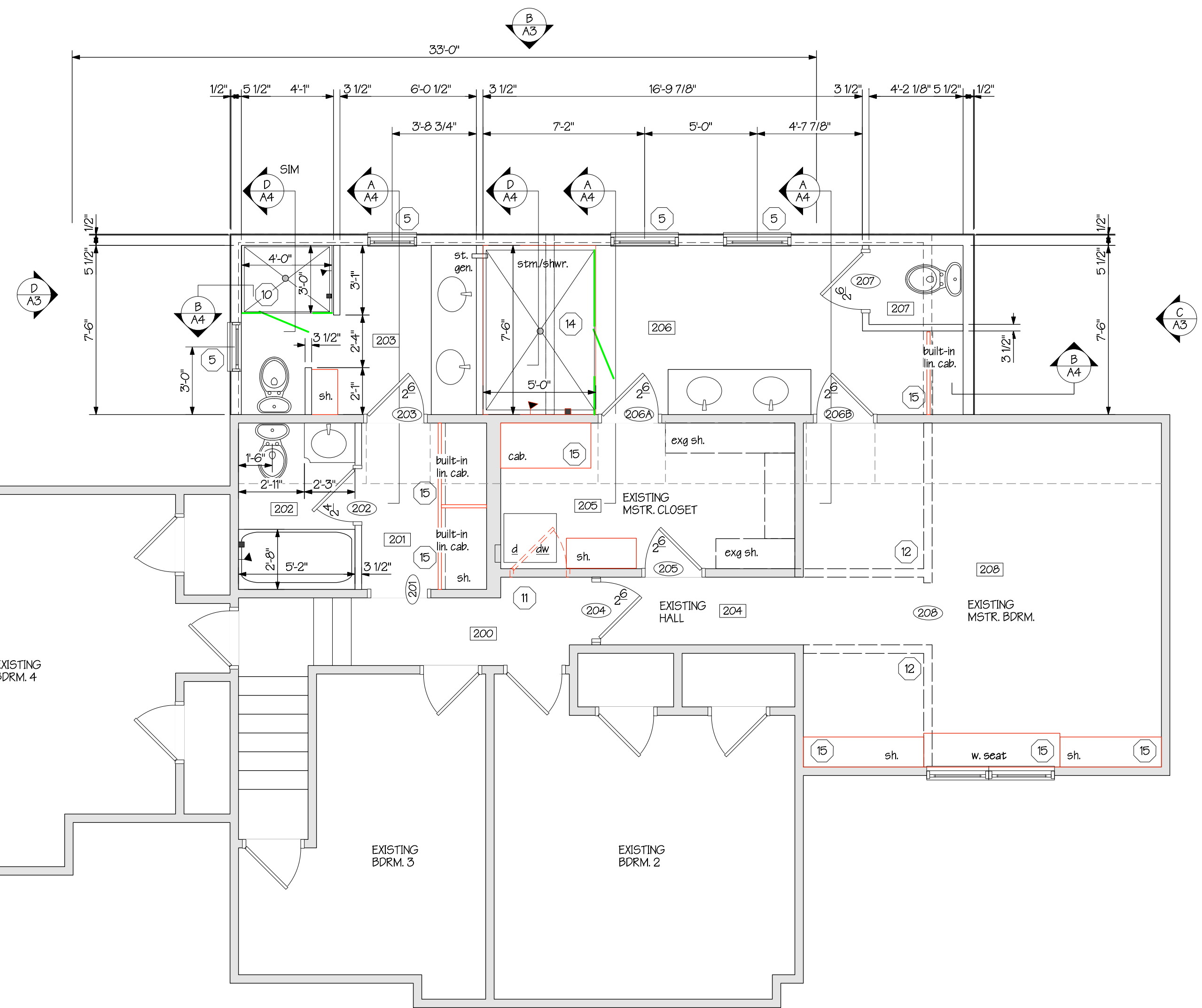


D NORTH ELEVATION
1/4" = 1'-0"

C SOUTH ELEVATION
1/4" = 1'-0"



B EAST ELEVATION
1/4" = 1'-0"



A SECOND FLOOR PLAN - REMODELED
1/4" = 1'-0"

CODED NOTES:

- 1) GENERAL CONTRACTOR AND SUB-CONTRACTORS TO SECURE ALL NECESSARY BUILDING PERMITS AND APPROVALS FOR THE FULL COMPLETION AND OCCUPANCY OF THE ADDITION & INTERIOR FINISH.
- 2) COORDINATE AND VERIFY ALL ACCESS, MATERIAL DELIVERIES AND WORK RELATED GUIDELINES WITH BUILDING OWNER OR REPRESENTATIVE. PROTECT BUILDING STRUCTURE, ACCESS AND SURROUNDING AREAS DURING CONSTRUCTION PHASE. TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING MECHANICAL SYSTEMS FROM COLLECTING AND DISTRIBUTION OF DIRT AND DUST. ALL CONSTRUCTION DEBRIS TO BE PROMPTLY REMOVED FROM SITE IN STRICT COMPLIANCE WITH ALL CITY CODES AND REGULATOR GUIDELINES.
- 3) GENERAL CONTRACTOR TO COORDINATE ALL WORK TO BE COMPLETED BY PLUMBING, ELECTRICAL, HVAC, TELECOMMUNICATION, DATA, SUB-CONTRACTORS. CONTRACTOR TO REPORT ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND FIELD CONDITIONS.
- 4) PROTECT EXISTING NEW HARDWOOD FLOORING AND PARTITION ALL WORK AREAS FROM THOSE AREAS NOT INVOLVED IN THE SCOPE OF CONSTRUCTION WORK TO KEEP FREE OF ALL DUST AND DEBRIS.
- 5) ALL WINDOWS PROVIDED AND INSTALLED ARE TO MEET OR EXCEED THE 2019 IRC SECTION 310 AND LOCAL JURISDICTIONS BUILDING CODE AND GUIDELINES. ALL GLAZING WITHIN 18" OF THE FINISH FLOOR ELEVATION MUST BE TEMPERED AND SHALL BE PERMANENTLY LABELED PER SECTION 2403.1 AND 2406.3, (WINDOW MODEL NO. ENDING WITH 'E' DESIGNATION INDICATES EMERGENCY EGRESS COMPLIANCE) ANDERSEN WINDOW MDL. NOS TO MATCH EXISTING 400 SERIES, COORDINATE WITH OWNER.
- 6) ALL GLAZING PROVIDED AND INSTALLED MEET OR EXCEED THE 2019 IRC SECTION 308.4 AND LOCAL JURISDICTIONS BUILDING CODE AND GUIDELINES. ALL GLAZING FOR SHOWERS, BATHTUBS WHIRLPOOLS AND SAUNAS SHALL MEET TABLE 2406.2(2) ANSI Z371 AND SHALL BE PERMANENTLY LABELED PER SECTION 2403.1 AND 2406.3.
- 7) SMOKE AND CARBON MONOXIDE ALARMS TO MEET OR EXCEED THE 2019 IRC SECTIONS 314 AND 315. INSTALLATION PER NEC GUIDELINES.
- 8) RELOCATED EXISTING DOOR FRAME TO NEW OPENINGS AS INDICATED - VERIFY CONDITION, SWING & REPLACE DOOR WITH NEW RESIN CONSTR. 6 PANEL DOOR PROFILE TO MATCH EXISTING DOORS IF SALVAGEABLE. CLOSE OPENING W/ 2 X 4 PARTITION WITH 5/8" DRYWALL AND FINISH TO LIKE NEW CONDITION.
- 9) REMOVE EXISTING SINK, TOILET, SHOWER/TUB, REWORK ALL PLUMBING AS REQUIRED FOR NEW BATH LAYOUT. SEE P101 & P102.
- 10) INSTALL CUSTOM BUILT, 48" X 36" SHOWER W/ 1" CURB, COMPLIANT GRAB BAR. PROVIDE ALL NECESSARY TREATED 2 X 4 BLKS TO INSTALL FUTURE ADAAG GRAB BARS. SEE DETAIL.
- 11) REMOVE EXISTING EXISTING DOOR, FRAME & HARDWARE FOR REINSTALLATION IN NEW OPENINGS. CLOSE EXISTING OPENING WITH 2 X 4 STUDS, INSULATION AND 5/8" DRYWALL FOR LIKE NEW CONDITIONS. PRIME & PAINT TO MATCH ADJACENT SURFACES AS REQUIRED.
- 12) REMOVE EXISTING WALL PARTITION AND DOORS SHOWN DASHED. PATCH AND REPAIR WALL AND CEILING FINISHES AS REQD. REMOVE AND SALVAGE FOR REUSE.
- 14) INSTALL TREATED 2 X 4 FRAMING ACROSS STEAM SHOWER FOR FLAT FINISH CEILING, ALL STEAM SHOWER FRAMING TO BE TREATED LUMBER W/ 1/2" CONCRETE BOARD AND WATERPROOFING PER SELECTED WATERPROOF SYSTEM. SEE DETAIL D14.
- 15) PRE-ENGINEERED CABINRY PROVIDED BY OWNER AND INSTALLED BY BUILDER.

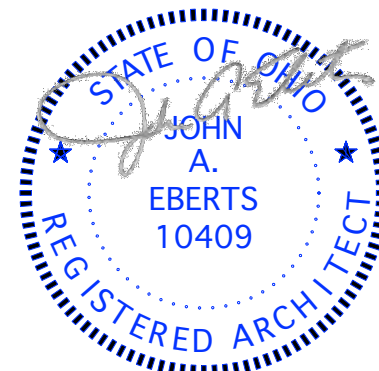
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2020 WYANDOTTE ROAD
UPPER ARLINGTON, OHIO 43221

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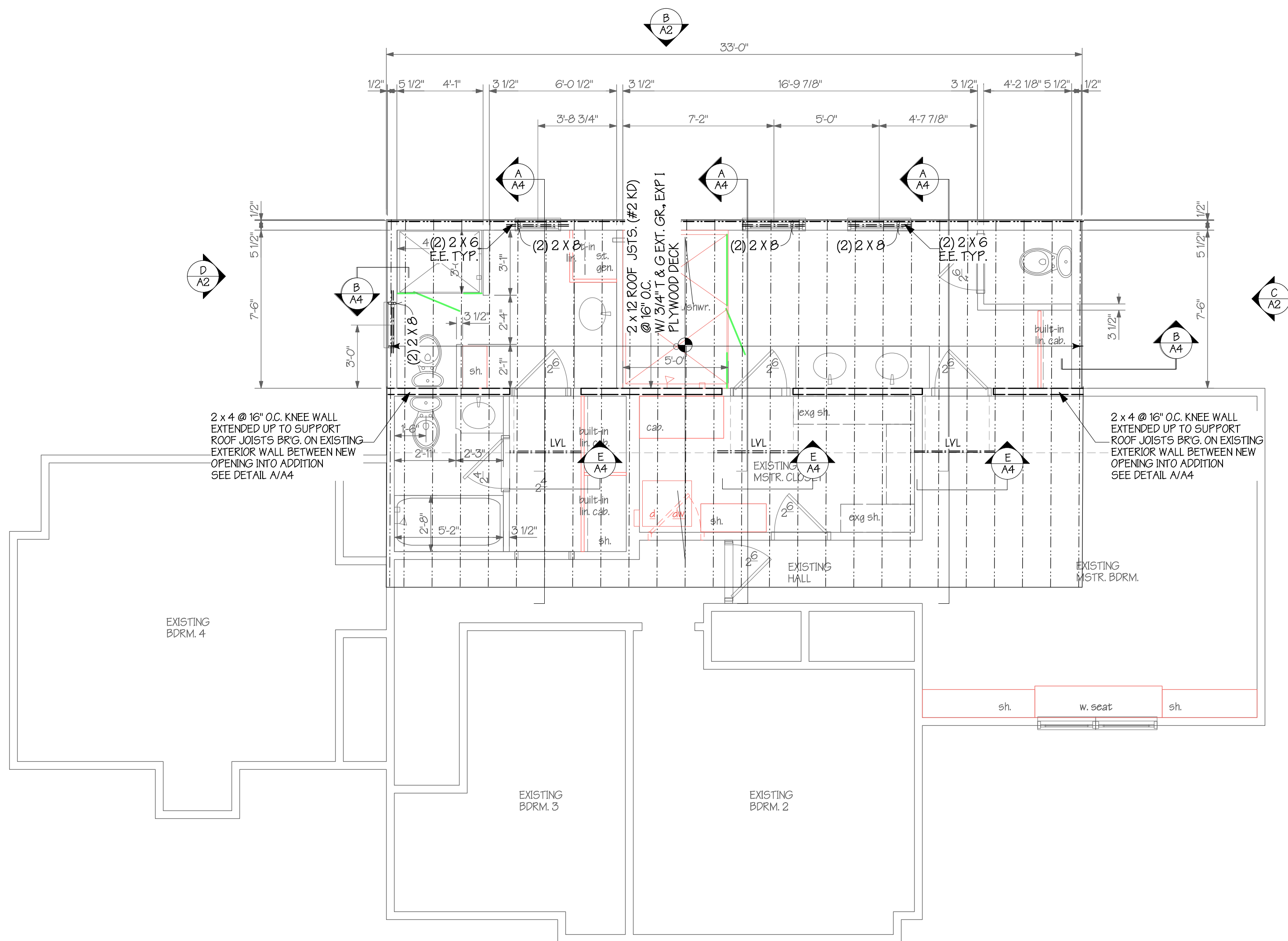
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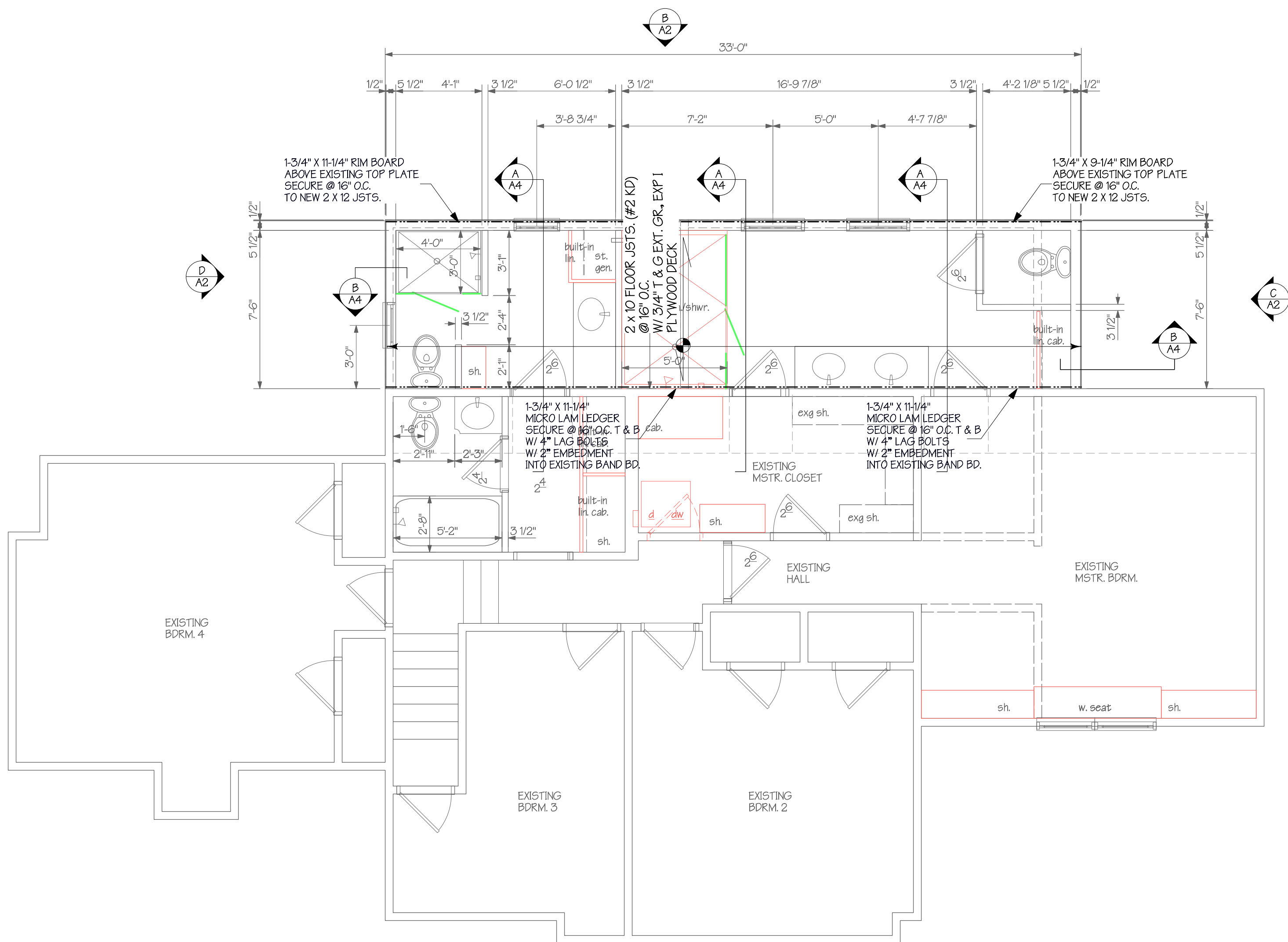
03-26-25

SHEET NO.

A2



B ROOF FRAMING PLAN
1/4" = 1'-0"



A SECOND FLOOR PLAN - REMODELED
1/4" = 1'-0"

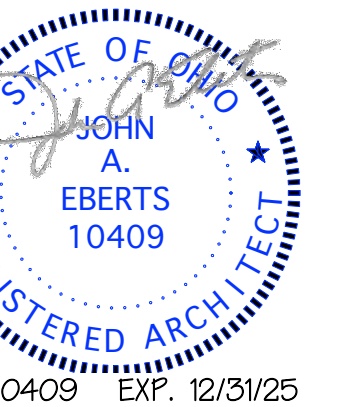
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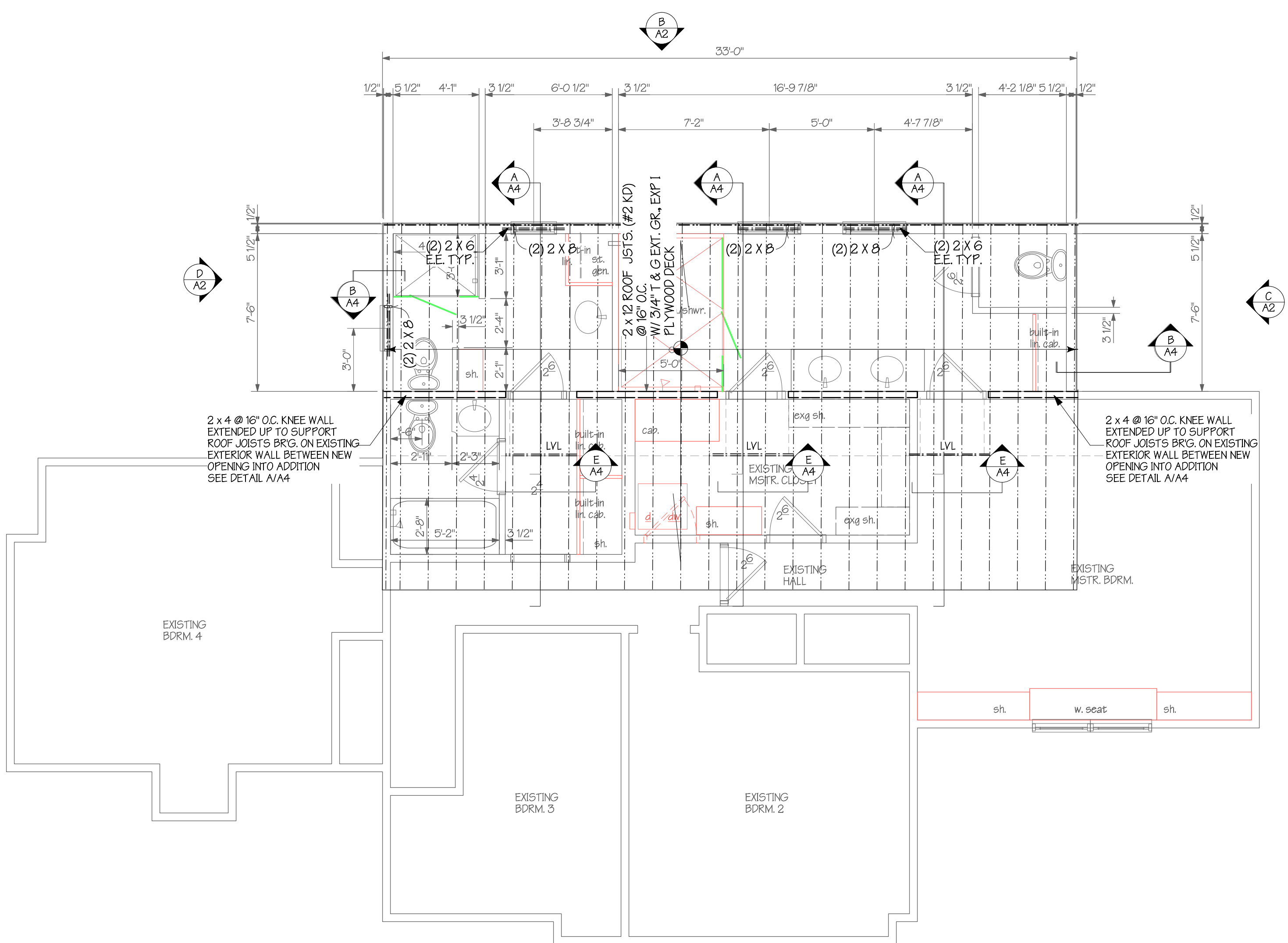
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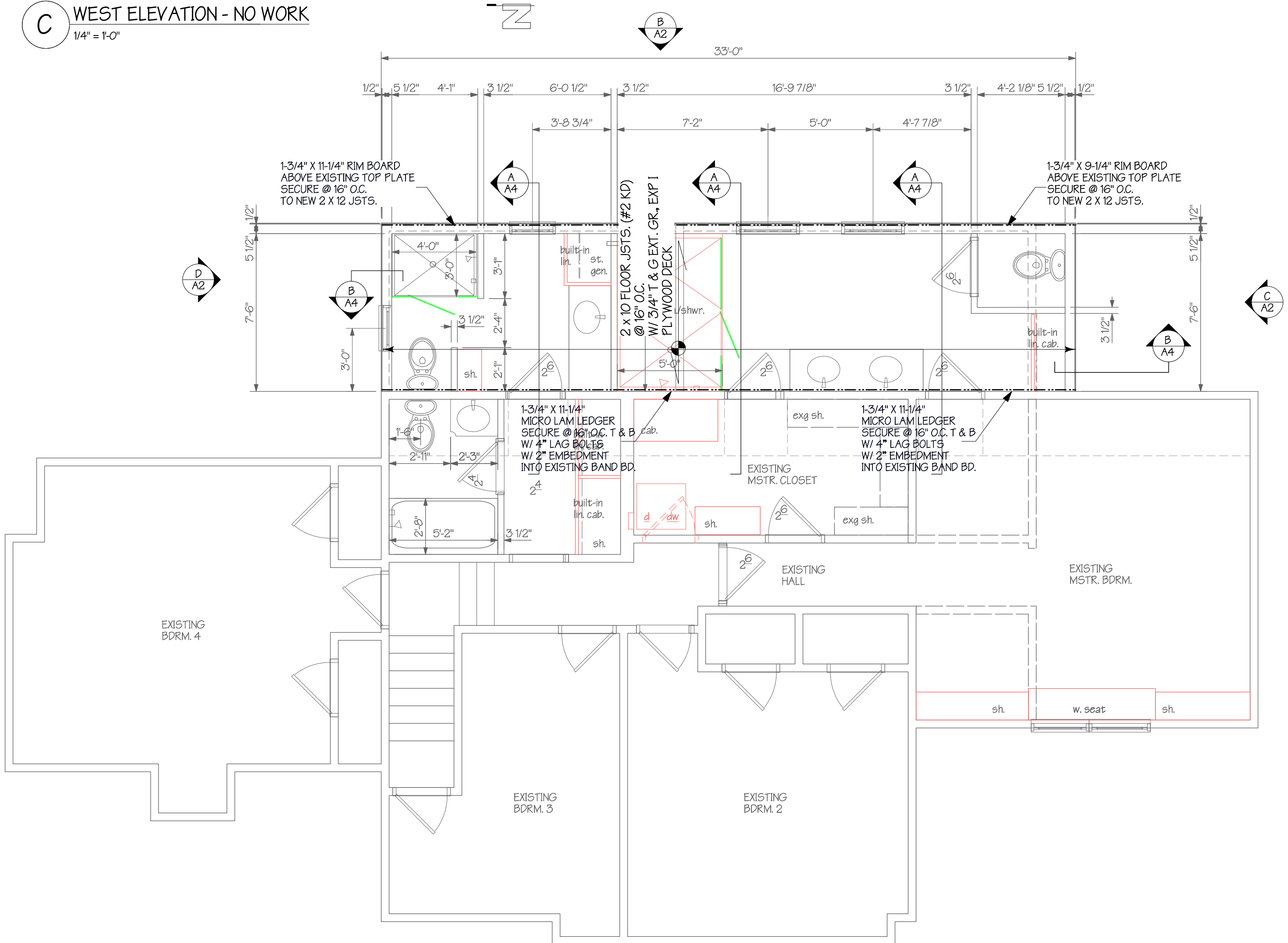
A3



C WEST ELEVATION - NO WORK
1/4" = 1'-0"



B ROOF FRAMING PLAN
1/4" = 1'-0"



A SECOND FLOOR PLAN - REMODELED
1/4" = 1'-0"

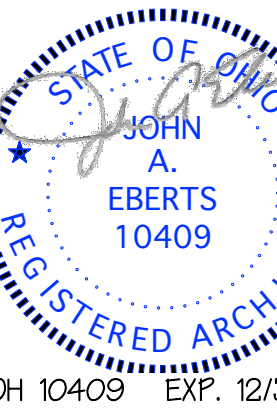
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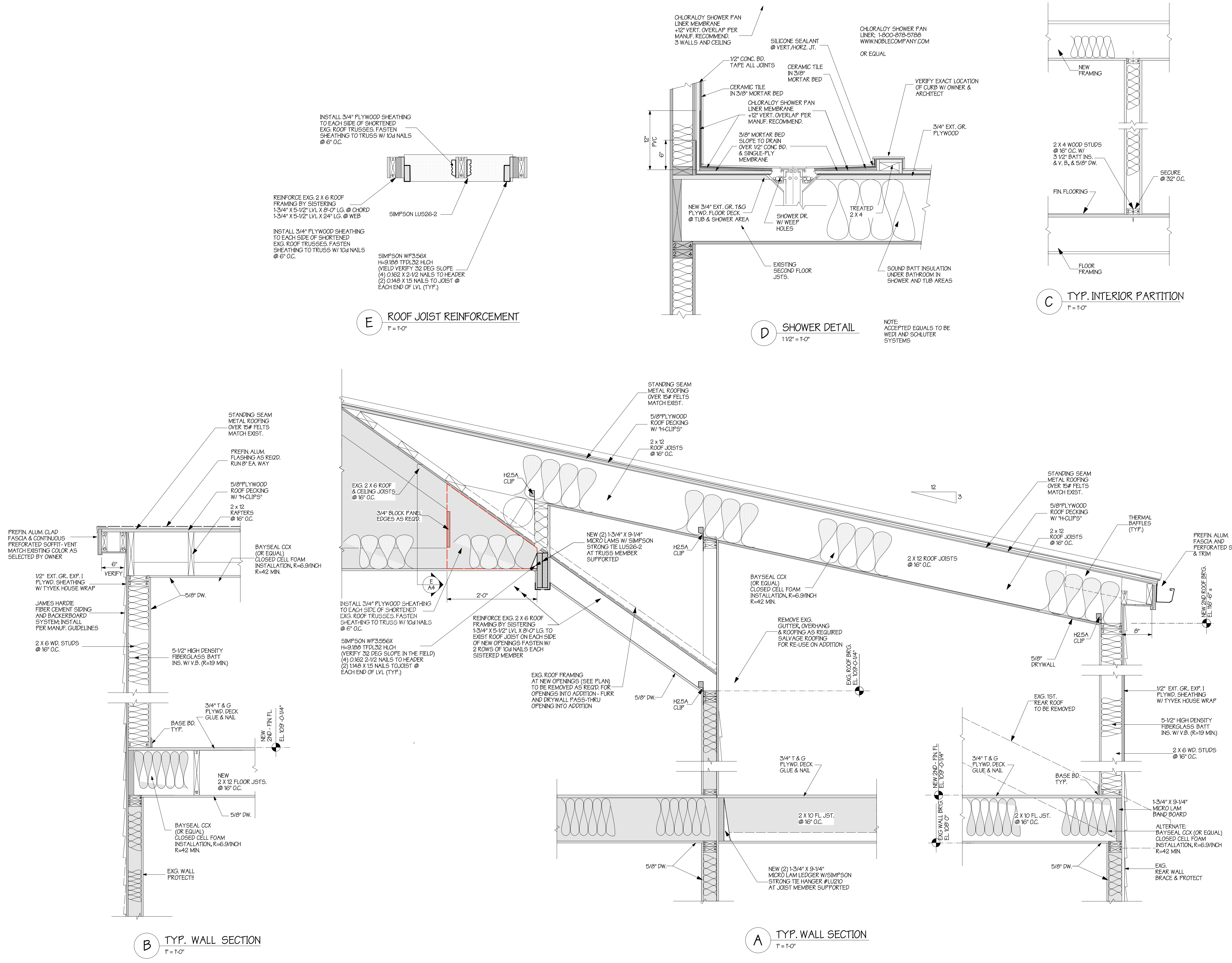
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DATE

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A3



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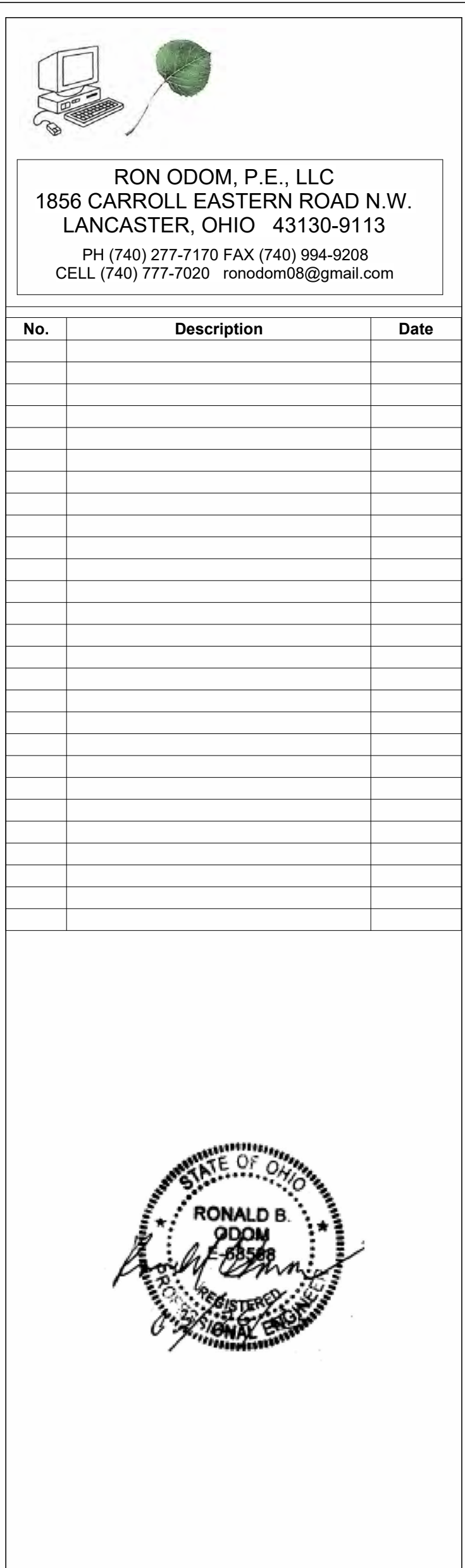
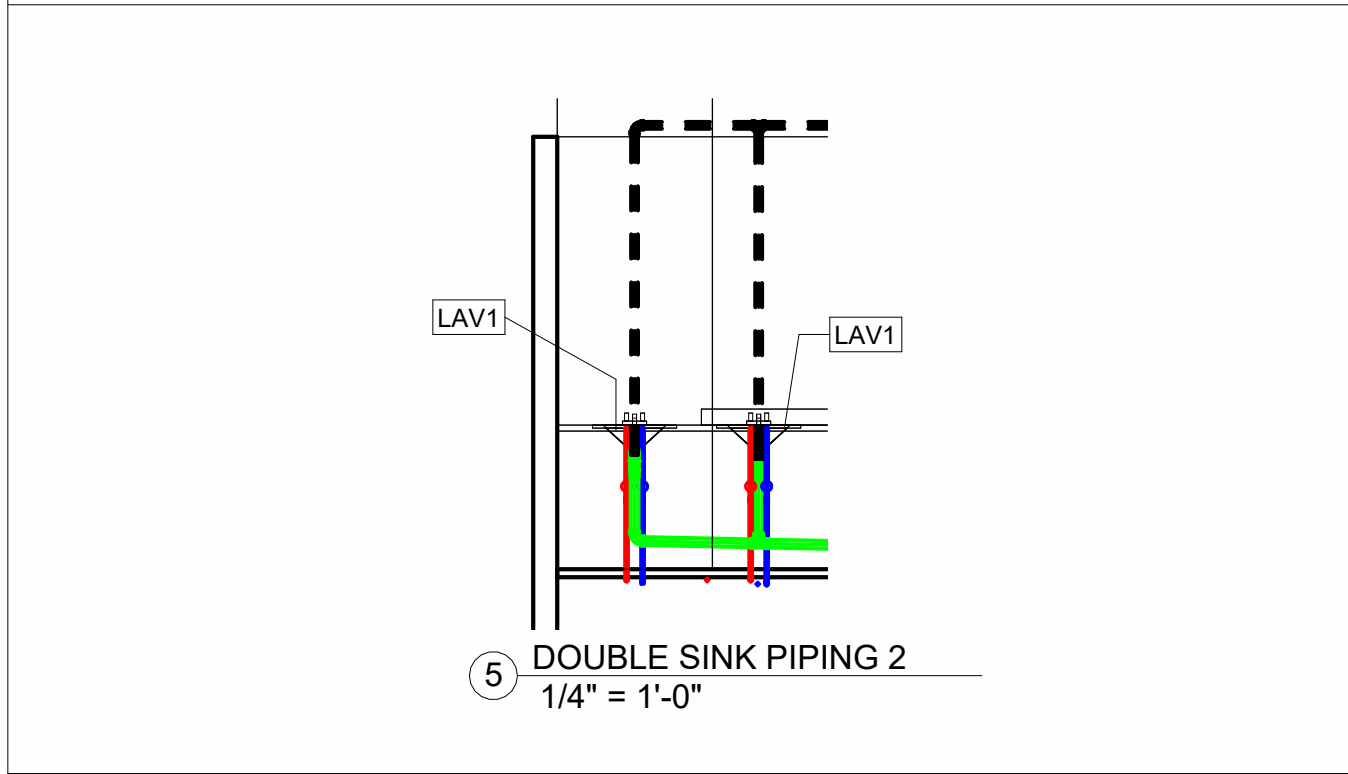
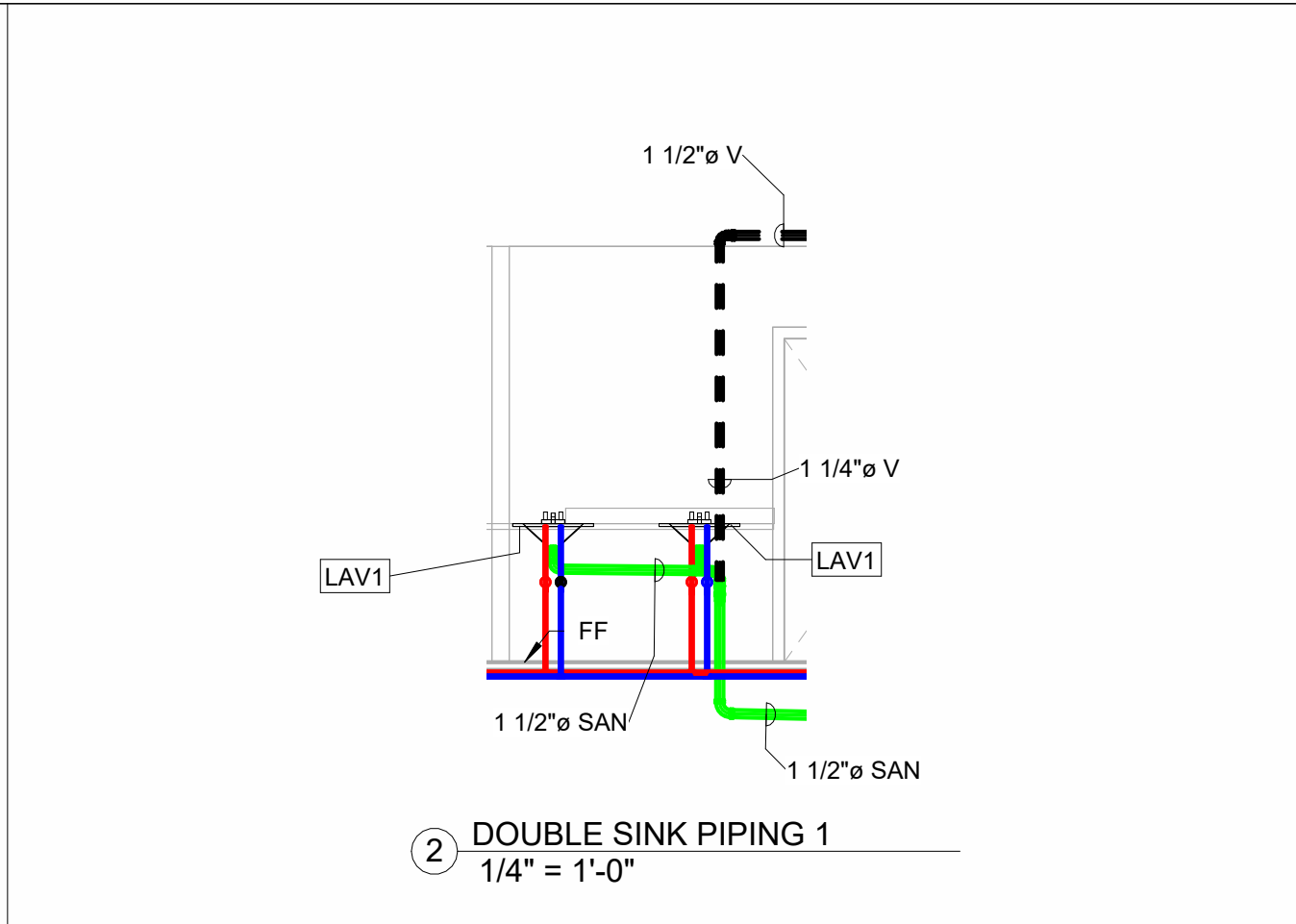
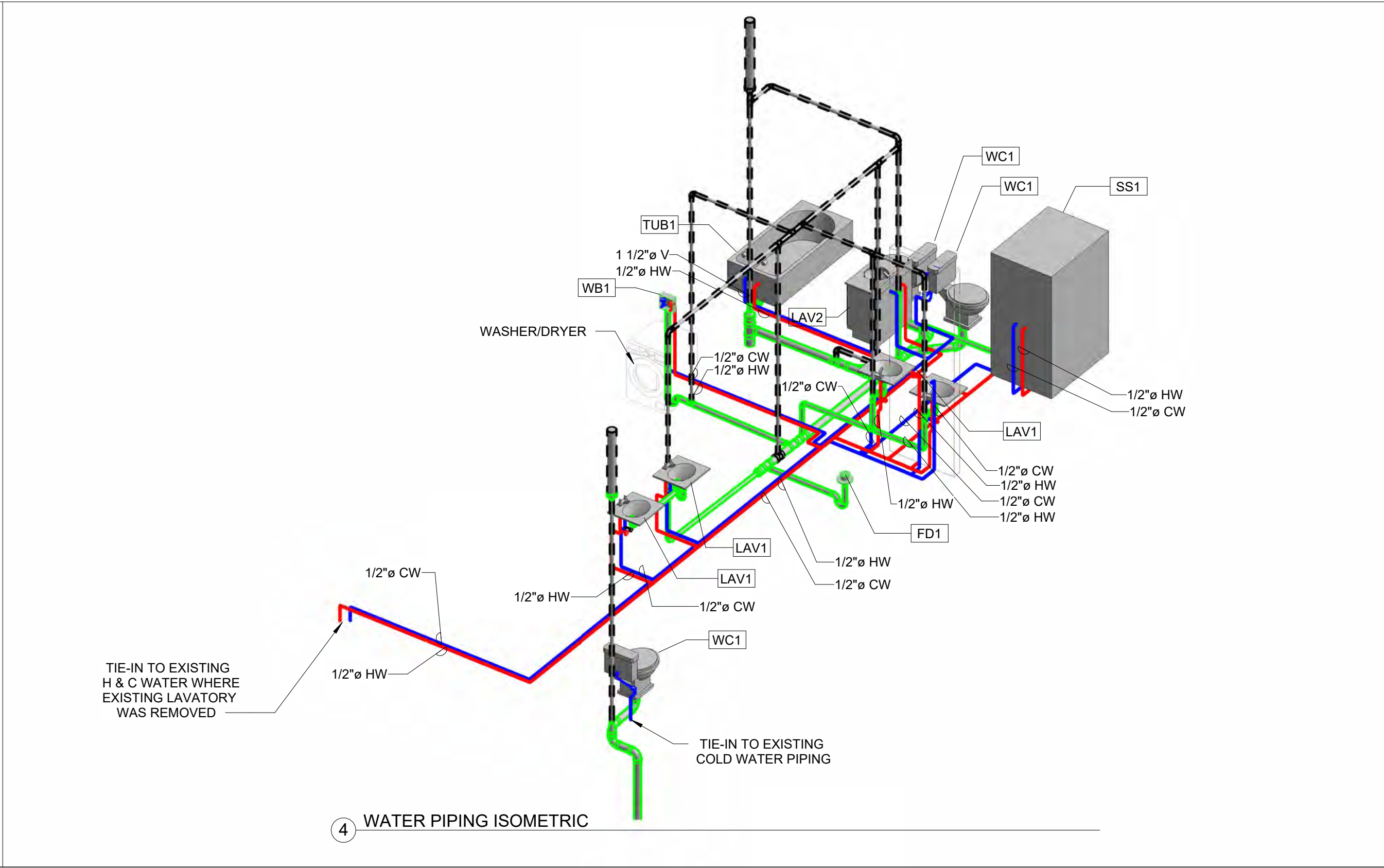
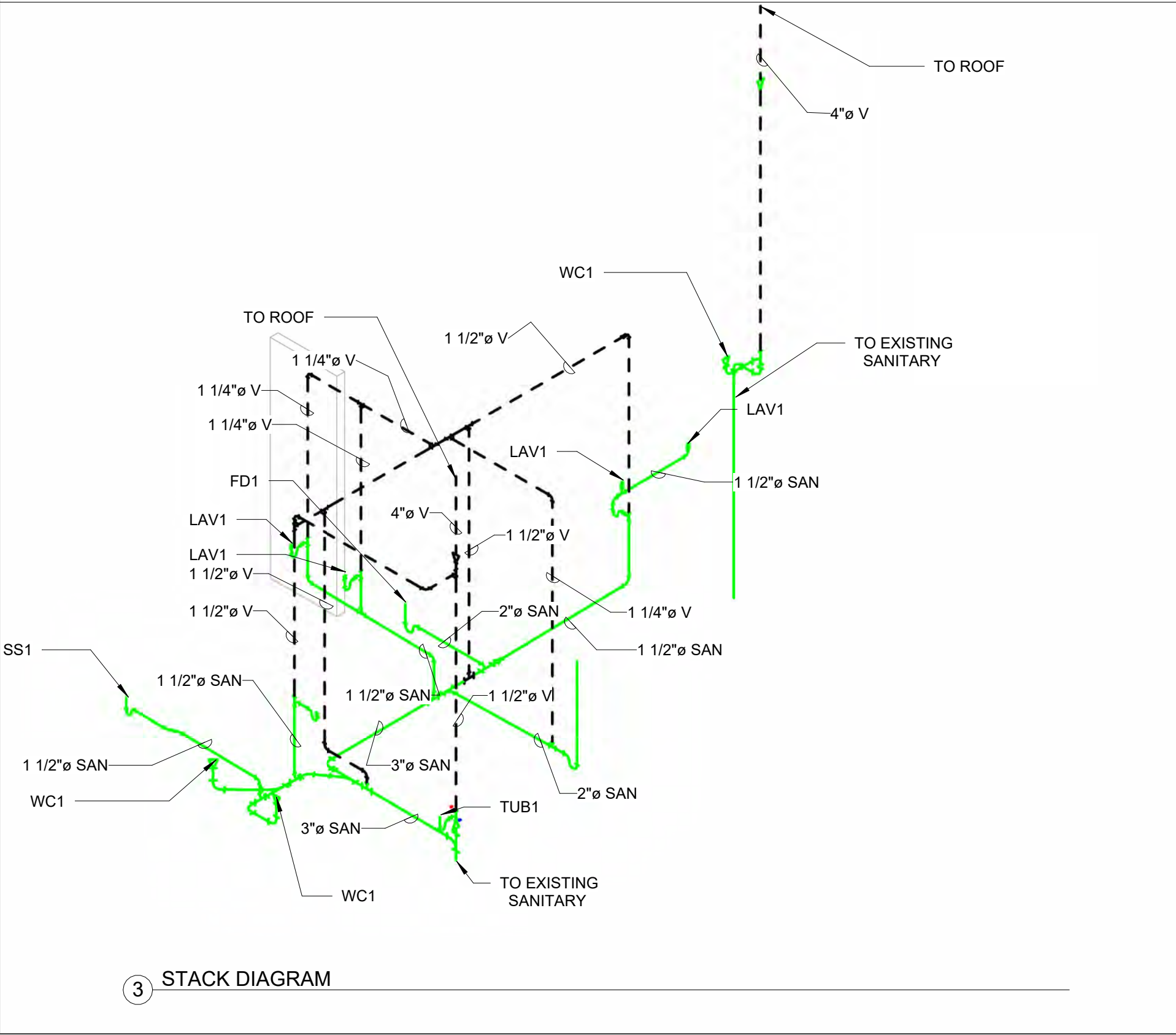
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STATE OF OHIO
JOHN A. EBERTS
10409
REGISTERED ARCHITECT

OH 10409 EXP. 12/31/25

DATE
03-26-25

SHEET NO.
A4

[illegible]

BYRD RESIDENCE
2020 WYANDOTTE
ROAD
UPPER ARLINGTON,
OHIO 4321

RESIDENCE REMODEL

PLUMBING PLAN, SECTION, STACK DIAGRAM & WATER PIPING ISOMETRIC	
Project number	2025007
Date	03/26/25
Drawn by	RBO
Checked by	RBO
P101	
Scale	As indicated

P101

3/26/2025 6:18:04 PM

PLUMBING FIXTURE SCHEDULE

FIXTURE DESIGNATION	DESCRIPTION	COLD	HOT	TRAP	WASTE	VENT	MANUFACTURE	MODEL	FAUCET	PLUMBING NOTES
FD1	FLOOR DRAIN			2"	2"	1-1/4"	SOIUX CHEIF HALO	822-2PSR		
LAV1	LAVATORY	1/2"	1/2"	1-1/2"	1-1/2"	1-1/4"	OWNER SELECT			
LAV1	LAVATORY	1/2"	1/2"	1-1/2"	1-1/2"	1-1/4"	OWNER SELECT			
LAV1	LAVATORY	1/2"	1/2"	1-1/2"	1-1/2"	1-1/4"	OWNER SELECT			
LAV1	LAVATORY	1/2"	1/2"	1-1/2"	1-1/2"	1-1/4"	OWNER SELECT			
LAV2	LAVATORY W/ CABINET	1/2"	1/2"	1-1/2"	1-1/2"	1-1/4"	OWNER SELECT			
SS1	3X4 SHOWER STALL	1/2"	1/2"	1-1/2"	2"	1-1/4"	OWNER SELECT			
TUB1	BATH TUB	1/2"	1/2"	1-1/2"	1-1/2"	1-1/2"	OWNER SELECT			
WB1	WALL WATER BOX	1/2"	1/2"	2"	2"		BLUEFIN	WB050M		
WC1	TANK TYPE WATER CLOSET	1/2"		INTERGRAL	3"	2"	OWNER SELECT			
WC1	TANK TYPE WATER CLOSET	1/2"		INTERGRAL	3"	2"	OWNER SELECT			
WC1	TANK TYPE WATER CLOSET	1/2"		INTERGRAL	3"	2"	OWNER SELECT			

PLUMBING NOTES

ALL PLUMBING SHALL COMPLY WITH THE 2024 OHIO PLUMBING CODE (OPC)

ALL DRAIN PIPING SHALL BE ABS OR PVC

ALL ABOVE GROUND SUPPLY PIPING SHALL BE TYPE M COPPER, CPVC OR PEX

ALL PEX PIPING MUST BE SLEEVED THROUGH CONCRETE



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BYRD RESIDENCE
2020 WYANDOTTE
ROAD
UPPER ARLINGTON,
OHIO 4321

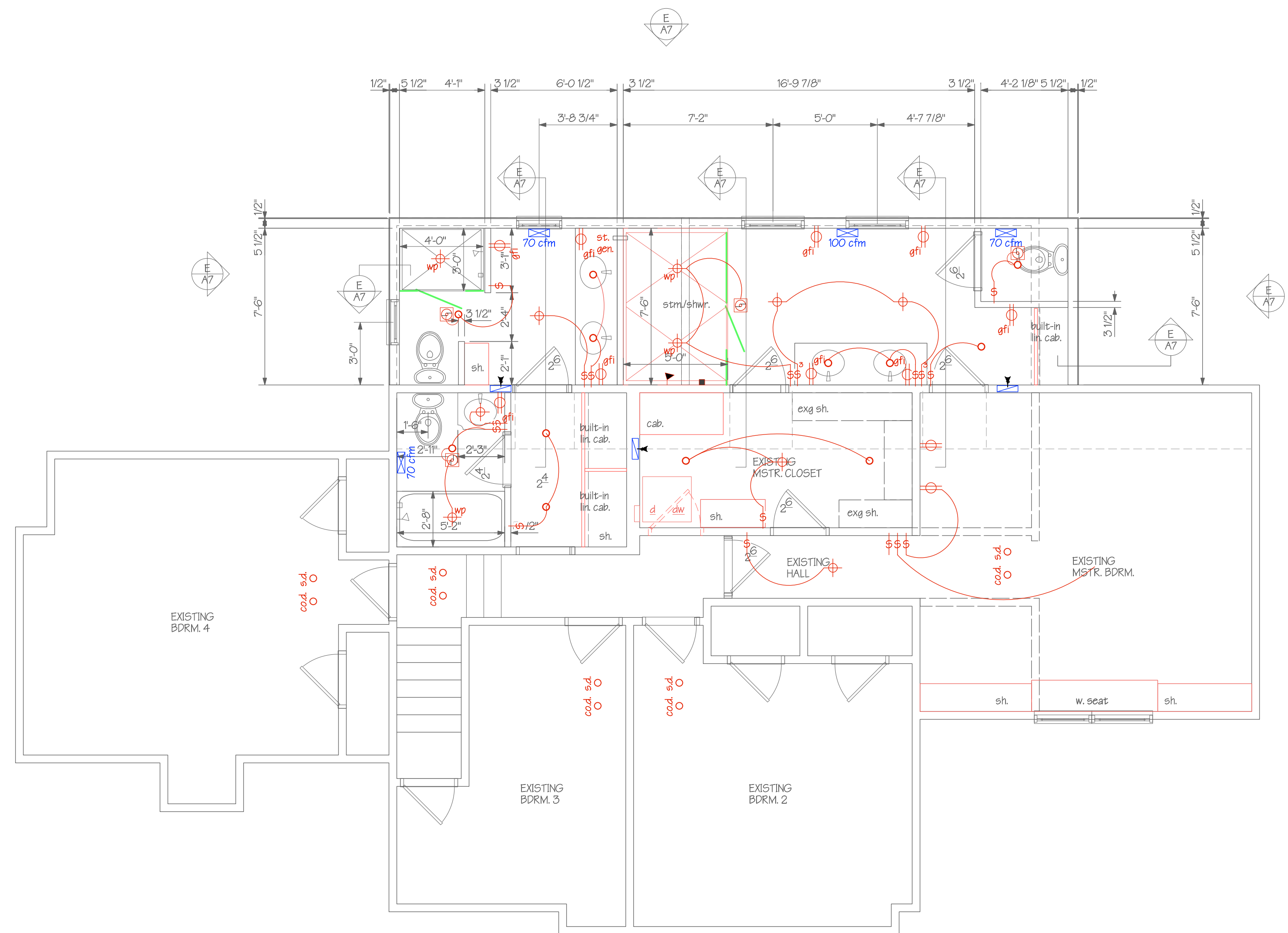
RESIDENCE
REMODEL

SCHEDULE & NOTES

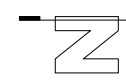
Project number	2025007
Date	03/26/25
Drawn by	RBO
Checked by	RBO

P102

Scale



A SECOND FLOOR PLAN - ELECTRIC LAYOUT
1/4" = 1'-0"



BYRD RESIDENCE REMODELING
2020 WYANDOTTE ROAD
UPPER ARLINGTON, OHIO 43221

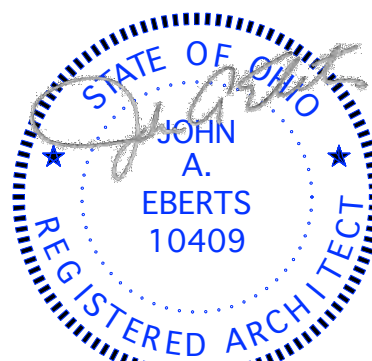
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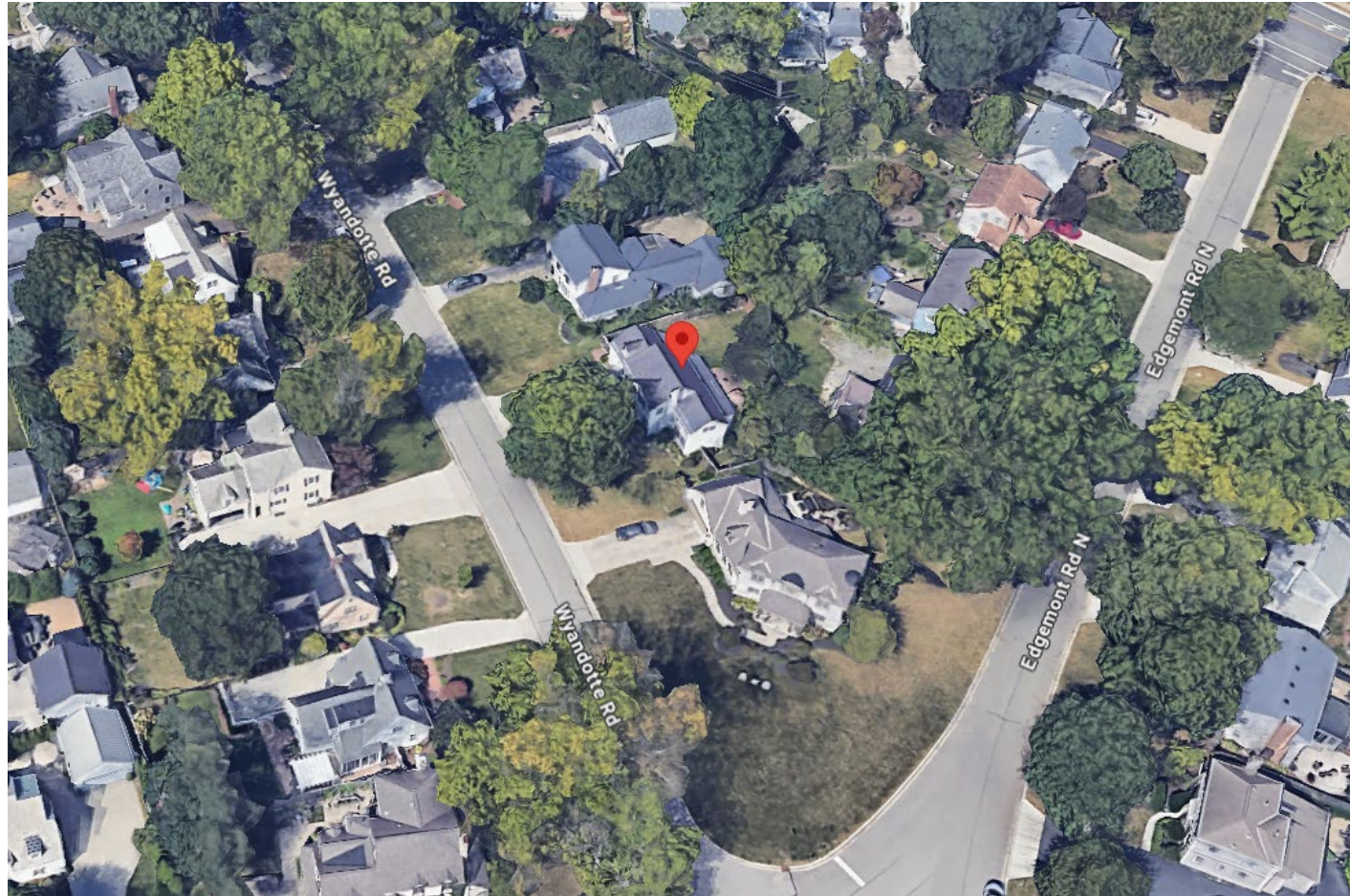
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2020 Wyandotte Road

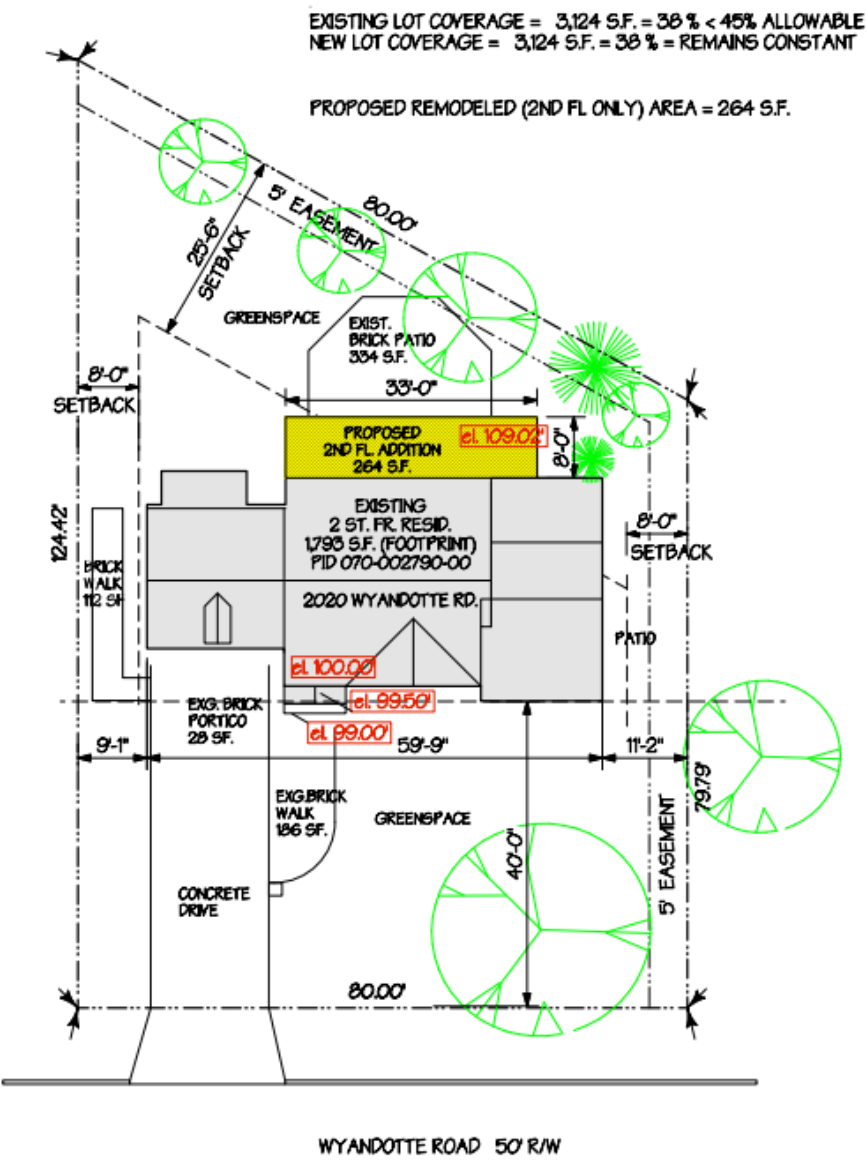
BZAP Staff Report Pictures | Variance Application



Google Maps ® Aerial – Looking North



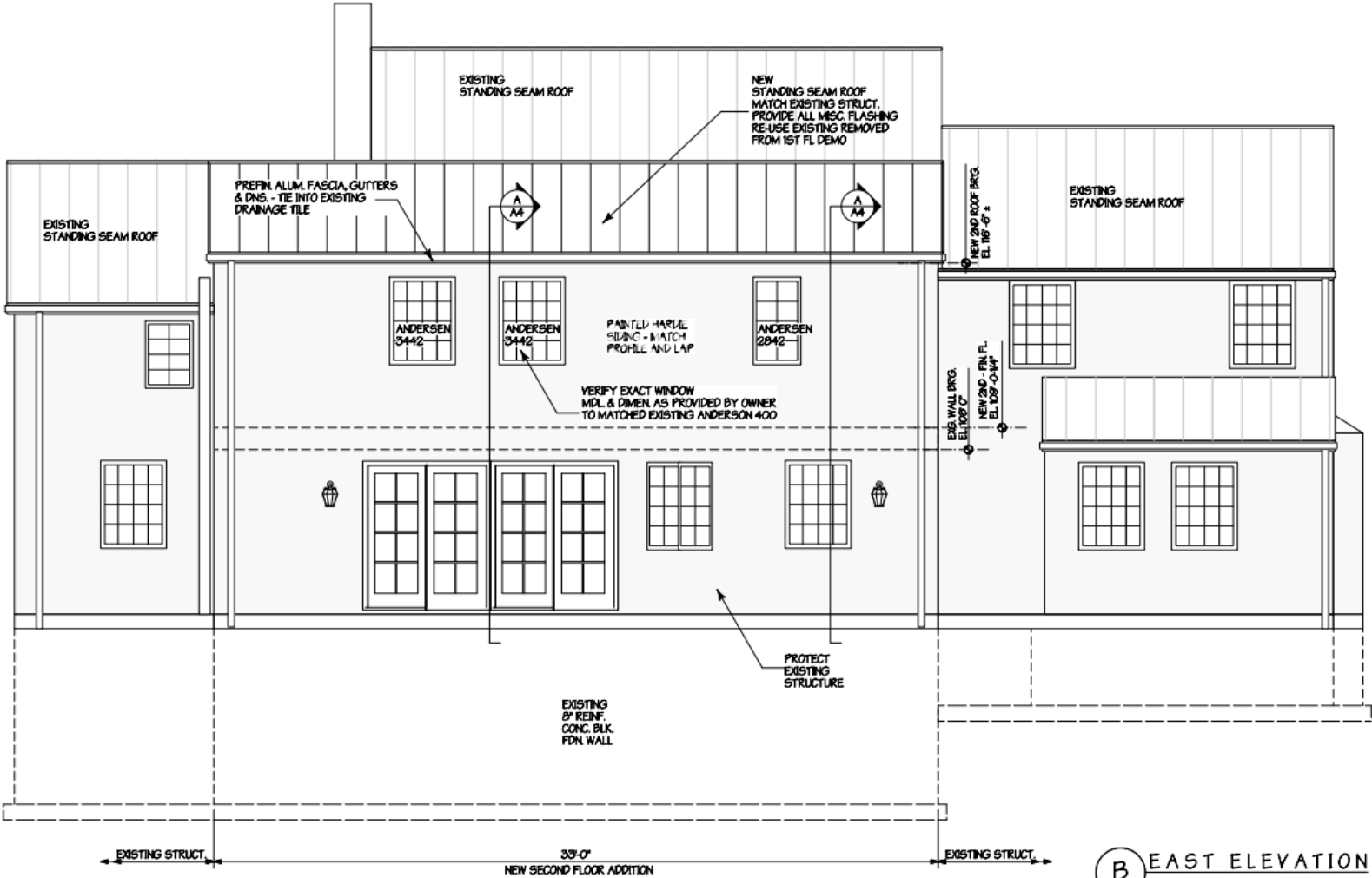
Proposed Site Plan



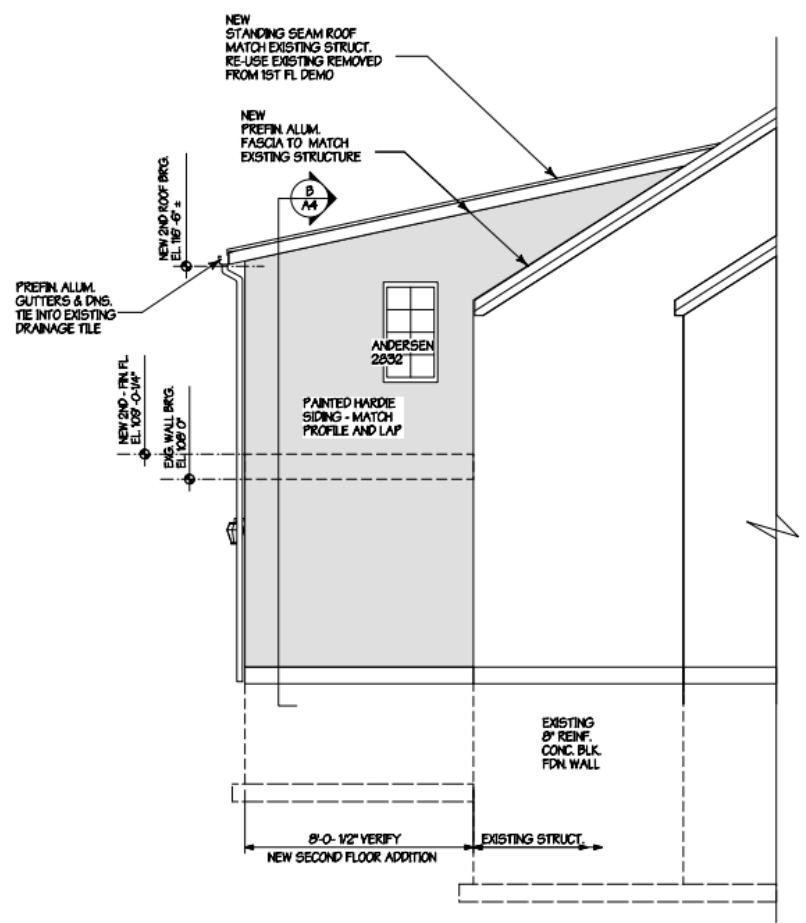
A SITE PLAN
1" = 20'-0"



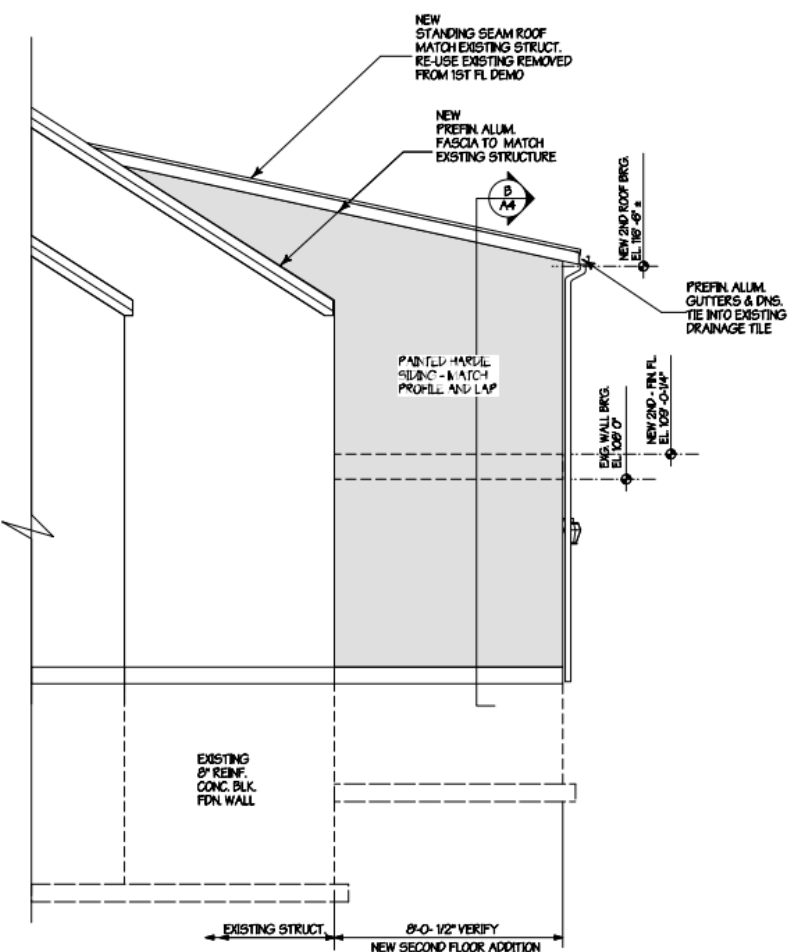
Proposed East Elevation



Proposed Side Elevations

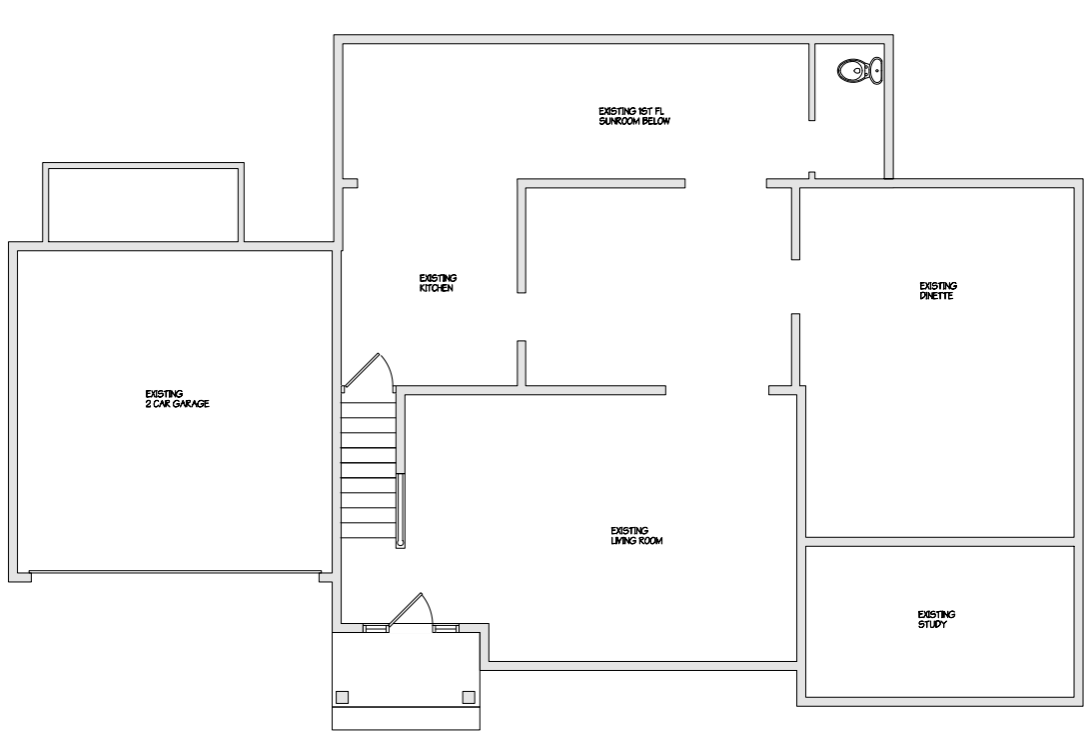


D NORTH ELEVATION
1/4" = 1'-0"

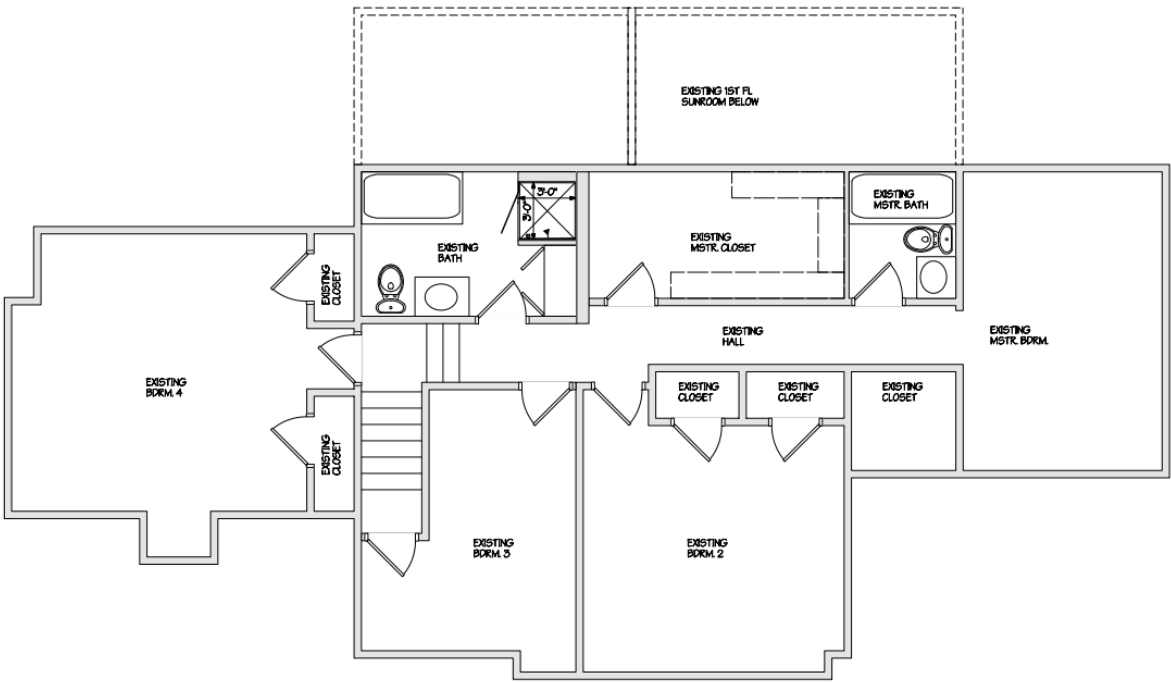


C SOUTH ELEVATION
1/4" = 1'-0"

Existing Floor Plans



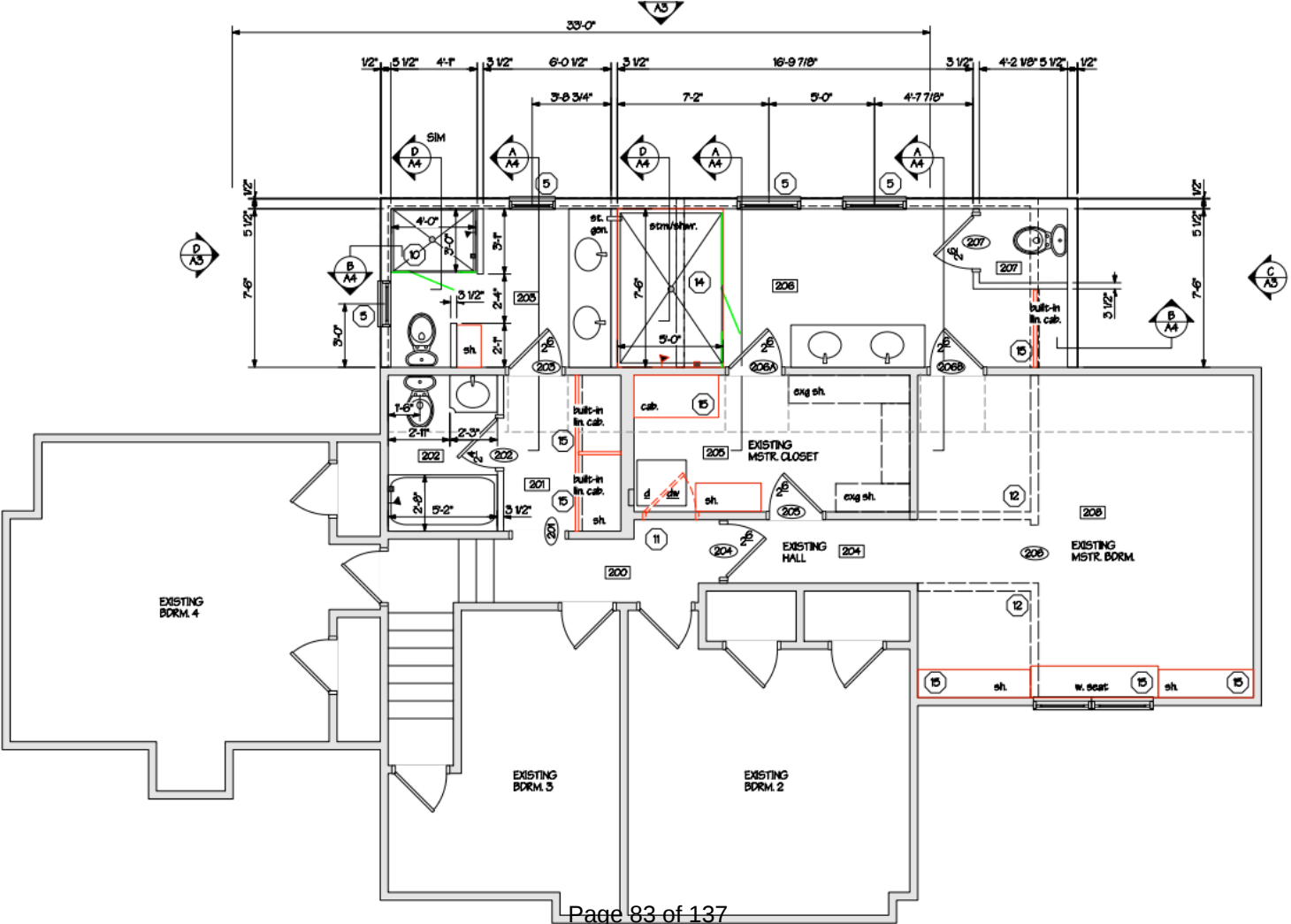
B EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



C EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"



Proposed Second Floor Plan - Remodeled



Existing Site Photos



Authors: Madison Strauss, Intern

BZAP Meeting Date: May 21, 2025

Subject: 2681 Montcalm Road (VAR-19-25) - To allow a one-story addition that encroaches up to two feet into the 12-foot minimum side yard longwall setback and reduces the side yard setback sum from 20 feet to 19'-6".

Site Description/History

The subject property, 2681 Montcalm Road, is located on the west side of the street, midway between Ridgeview Road and Vassar Place. The property is 75 feet wide and 125 feet deep, similar to other surrounding lots. It is identified as Lot #35 in the Monticello Addition subdivision from 1960 and zoned R-1c, One-Family Residence District. There is an irregular-shaped easement near the rear of the property, as well as a five-foot easement along the south property line. The property is developed with a two-story, brick and stucco home that was built in 1963, two feet in front of the platted 40-foot setback line. A driveway on the north side leads to a two-car attached garage and there is an existing 168-square-foot screen porch on the west side (rear) of the house. Mature landscaping with four-foot-tall chain-link fencing encloses the property. It was purchased by the applicant in 1981.

Proposal

The application includes a one-story, 557-square foot addition and patio onto the rear of the home. It includes a master suite, laundry, and bathroom, is 26 feet deep and 21'-4" wide; it has been designed to meet accessibility requirements. The addition is 14'-2" tall, ten feet shorter than the home, and includes a stucco exterior to match the house. The plan meets the side and rear yard setbacks, but encroaches into the side yard longwall due to the proposed 52-foot depth of the residence. Total development and building coverage will remain below the 45 and 29 percent limits.

Zoning Code Requirements

- To allow a one-story addition to encroach up to 5.7 feet into the 13.1-foot side yard longwall setback (Article 5.02); and
- To allow a reduction in the side yard setback sum from 20 feet to 19'-6" (Article 5.02).



Alternatives

The applicant has explored different options to reduce the width of the proposed addition, but all result in narrower rooms that might not meet accessibility requirements. The addition cannot practically be shifted further north due to the desire to retain an existing kitchen window. The existing side elevation has several 'ins-and-outs' already, which could meet the intent of the side yard longwall ordinance, plus existing landscaping and fencing would help screen the proposed addition.

Requested Action and Findings

Staff has reviewed the application and plans and visited the site. While the proposed design compliments the home and has limited impact on adjacent property or views from the street, the proposal may not be the minimum necessary based on similar-type projects/applications reviewed by Staff. Staff believes that the width of the proposed addition could be slightly reduced so that a variance would not be needed, while still keeping it functional. Should the Board choose to support this application, Staff would recommend that Finding #4 (character of the property) be considered.

Attachments

1.	Variance Application - 2681 Montcalm Road
2.	BZAP Staff Report Pics - 2681 Montcalm Road





25-1530

Variance Application

Status: Active

Submitted On: 4/10/2025

Primary Location

2681 MONTCALM RD
UPPER ARLINGTON, OH 43221

Owner

WARING GLENN H
Montcalm Road 2681 Upper Arlington,
Ohio 43221

Applicant

 Brenda Parker
 614-586-5514
 brenda.parker@cbusarch.com
 930 Northwest Blvd
Columbus, Ohio 43212

BZAP Information

BZAP Case

VAR-19-25

Status

Pending

BZAP Determination Date

05/21/2025

Vote Tally

Primary Variance

Side Yard Longwall

Findings of Fact for Approval/Denial

Variance Request

To allow a one-story addition that encroaches up to two feet into the 12-foot minimum side yard longwall setback and reduces the side yard setback sum from 20 feet to 19'-6".

BZAP conditions

Variance Information

Describe Variance Request

Request variance to reduce the south long wall setback from 12'-0" to 10'-0".

Request variance to reduce the side yard sum from 20'-0" to 19'-5".

The property at 2681 Montcalm Road consists of a single-family, two-story house with attached garage built in the 1960 era.

The owners (Glenn & Vivian) have owned and lived in the house for 44 years. As they increase in age, their children (who both live out of state) are concerned that the house does not accommodate aging in place. All the bedrooms and bathrooms (except for a powder room) are located on the second floor. Glenn & Vivian have investigated retirement facilities, but have chosen to explore the opportunities of increasing accessibility at the house by constructing an addition that would accommodate both a primary suite and laundry. The spaces at the new addition are all being designed to comply with the ADA so they can truly age in place even if walkers and wheelchairs become necessary. The addition is proposed to be at the south side of the property with access from the dining room. This location is primarily to avoid the single step down into the family room at the north side of the house.

The existing lot width is 75'. This is right on the edge of the difference between a 10' side yard setback requirement and an 8' side yard setback requirement. If the property was 6" narrower variances would not be required (or at least would be minimal).

The existing house encroaches into the north side yard setback at 9'-5" from the property line.

At the south side of the property, the house is set back from the existing property line 15'-3". This gives space to work with at the south side. The owners do not want the addition to block the existing kitchen window. So the addition is set just shy of the kitchen window. Once the required 5' laundry dimension, hall dimension for 3' door, 5' shower and 5' toilet clearance are allocated, the addition width needs to be 21'-4". This places the south wall 10' from the property line. This complies with the side yard setback but it encroaches into the long wall setback. The overall depth is 52' which requires a 12' long wall setback. We are asking to reduce the long wall setback from 12' to 10'. This is one of those situations where there is an offset between the original house and the addition, it is just reverse of the zoning code where the original house is set in, and the addition is pulled out.

Since the existing house at the north side encroaches into the side yard setback, the side yard sum is affected as well. We are asking to reduce the side yard sum from 20' to 19'-5".

What practical difficulty, special conditions and/or circumstances exist that are peculiar to the land or structure involved and which are not generally applicable to other lands or structures in the same zoning districts?

The practical difficulties related to this property and the zoning variance request are primarily due to the location of the north wall of the existing attached garage & family room. If this original wall was located 10' from the property line, the side yard sum variance would not be required. The other practical difficulty is the cut off line of the 8' side yard in lots less than 75' and the 10' side yard with lots equal to 75'.

Will granting the variance confer a special privilege that is denied by this regulation to other lands, structures, or buildings in the same district?

Side yard setbacks in this part of Upper Arlington seem to be fairly prevalent, so granting the side yard variances will not confer a special privilege. The intent of the long wall on the south side is achieved with the original house wall & the addition wall being offset, it is just opposite of the zoning code requirement. The existing north wall being non-compliant is the other challenge.

Will the essential character of the neighborhood area be substantially altered or will adjoining properties suffer substantial detriment as a result of the variance?

The essential character of the neighborhood will not be substantially altered. The addition is only a single story. The roof of the additions start low along the property lines and slope up toward the middle of the property. This allows the additions to be as subtle as possible and the massing will not loom large over the neighbors yards.

Have all reasonable alternatives been investigated or exhausted to find that this variance request is the minimum necessary to make reasonable use of land and structures?

An array of other solutions were explored to avoid the variance request. It is a challenge to integrate a fully accessible bathroom into a residential footprint due to all the required clearances. This plan scheme was the most graceful that we could come up that met all the requirements for the owners to age in place.

Can this property yield a reasonable return or can there be any beneficial use of the property without the variance?

The use of the property without the variances will be deemed inadequate in regards to allowing the owners to age in place. If the variances are not approved, they would probably have to sell this property and find an alternative solution.

Acknowledgement: I or a representative will be present at the 
BZAP hearing.*



NOTICE:

Date: April 10, 2025

To:

Please be advised that Glenn Waring & Vivian Fiscus have applied to the City of Upper Arlington Board of Zoning & Planning requesting a zoning variance for the property at 2681 Montcalm Road, Upper Arlington, Ohio 43221.

The zoning variance requests are as follows:

Request variance to reduce the south long wall setback from 12'-0" to 10'-0".

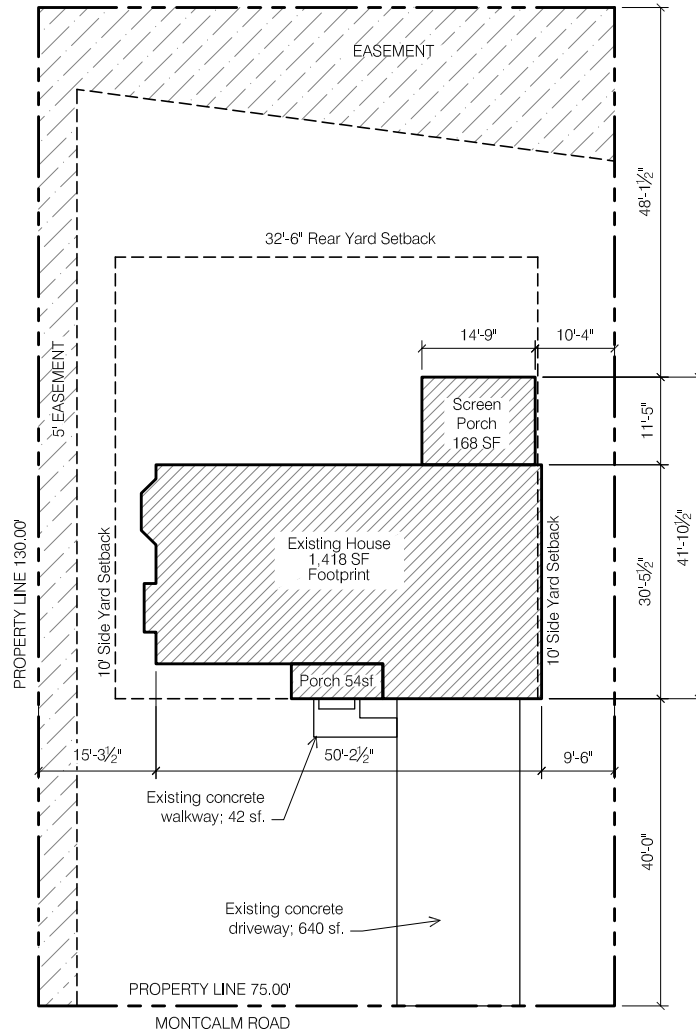
Request variance to reduce the side yard sum from 20'-0" to 19'-5".

The Upper Arlington Board of Zoning will hear this application at 6pm on Wednesday, May 21, 2025 at the Upper Arlington Municipal Services Center, 3600 Tremont Road, Upper Arlington, Ohio 43221. Meeting location details and additional instructions will be provided on the Agenda, which is posted on the City's website at docs.uaoh.net/AgendaOnline. For further information, please contact the Planning Division at planning@uaoh.net.

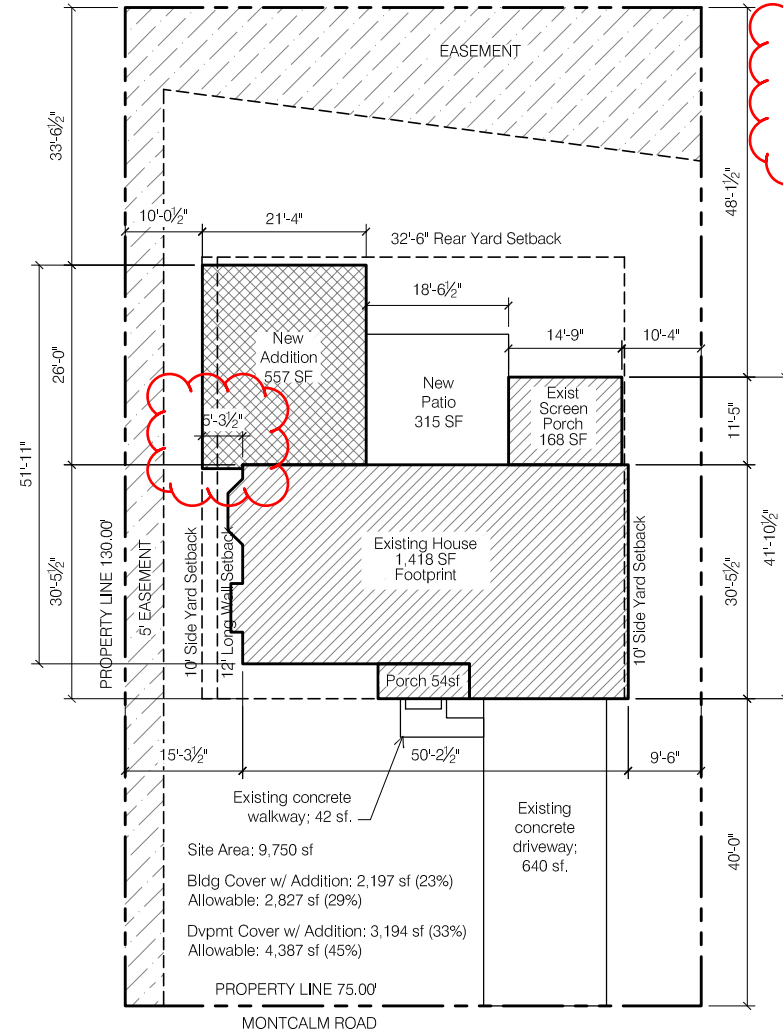
Sincerely,

A handwritten signature in black ink, appearing to read "B. Parker", with a stylized flourish at the end.

Brenda Parker (Architect)
On behalf of Glenn Waring & Vivian Fiscus



SITE PLAN - EXISTING



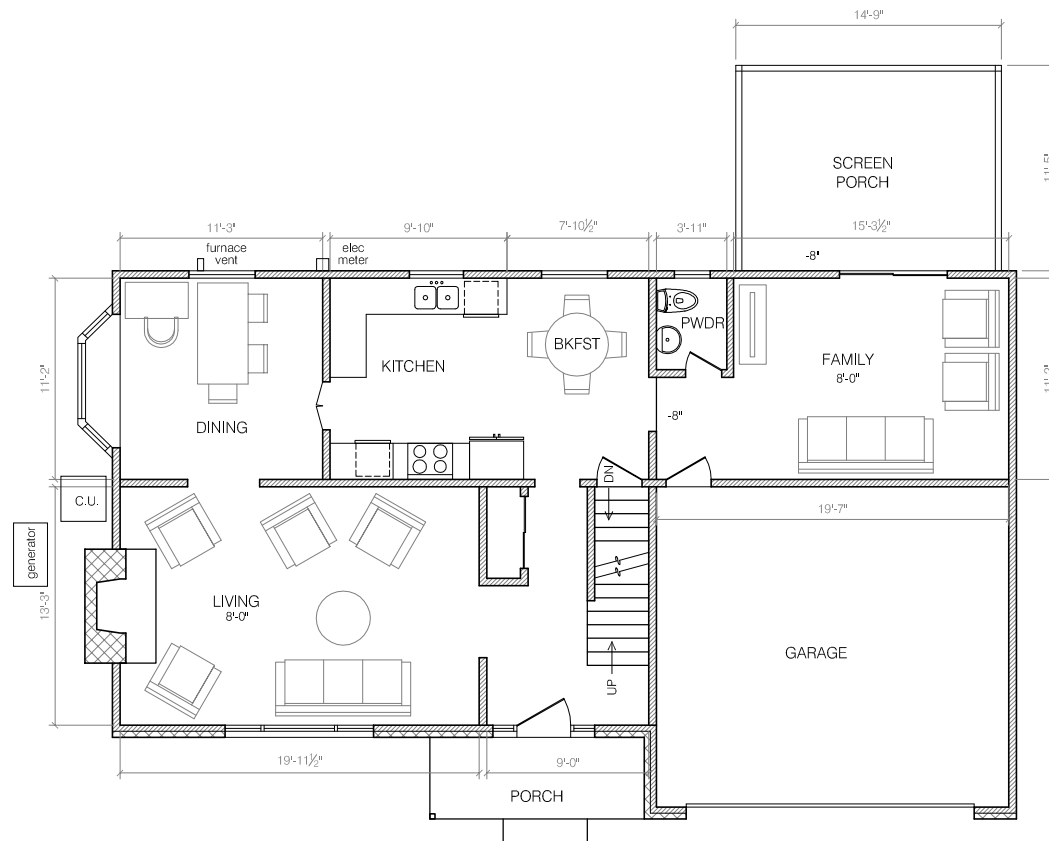
SITE PLAN - W ADDITIONS

- Variances:
1. Reduce south long wall from 12'-0" to 10'-0".
 2. Reduce side yard sum from 20' to 19'-6".

SITE PLANS Scale: Not to Scale

2681 Montcalm Road

April 7, 2025



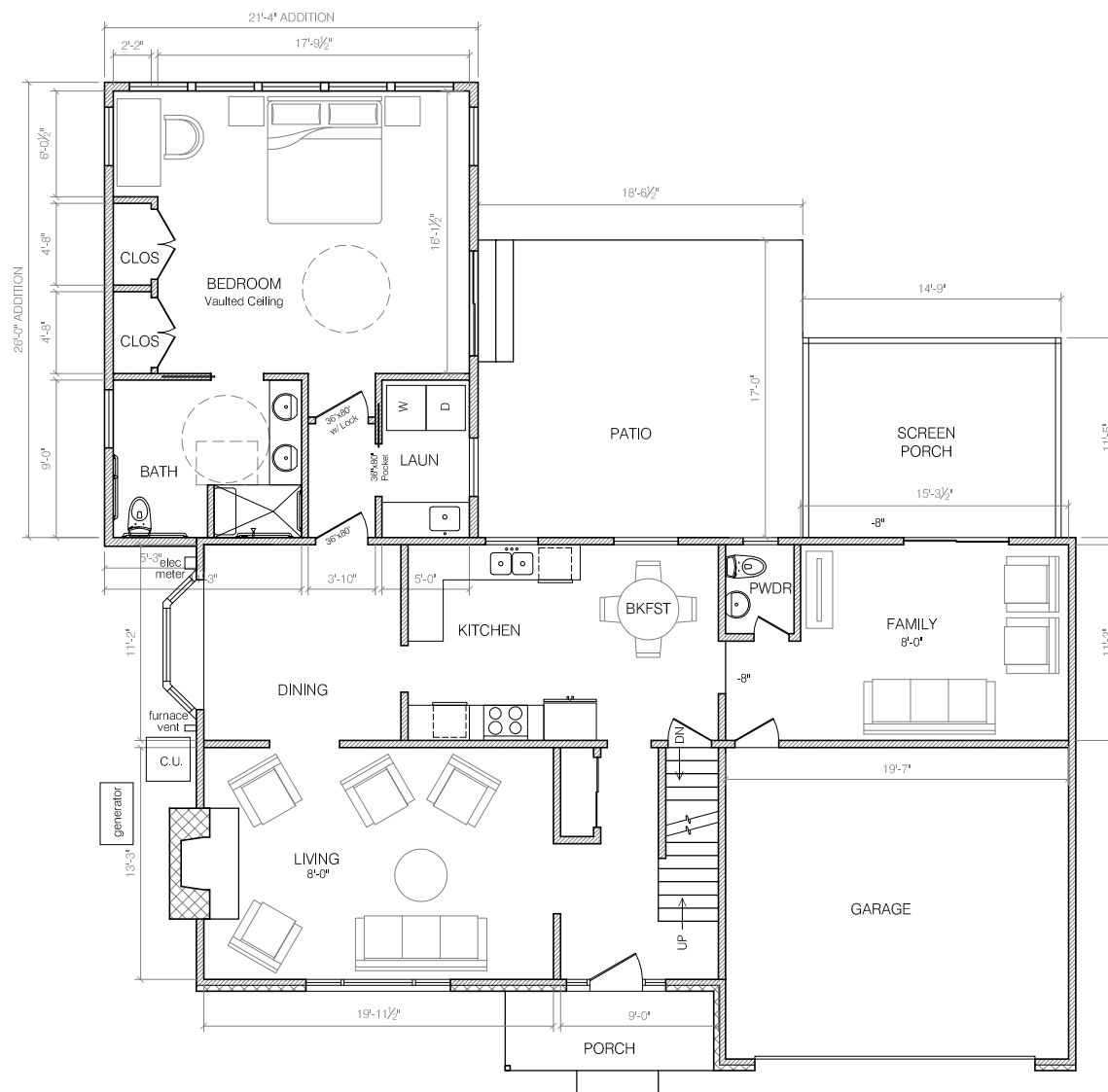
FIRST FLOOR - EXISTING

FIRST FLOOR PLAN - EXISTING

Scale: 3/32"=1'-0"

2681 Montcalm Road

April 7, 2025



FIRST FLOOR PLAN - PROPOSED

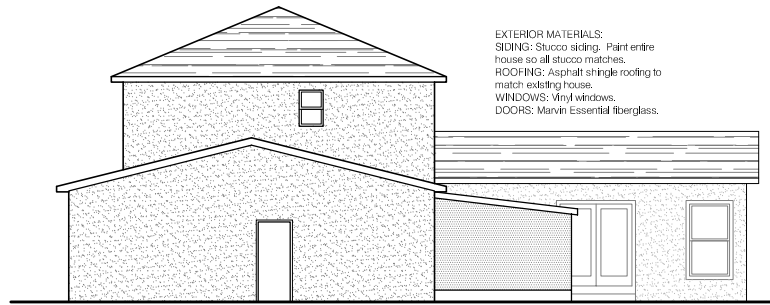
Scale: $3/32" = 1'-0"$

2681 Montcalm Road

April 7, 2025



EAST ELEVATION

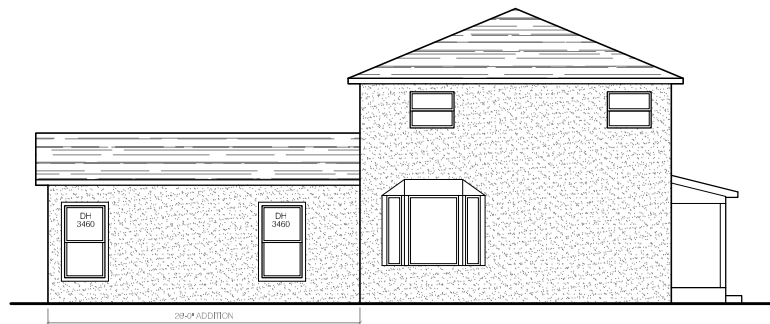


NORTH ELEVATION

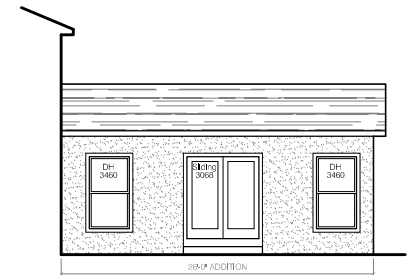
EXTERIOR MATERIALS:
SIDING: Stucco siding. Paint entire house so all stucco matches.
ROOFING: Asphalt shingle roofing to match existing house.
WINDOWS: Vinyl windows.
DOORS: Marvin Essential fiberglass.



WEST ELEVATION



SOUTH ELEVATION



ADDITION - NORTH

EXTERIOR ELEVATIONS

Scale: 3/32" = 1'-0"

2681 Montcalm Road

April 7, 2025

Revised: Jan 2021

Certification of Notice

Applicant Name: _____

Location of property subject to BZAP request: _____

Describe activity which requires Board of Zoning and Planning review:

This application will be heard by the Board of Zoning and Planning on: _____

Board of Zoning and Planning (BZAP) meetings begin at 6 PM on Wednesdays and are held at the Upper Arlington Municipal Services Center, 3600 Tremont Road, Upper Arlington, Ohio, 43221. Due to the ongoing COVID-19 pandemic, meetings MAY be held remotely via video conference and telephone call-in. Meeting location details and additional instructions will be provided on the Agenda, which is posted on the City's website at docs.uaoh.net/AgendaOnline. For further information, please contact the Planning Division at planning@uaoh.net.

*Your signature below **DOES NOT** constitute approval or disapproval of the request. Your signature only represents that you have been properly notified of the request. You are encouraged to attend any and all meetings regarding this matter.*

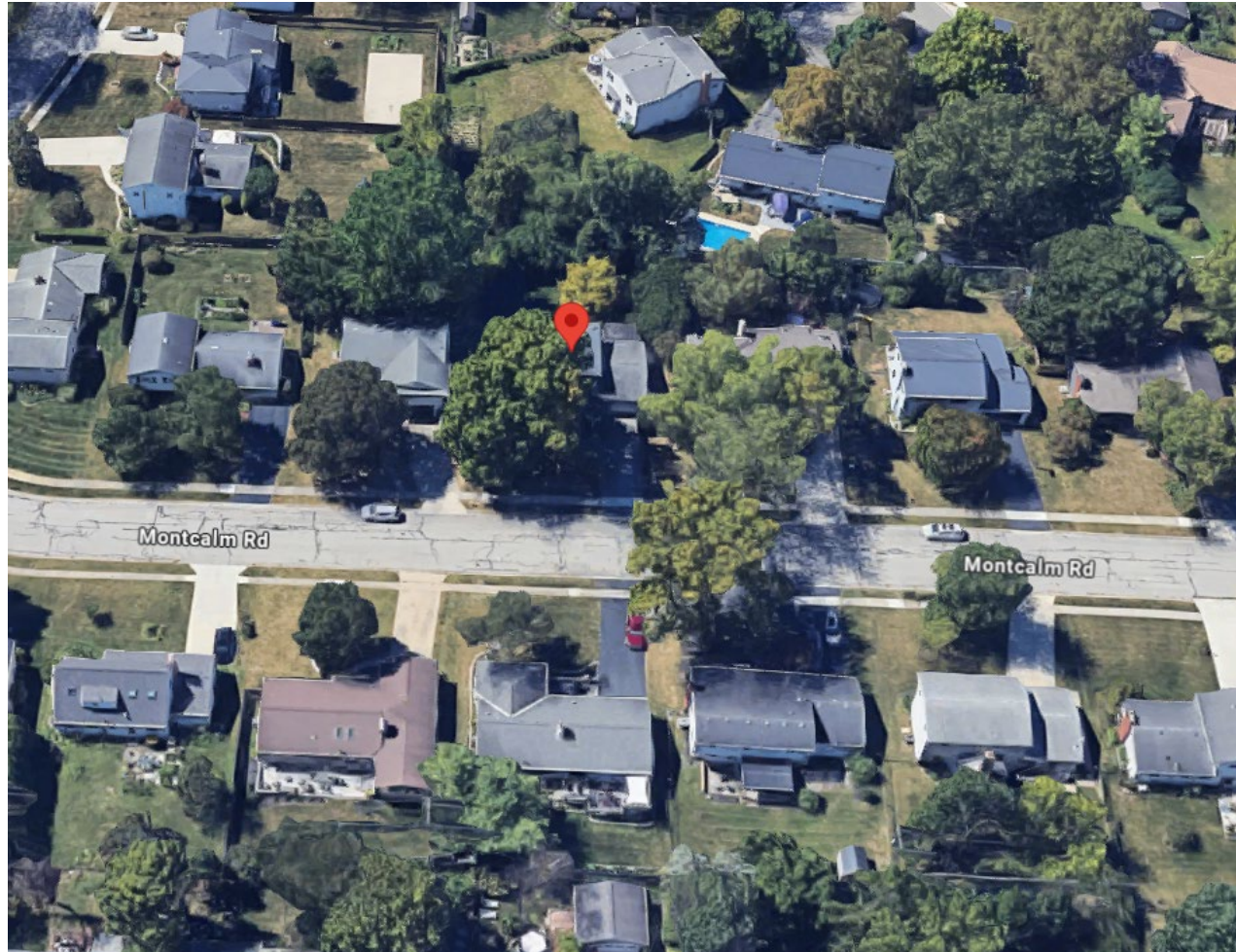
Address of Property to be notified:	Property Owner Name:	Property Owner Signature or Certified Mail No.:	Date obtained or Mail sent:
Applicant Signature:			Date:

2681 Montcalm Road

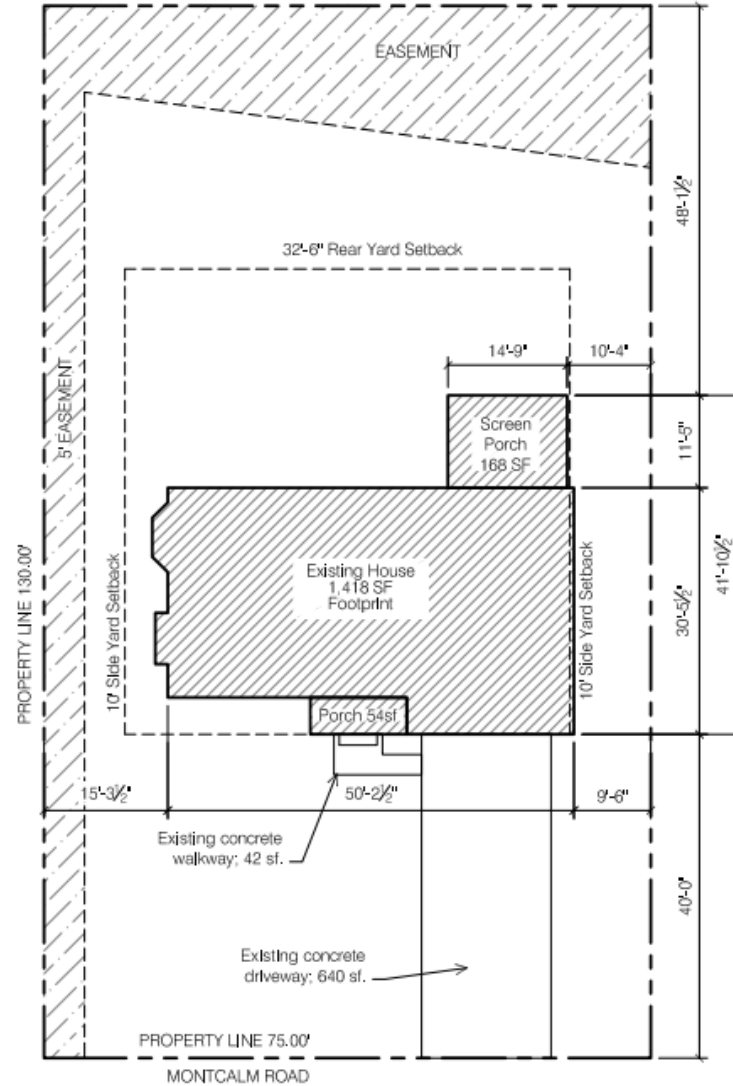
BZAP Staff Report Pictures | Variance Application



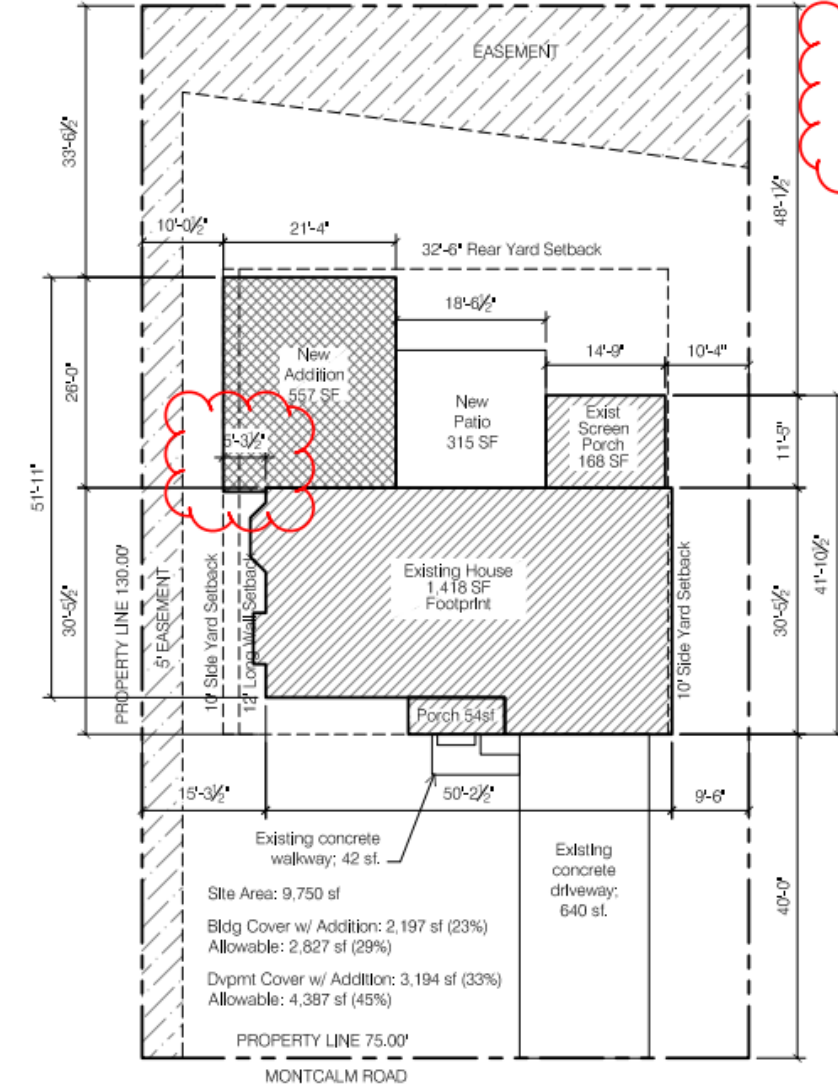
Google Maps ® Aerial – Looking West



Existing & Proposed Site Plans



SITE PLAN - EXISTING Page 99 of 137



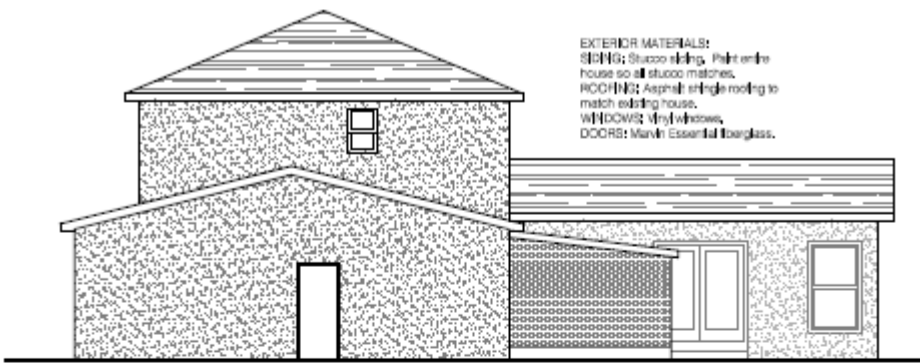
- Variances:
1. Reduce south long wall from 12'-0" to 10'-0".
 2. Reduce side yard sum from 20' to 19'-6".

SITE PLAN - W ADDITIONS

Proposed Elevations

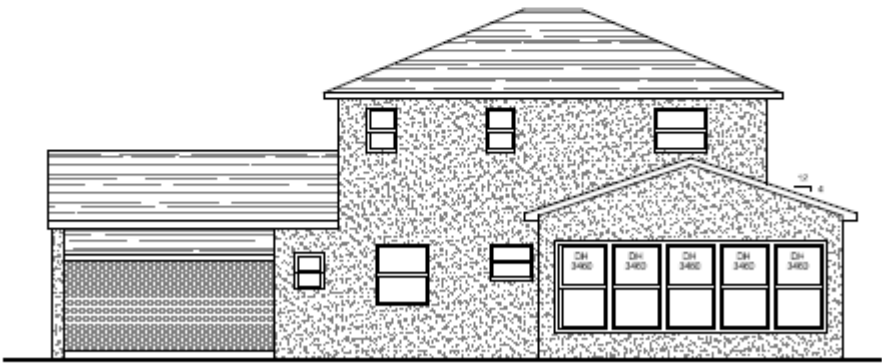


EAST ELEVATION

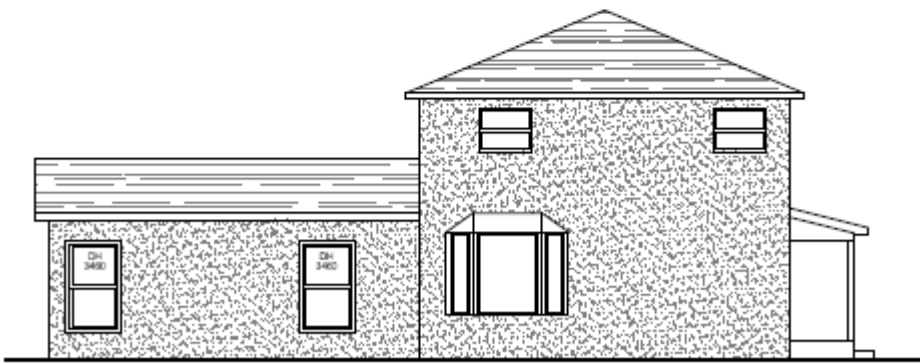


EXTERIOR MATERIALS:
Siding: Stucco siding. Paint entire house so all stucco matches.
Roofing: Asphalt shingle roofing to match existing house.
Windows: Vinyl windows.
Doors: Marvin Essential fiberglass.

NORTH ELEVATION



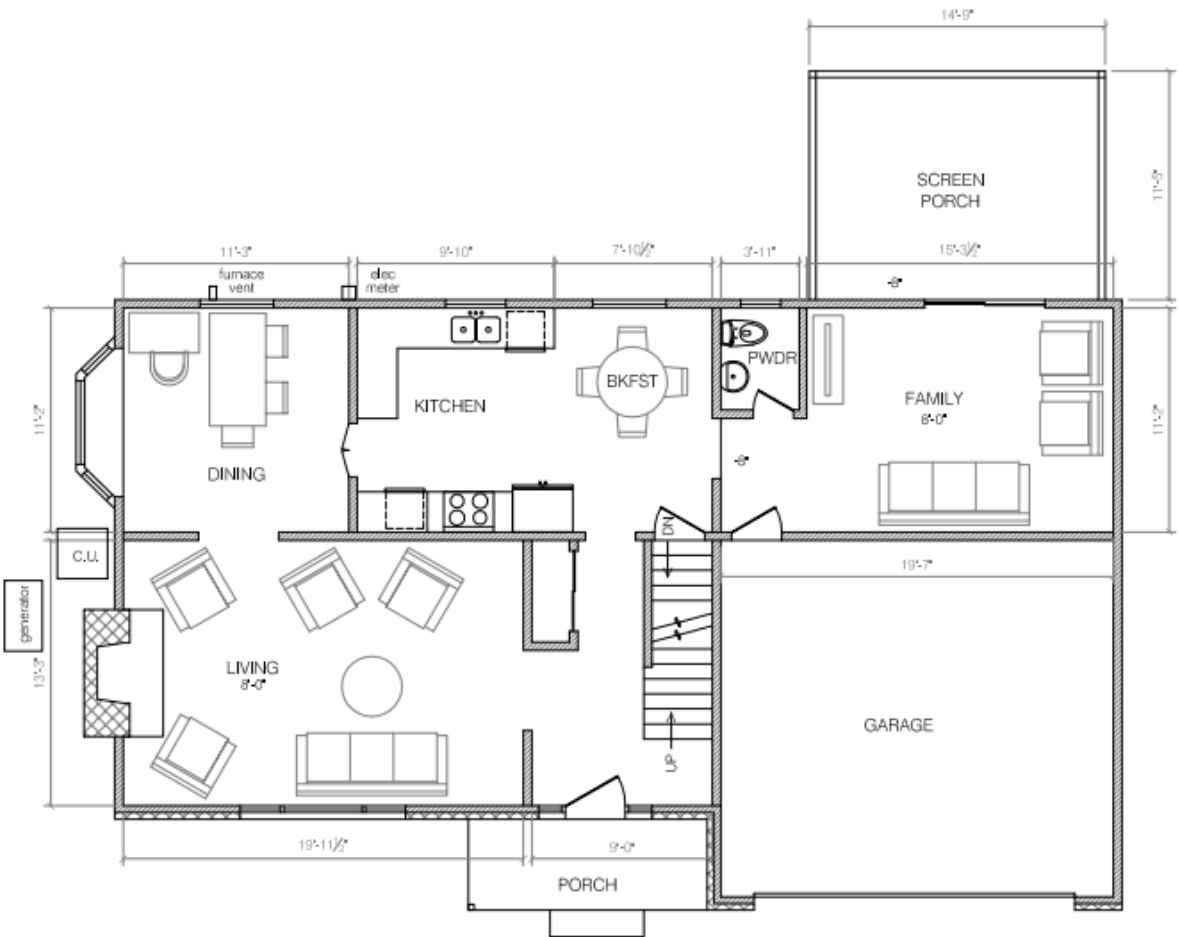
WEST ELEVATION



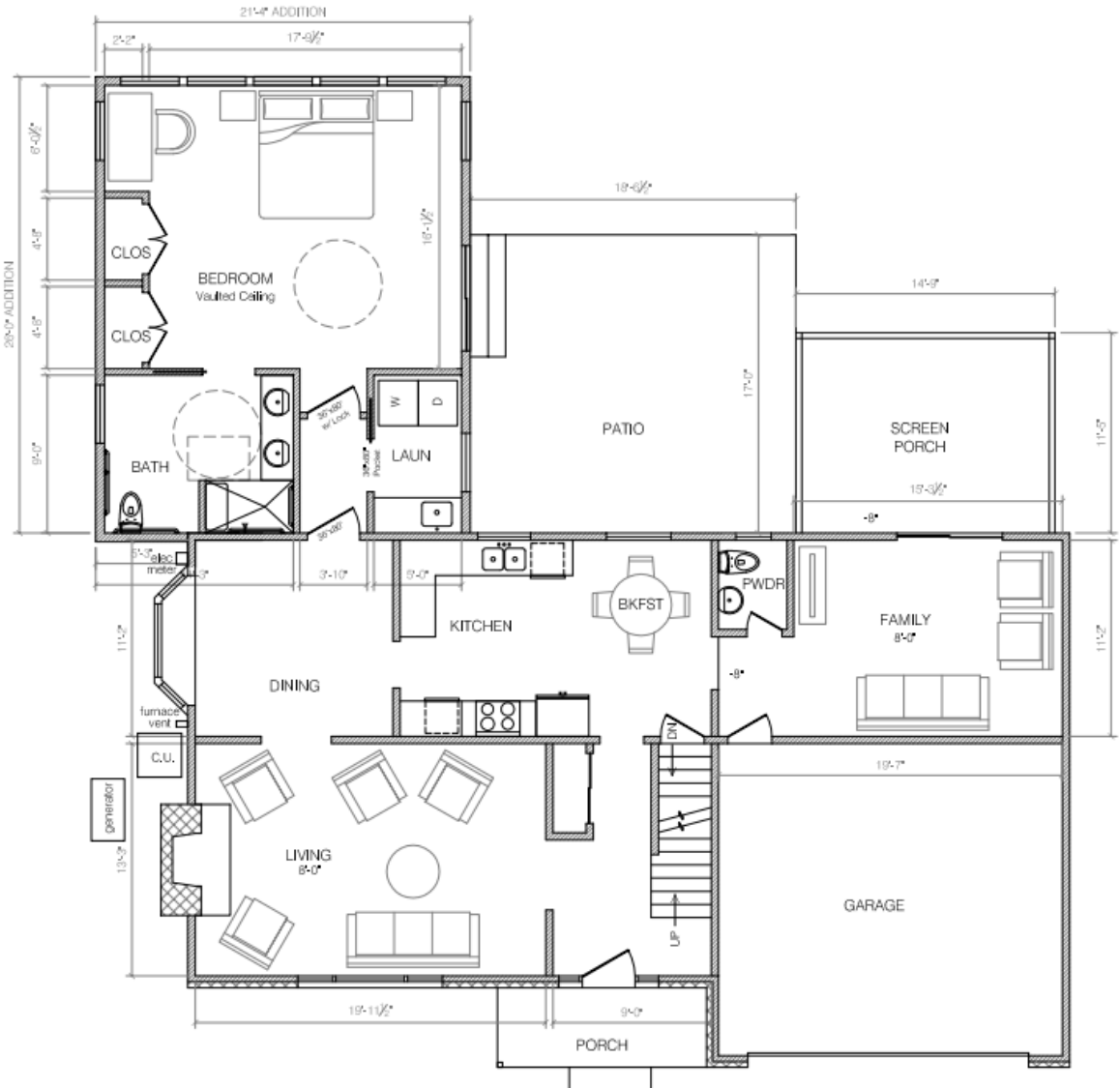
SOUTH ELEVATION



Existing & Proposed First Floor Plans



FIRST FLOOR - EXISTING



FIRST FLOOR - PROPOSED

Existing Front and Side Elevation



Authors: Madison Strauss, Intern

BZAP Meeting Date: May 21, 2025

Subject: 2017 Hythe Road (VAR-20-25) - To allow a one-story addition that encroaches 2'-11" into 12-foot minimum side yard setback, 4'-9" into the 13'-10" side yard longwall and decreases the side yard setback sum from 26 feet to 22'-11".

Site Description/History

The subject property, 2017 Hythe Road, is located on the south side of the street at the terminus of Pevensey Drive. The property is 90 feet wide and 135 feet deep, similar to others in the neighborhood. It is identified as Lot #61 in the Hastings Place subdivision from 1962 and zoned R-1b, One-Family Residence District. A two-story, brick and siding home sits along the platted 40-foot building setback line and was built in 1965. A driveway on the west side leads to a two-car attached garage. An existing side porch that was original to the home and located in the side yard was converted into an office in 1986. Four-foot-tall wood fencing encloses the sides of the property and a six-foot tall vinyl fences runs along the rear. The property was purchased by the applicant in July 2020.

Proposal

This application includes a request for a one-story, 24' x 20' (480 square feet) family room addition located at the southeast corner of the home, which encroaches into the side yard and side yard longwall setbacks; it is compliant with the rear yard setback. The addition is 14'-9" tall, seven feet shorter than the residence, and includes vertical siding to compliment the home. Windows are shown on all elevations, with a fireplace on the rear elevation and a slider door on the west. It "steps out" toward the east property line, 3'-6" from the home, creating a total encroachment of 58.3 square feet into the side yard. A mudroom and storage addition with a covered porch and patio are also proposed behind the garage; all building, development and front yard coverage ratios are compliant.

Zoning Code Requirements

- To allow a one-story addition to encroach up to 2'-11" into the 12-foot minimum side yard setback (Article 5.02);
- To allow a one-story addition to encroach up to 4'-9" feet into the 13.10-foot side yard longwall setback (Article 5.02); and
- To allow a reduction in the side yard setback sum from 26 feet to 22'-11" (Article 5.02).

Alternatives

The applicant has explored other alternatives, but the plan is largely driven by the location of an existing kitchen window and the desired width of a family room.

Requested Action and Findings

Staff has reviewed the application and plans, and visited the site. The proposed plan compliments the existing home, but encroaches both the minimum side yard and side yard longwall setbacks. It is somewhat rare for an addition to get closer to the side yard, beyond the footprint of the existing home. Due to existing fencing and landscaping, the encroachment is somewhat mitigated, but following Staff's analysis, is still too substantive to support. The width of the addition could be reduced to lessen the requested variances while still maintaining functionality. Should the Board choose to provide a motion on this application, Staff would recommend that Finding #4 (essential character) be considered.

Attachments

1.	Variance Application - 2017 Hythe Road
2.	BZAP Staff Report Pics - 2017 Hythe Road



25-1532

Variance Application

Status: Active

Submitted On: 4/10/2025

Primary Location

2017 HYTHE RD
UPPER ARLINGTON, OH 43220

Owner

Zach & Katie Becker
Hythe Road 2017 Upper Arlington, OH
43220

Applicant

 Brenda Parker
 614-586-5514
 brenda.parker@cbusarch.com
 930 Northwest Blvd
Columbus, Ohio 43212

BZAP Information

BZAP Case

VAR-20-25

Status

Pending

BZAP Determination Date

05/21/2025

Vote Tally

Primary Variance

Side Yard

Findings of Fact for Approval/Denial

Variance Request

To allow a one-story addition that encroaches 2'-11" into 12-foot side yard, 4'-9" into the 13'-10" side yard
longwall

and decreases the side yard setback sum from 26 feet to 22'-11"

BZAP conditions

Variance Information

Describe Variance Request ?

Request variance to reduce the side yard setback from 12'-0" to 9'-1".

Request variance to reduce the long wall setback from 13'-10" to 9'-1".

Request variance to reduce the side yard sum from 26'-0" to 22'-11".

The property at 2017 Hythe Road consists of a single-family, two-story house with attached garage built in the 1960 era.

The owners (Zach & Katie) have lived in the house since 2020. As their family increases in size, they have run into some pain points with the house. The first pain point is the lack of a mudroom. This is easily solved with an addition at the back of the garage. This addition is zoning compliant.

The second pain point is the lack of a large family gathering area. The existing living room is open plan but has limited options for furniture and there are pinch points with the kitchen. To obtain the desired gathering space, a new family room addition is proposed at the rear of the house at the east side. The owners do not want the addition to block the existing kitchen window so the addition starts just short of the kitchen window and expands to the east. In order to get the desired 20' width, the east wall ends up being 9'-1" from the property line. The required side yard setback is 12'. This also impacts the long wall setback. The total depth of the existing house plus addition is 50'-9" which requires a long wall setback of 13'-10". This is one of those situations where there is an offset between the original house and the addition, it is just reverse of the zoning code where the original house is set in, and the addition is pulled out. The addition also impacts the side yard sum which is required to be 26' but will only be 22'-11" with the addition.

What practical difficulty, special conditions and/or circumstances exist that are peculiar to the land or structure involved and which are not generally applicable to other lands or structures in the same zoning districts?

The practical difficulties related to this property and the zoning variance request are due to the limited space between the kitchen window and the side yard setback. We looked at a lot of different variations and sizes, and the one that felt like the right fit was the 20' width and 24' depth.

Will granting the variance confer a special privilege that is denied by this regulation to other lands, structures, or buildings in the same district?

Side yard setbacks in this part of Upper Arlington seem to be fairly prevalent, so granting the side yard variances will not confer a special privilege. The intent of the long wall on the east side is achieved with the original house wall & the addition wall being offset, it is just opposite of the zoning code requirement.

Will the essential character of the neighborhood area be substantially altered or will adjoining properties suffer substantial detriment as a result of the variance?

The essential character of the neighborhood will not be substantially altered. The addition is only a single story. The roof of the additions start low along the property lines and slope up toward the middle of the property. This allows the additions to be as subtle as possible and the massing will not loom large over the neighbors yards.

Have all reasonable alternatives been investigated or exhausted to find that this variance request is the minimum necessary to make reasonable use of land and structures?

An array of other solutions were explored to avoid the variance request. We looked at a lot of different variations and sizes, and the one that felt like the right fit was the 20' width and 24' depth.

Can this property yield a reasonable return or can there be any beneficial use of the property without the variance?

The use of the property without the variances will be deemed inadequate in regards to allowing the owners to have a great room to fit their family. If the variances are not approved, they would probably have to sell this property and find an alternative solution.

Acknowledgement: I or a representative will be present at the  BZAP hearing.*



NOTICE:

Date: April 10, 2025

To:

Please be advised that Zach & Katie Becker have applied to the City of Upper Arlington Board of Zoning & Planning requesting a zoning variance for the property at 2017 Hythe Road, Upper Arlington, Ohio 43220.

The zoning variance requests are as follows:

Request variance to reduce the side yard setback from 12'-0" to 9'-1".

Request variance to reduce the long wall setback from 13'-10" to 9'-1".

Request variance to reduce the side yard sum from 26'-0" to 22'-11".

The Upper Arlington Board of Zoning will hear this application at 6pm on Wednesday, May 21, 2025 at the Upper Arlington Municipal Services Center, 3600 Tremont Road, Upper Arlington, Ohio 43221.

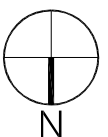
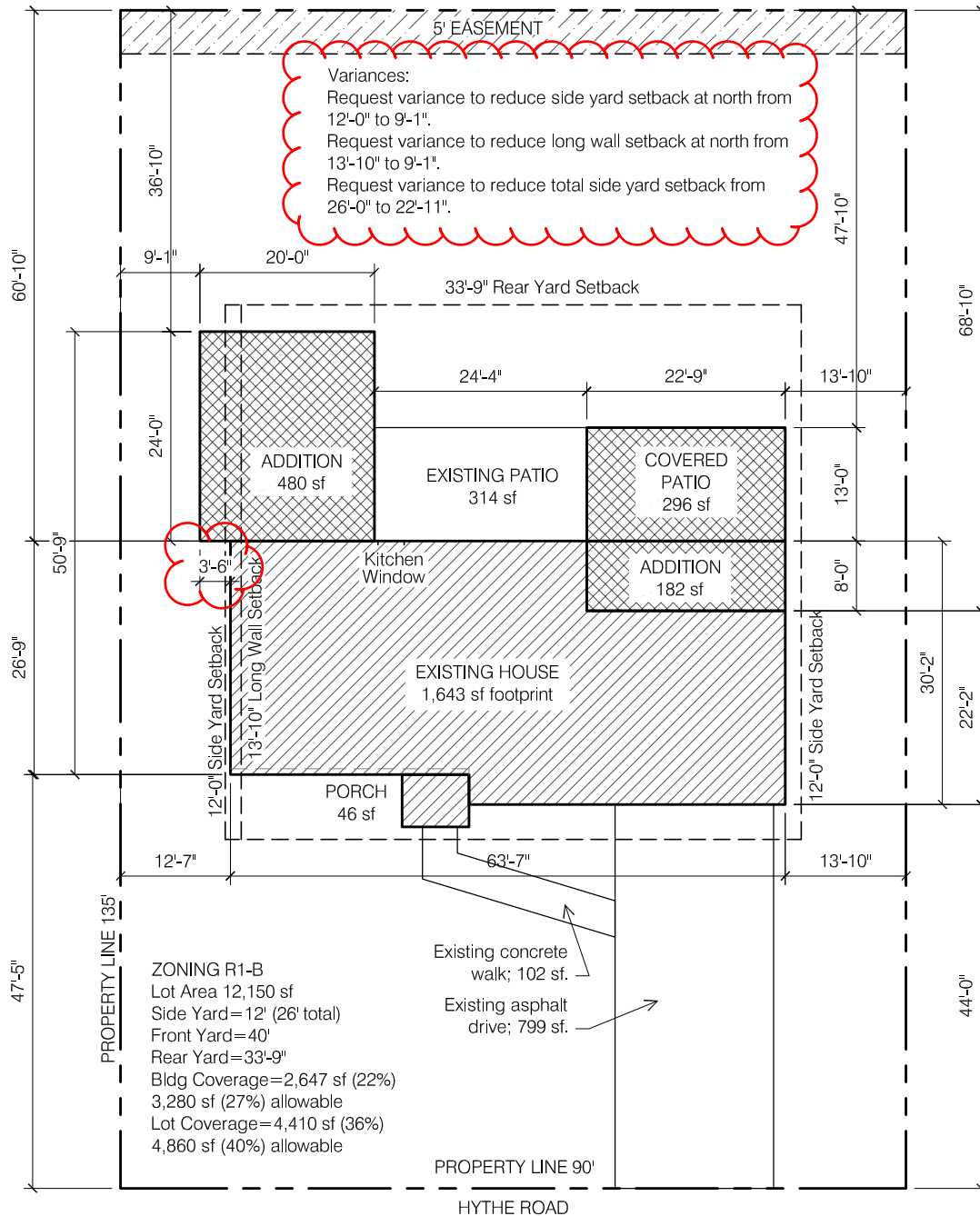
Meeting location details and additional instructions will be provided on the Agenda, which is posted on the City's website at docs.uaoh.net/AgendaOnline. For further information, please contact the Planning Division at planning@uaoh.net.

Sincerely,

A handwritten signature in black ink, appearing to read "B. Parker", with a stylized flourish at the end.

Brenda Parker (Architect)

On behalf of Zach & Katie Becker

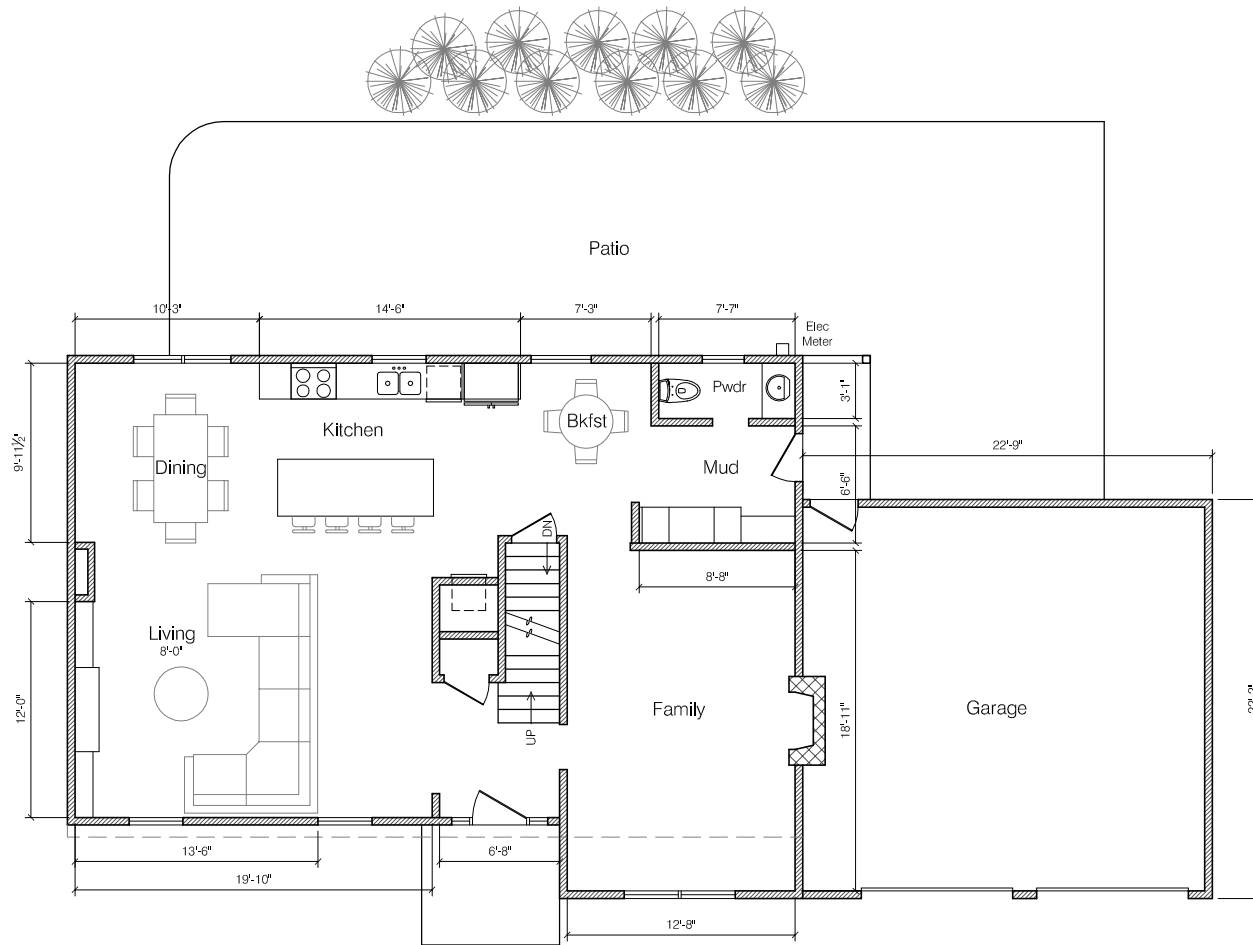


SITE PLAN

Scale: 1" = 20'

2017 Hythe Road

April 9, 2025

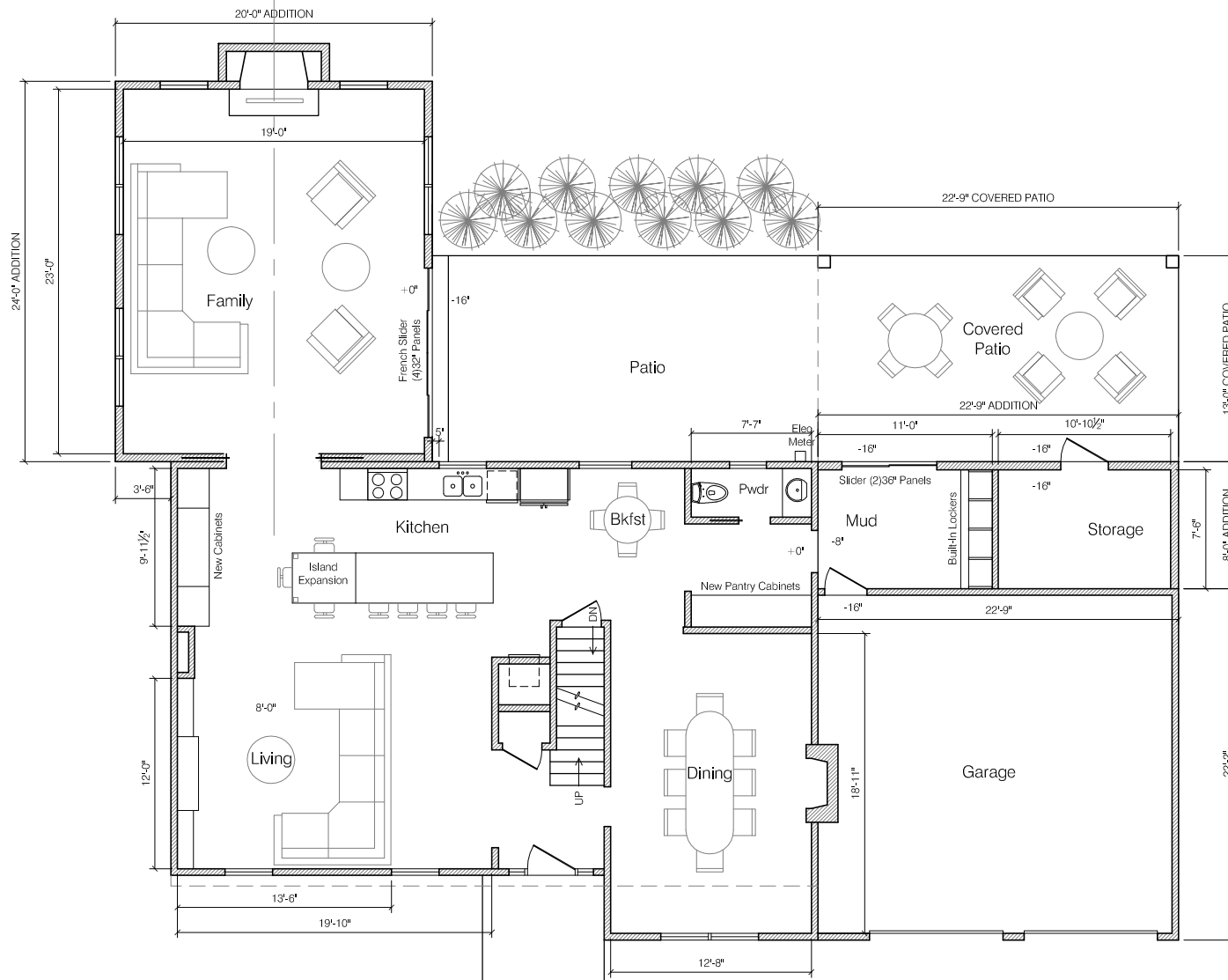


FIRST FLOOR PLAN - EXISTING

Scale: 3/32" = 1'-0"

2017 Hythe Road

April 9, 2025

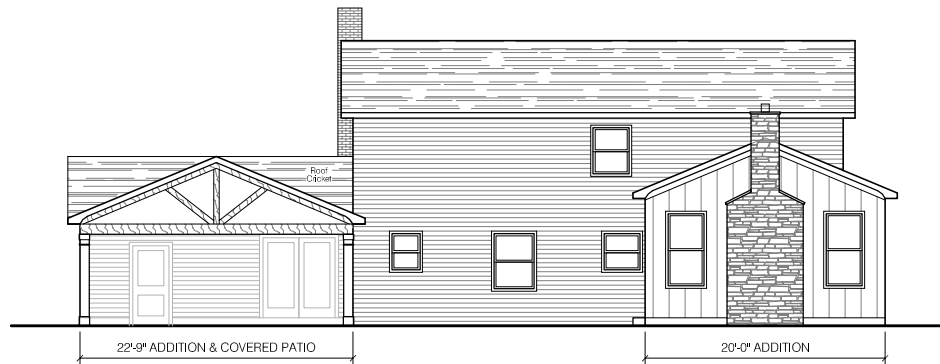


FIRST FLOOR PLAN - PROPOSED

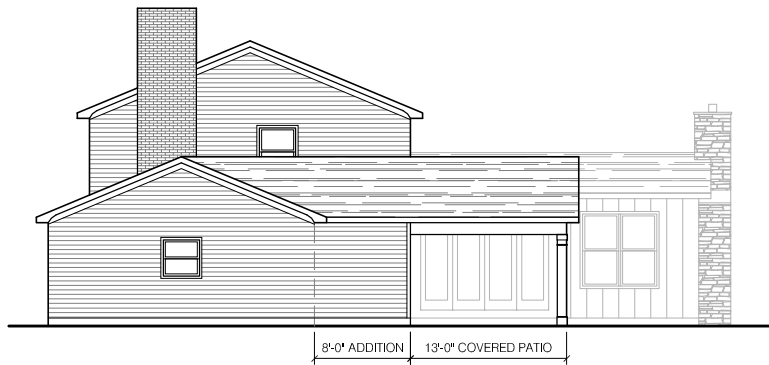
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2017 Hythe Road

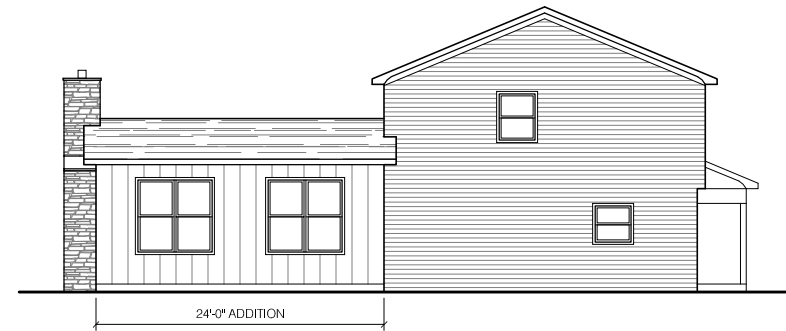
April 9, 2025



South Elevation (Rear)



West Elevation (Side)



East Elevation (Side)

EXTERIOR ELEVATIONS

Scale: 1/16" = 1'-0"

2017 Hythe Road

April 9, 2025

Revised: Jan 2021

Certification of Notice

Applicant Name: _____

Location of property subject to BZAP request: _____

Describe activity which requires Board of Zoning and Planning review:

This application will be heard by the Board of Zoning and Planning on: _____

Board of Zoning and Planning (BZAP) meetings begin at 6 PM on Wednesdays and are held at the Upper Arlington Municipal Services Center, 3600 Tremont Road, Upper Arlington, Ohio, 43221. Due to the ongoing COVID-19 pandemic, meetings MAY be held remotely via video conference and telephone call-in. Meeting location details and additional instructions will be provided on the Agenda, which is posted on the City's website at docs.uaoh.net/AgendaOnline. For further information, please contact the Planning Division at planning@uaoh.net.

*Your signature below **DOES NOT** constitute approval or disapproval of the request. Your signature only represents that you have been properly notified of the request. You are encouraged to attend any and all meetings regarding this matter.*

Address of Property to be notified:	Property Owner Name:	Property Owner Signature or Certified Mail No.:	Date obtained or Mail sent:
Applicant Signature:			Date:

2017 Hythe Road

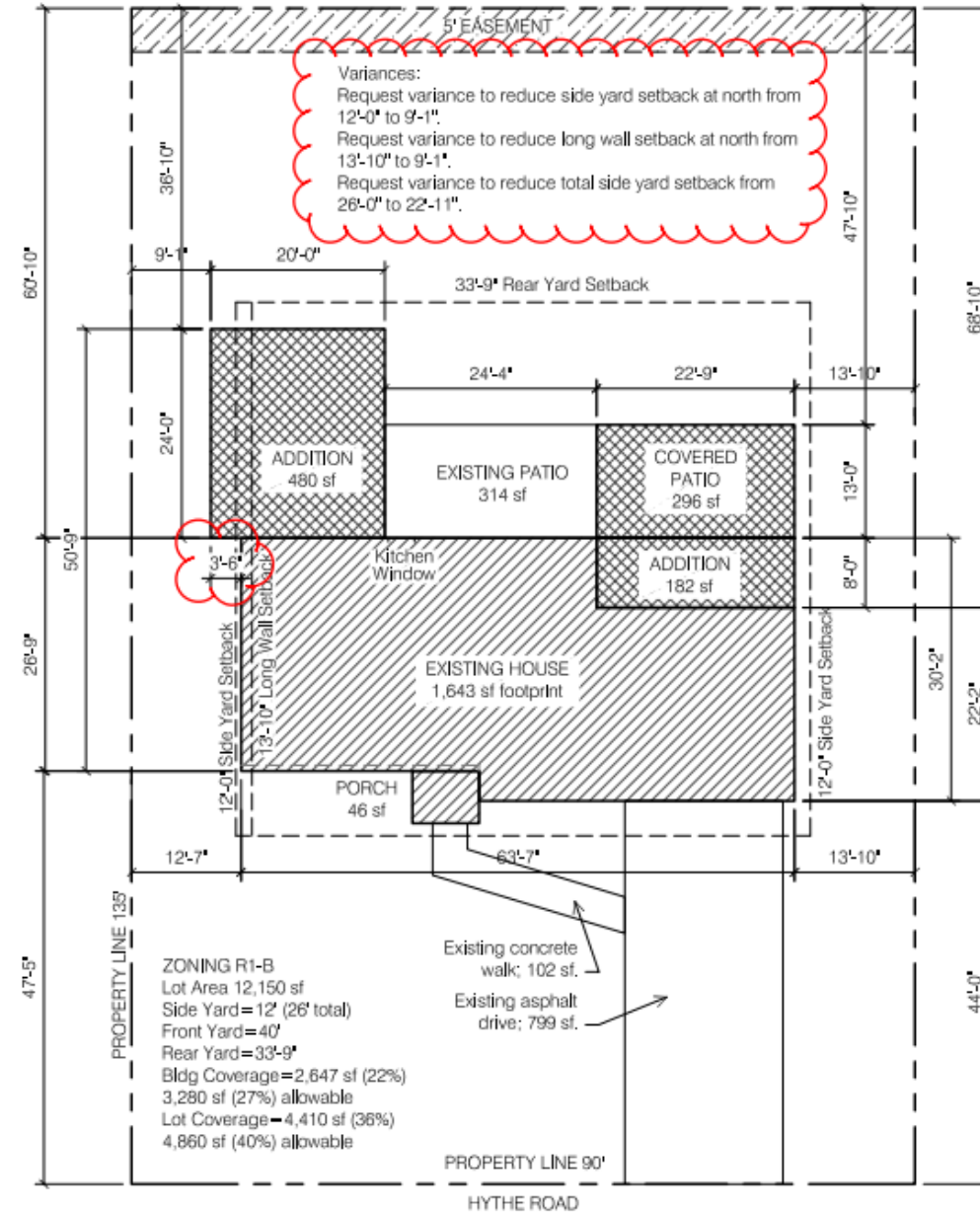
BZAP Staff Report Pictures | Variance Application



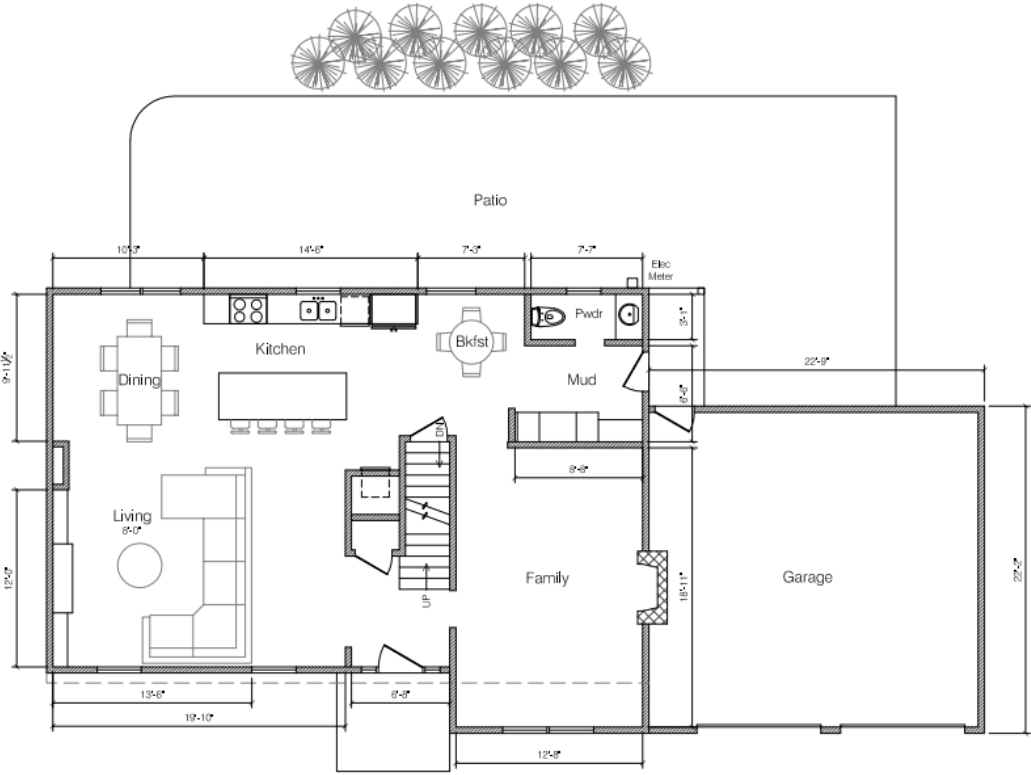
Google Maps ® Aerial – Looking South



Proposed Site Plan

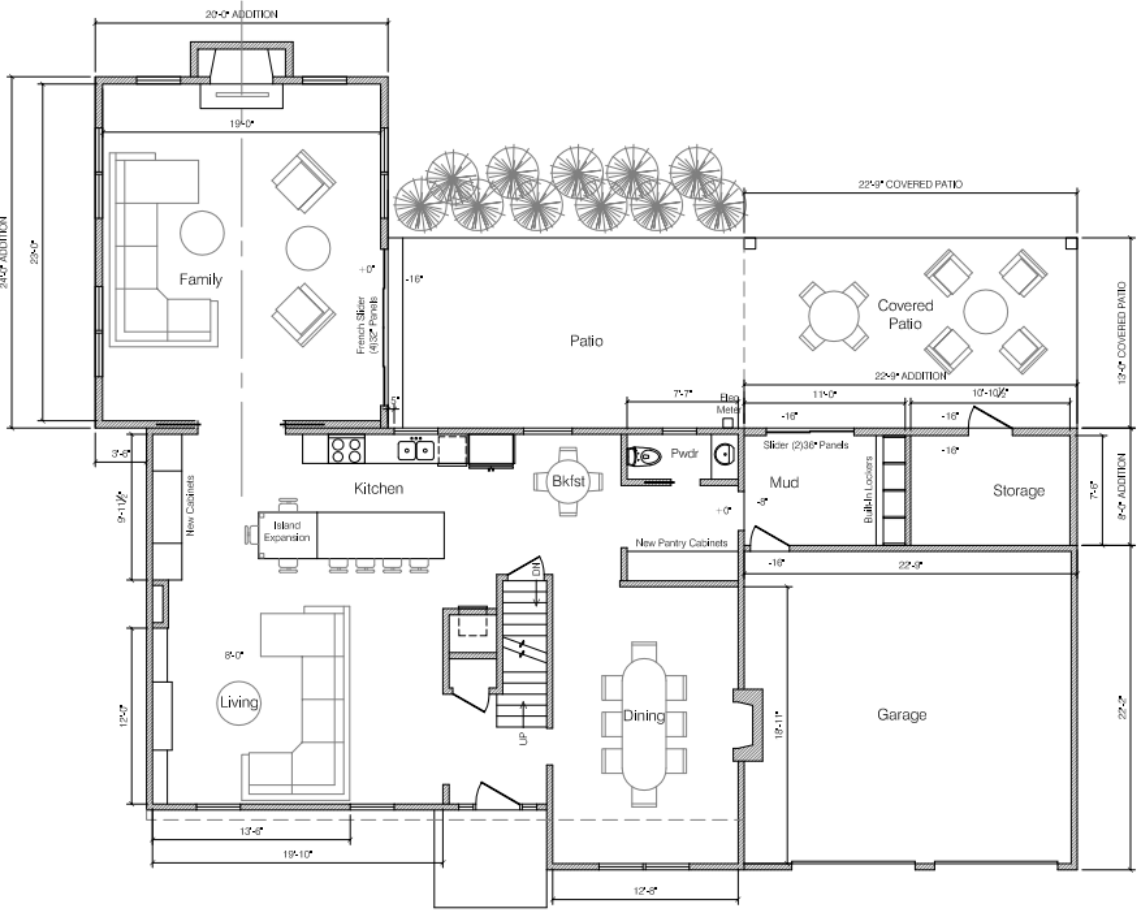


Existing & Proposed Floor Plans



FIRST FLOOR PLAN - EXISTING

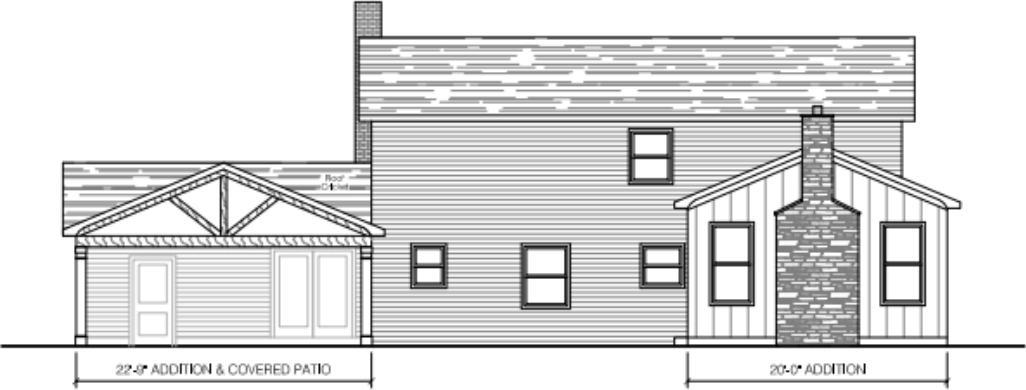
Scale: 3/32" = 1'-0"



FIRST FLOOR PLAN - PROPOSED

Scale: 3/32" = 1'-0"

Proposed Elevations



South Elevation (Rear)



West Elevation (Side)



East Elevation (Side)

Existing Elevation



Authors: Madison Strauss, Intern

BZAP Meeting Date: May 21, 2025

Subject: 2090 Riverside Drive (VAR-21-25) - To allow the retention of a partially-built fireplace/oven that encroaches 2'-2" into a 10-foot minimum side yard setback and a patio which increases the maximum development coverage from 45 percent to 49.7.

Site Description/History

The subject property, 2090 Riverside Drive, is located on the northeast side of the road between Cambridge Boulevard and Club Road, and is zoned [R-1c, One-Family Residence District](#). It measures 90' x 165', similar to others in the neighborhood, and includes a shared access driveway from Route 33/Riverside Drive. It is identified as Lot #18, Block #115 in the [Village of Upper Arlington](#) subdivision. A two-story, stucco home sits nearly 15 feet back from the 40-foot platted front yard setback, a similar orientation to those along this street segment. In February 2025, the Code Compliance Officer cited the property owner for working without a permit after noticing construction activity (fireplace/oven and patio). After meeting with Staff regarding zoning requirements for the project, the applicant submitted this variance application. The property is enclosed with six-foot tall wood privacy fencing. The home was built in 1948, purchased by the applicant in 2011, and an addition was built in 2021.

Proposal

The applicant is proposing the retention of the partially-built fireplace/oven in the backyard and the completed concrete patio with walkways. The stone and brick wood-burning fireplace/oven is situated more toward the northern side yard, just under eight feet away from the property line. It is seven feet tall and eight feet wide, but part of an outdoor kitchen structure that is 14 feet wide. It is more than 15 feet from any structure per code. A new concrete patio and walkways were added sometime between Spring 2023 and 2024, totaling 1,482 square feet. In addition to the existing fence, new evergreens are proposed on the north property line between the fireplace and the neighboring property for additional screening.

Zoning Code Requirements

- To allow a fireplace/oven to encroach 2'-2" into the side yard, when 10 feet is the minimum setback ([Article 6.09](#)); and
- To allow development coverage to increase from 45 percent to 49.71 ([Article 5.02](#)).



Staff would note that the Board has previously granted development coverage variances for properties along the Riverside Drive access road, as this is a neighborhood benefit that is located on private property with easements. The access drive here counts as more than 1,500 square feet of development coverage, where the property currently exceeds the limit by 671 square feet.

Alternatives

The applicant could deconstruct and move the fireplace, plus remove the additional 671 square feet of hardscape to avoid the requested variances. Some previous applicants have chosen this route as an option, while others have requested the variance due to the project being nearly complete. The applicant thought the setback for the fireplace was similar to a shed, at only three feet, and neglected to submit for permits. [Permits were secured for a room addition in 2021 and did not include the fireplace/oven or patio.]

Requested Action and Findings

Staff has reviewed the application and plans, discussed with the applicant, and visited the property. As the Board is aware, work starting without the benefit of a permit is less than ideal and creates challenges for both the applicant and City. Staff did field a call from a notified neighbor, who had questions about the application and how the Board has generally responded to such applications. While the recently installed patio results in excess development coverage, the Board has historically permitted an overage due to the fact that the access drive counts toward the limit. As for the partially-built fireplace, the Board has granted similar variances: 1911 Suffolk Road (eight inches into the 10-foot setback), 1942 Collingswood Road (five feet into the 10-foot setbacks), and 1974 Collingswood Road (eight feet into the 10-foot setback) - all were taller than the proposed structure. The inclusion of additional evergreen landscaping with the existing six-foot-tall wood privacy fence could help mitigate typical concerns of fireplaces: height, noise, and smoke. Should the Board choose to support this application, Staff would recommend that Finding #6 (action of a current owner) and #8 (spirit and intent of the ordinance) be considered, along with the condition concerning additional landscaping or a rain garden be added. A Building Permit will be required for the proposed fireplace, which would include footer, foundation and safety inspections.

Attachments

1.	Variance Application - 2090 Riverside Drive
2.	BZAP Staff Report Pics - 2090 Riverside Drive





25-1589

Variance Application

Status: Active

Submitted On: 4/14/2025

Primary Location

2090 RIVERSIDE DR
UPPER ARLINGTON, OH 43221

Owner

VELIU VALMIR
RIVERSIDE 2090 COLUMBUS,
OH 43221

Applicant

 Juliet Bullock
 +1 614-935-0944
 bullock.juliet@gmail.com
 4886 Olentangy Blvd
Columbus, OH 43214

BZAP Information

BZAP Case

VAR-21-25

Status

Pending

BZAP Determination Date

05/21/2025

Vote Tally

Primary Variance

Accessory Structure

Findings of Fact for Approval/Denial

Variance Request

To allow the retention of a partially-built fireplace that encroaches 2'-2" into 10-foot minimum side yard setback.

BZAP conditions

Variance Information

Describe Variance Request ?

To allow for a exterior fireplace 7'-9 3/8" from property line in lieu of 10' and to allow the development cover to be 49.71% in lieu of the required 45%.

What practical difficulty, special conditions and/or circumstances exist that are peculiar to the land or structure involved and which are not generally applicable to other lands or structures in the same zoning districts?

This parcel has a private road and excluding the private shared drive to the west in the development cover would reduce the development cover to 39.4%.The owner had assumed he did not have to include the private drive. He also assumed the fireplace only had a 3' setback and was an accessory structure. That was a mistake on his part. The fireplace is screened by a 6' fence and we will add evergreen screening

Will granting the variance confer a special privilege that is denied by this regulation to other lands, structures, or buildings in the same district?

No these are minor requests and the lot has a unique situation with the private road.

Will the essential character of the neighborhood area be substantially altered or will adjoining properties suffer substantial detriment as a result of the variance?

No, this will provide little impact to the neighborhood.

Have all reasonable alternatives been investigated or exhausted to find that this variance request is the minimum necessary to make reasonable use of land and structures?

Yes, this is a minimal request and in fact the patio is fairly minimal for the size of the lot.

Can this property yield a reasonable return or can there be any beneficial use of the property without the variance?

It would be difficult to do any kind of outdoor space without the variances. The owner is a chef and restaurant owner and will use to cook meats etc for personal use

Acknowledgement: I or a representative will be present at the BZAP hearing.* 



April 14, 2025

To whom it may concern,

This letter serves to inform you that your neighbors at 2090 Riverside Drive are requesting a variance from the UA Board of Zoning and Planning. Variances would allow for an exterior fireplace to be 7'-9 3/8" from the north property line in lieu of 10' and to allow the development cover to be 49.71% in lieu of the required 45%. (Excluding the private shared drive to the west in the development cover reduces the development cover to 39.4%)

The application will be heard on May 21st 2025 at 3600 Tremont Road at 6:00pm. Please do not hesitate to call if you have any questions.

Sincerely,

Valmir Veliu



Revised: May 2023

Certification of Notice

Applicant Name: Valmir Velu / Juliet Bullock Architects

Location of property subject to BZAP request: 2090 Riverside Drive

This application will be heard by the Board of Zoning and Planning on: May 21, 2025

Describe activity which requires Board of Zoning and Planning review:

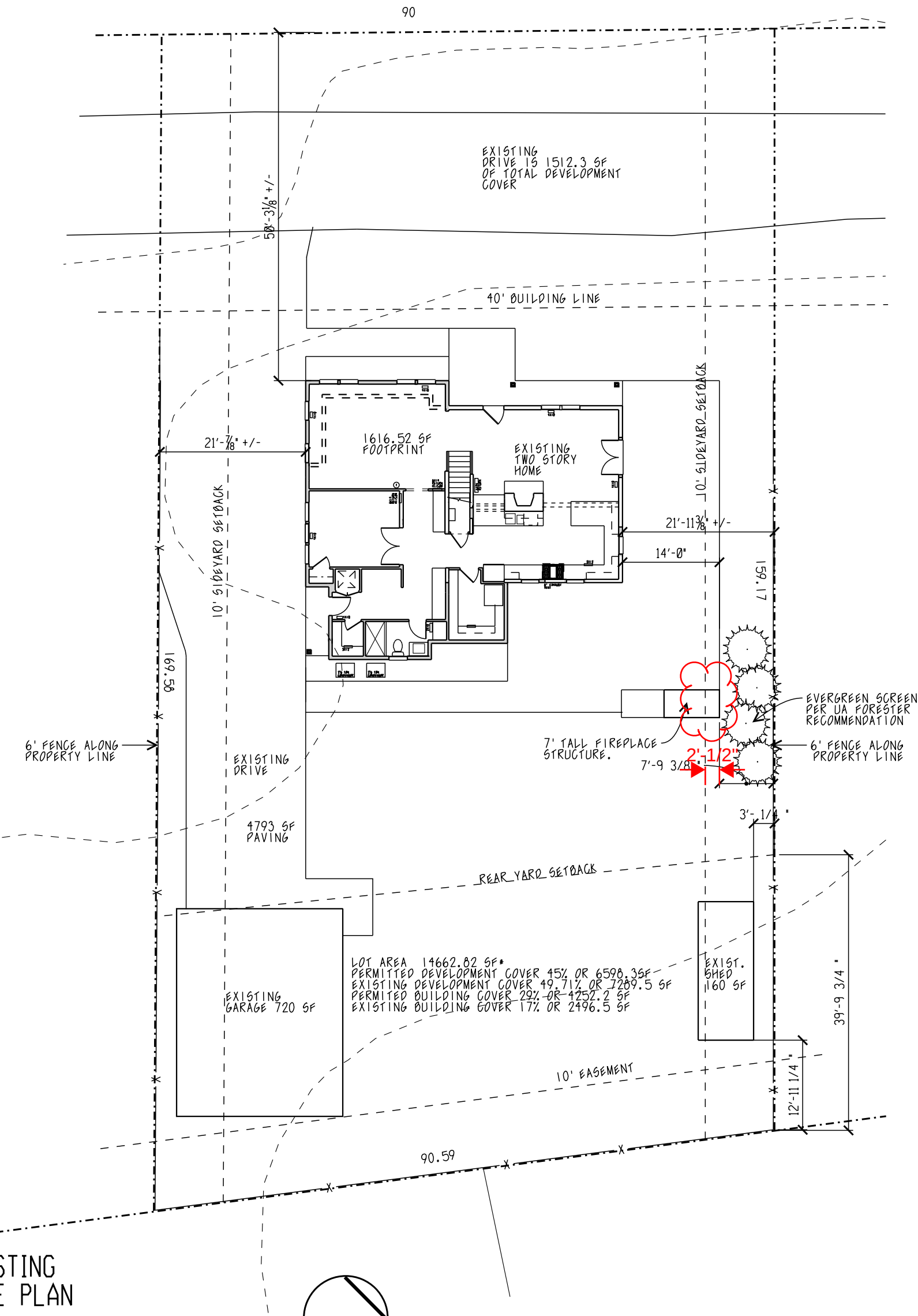
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Board of Zoning and Planning (BZAP) meetings begin at 6 PM on Wednesdays and are held at the Upper Arlington Municipal Services Center, 3600 Tremont Road, Upper Arlington, Ohio, 43221. Meeting location details and additional instructions will be provided on the Agenda, which is posted on the City's website at upperarlingtonoh.portal.civicclerk.com. For further information, please contact the Planning Division at planning@uaoh.net.

Your signature below DOES NOT constitute approval or disapproval of the request. Your signature only represents that you have been properly notified of the request. You are encouraged to attend any and all meetings regarding this matter.

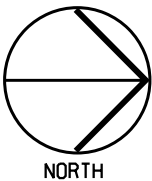
Address of Property to be notified:	Property Owner Name:	Property Owner Signature or Certified Mail No.:	Date obtained or Mail sent:
2118 N Coach Rd Unit 17 Columbus 43220	Darlene Moyer	9589 0710 5270 1809 9525 59	04/16/2025
5087 Stonecroft Ct Hilliard 43026	2055 Riverside LLC	9589 0710 5270 1809 9525 66	04/16/2025
1331 Walcott Rd Columbus 43228	Digital Nostalgia LLC	9589 0710 5270 1809 9525 35	04/16/2025
2421 Cambridge Blvd	Kimberly Moore	9589 0710 5270 1809 9525 42	04/16/2025
2413 Cambridge Blvd	James & Marya Cassandra	9589 0710 5270 1809 9491 22	04/16/2025
2403 Cambridge Blvd	Jovan & Eliz. Patnovic	9589 0710 5270 1809 9491 46	04/16/2025
2427 Cambridge Blvd	Jon and Jocelyn Varner	9589 0710 5270 1809 9491 53	04/16/2025
2100 Riverside Drive	Dennis McDonald	9589 0710 5270 1809 9491 15	4/15/25
2110 Riverside Drive	Rebecca Jacobs	Rebecca Jacobs	4-15-25
1101 Monroe St.	Max Auto Real Estate, LLC	9589 0710 5270 1809 9491 15	04/16/2025
Applicant Signature: <u>Valmir Velu</u>			Date: <u>4/16/25</u>

RIVERSIDE
DRIVE



EXISTING
SITE PLAN

SCALE: 1/8" = 1'-0"



4/14/25
VELIU RESIDENCE
2090 RIVERSIDE DRIVE
COLUMBUS OHIO
SHEET 2













2090 Riverside Drive

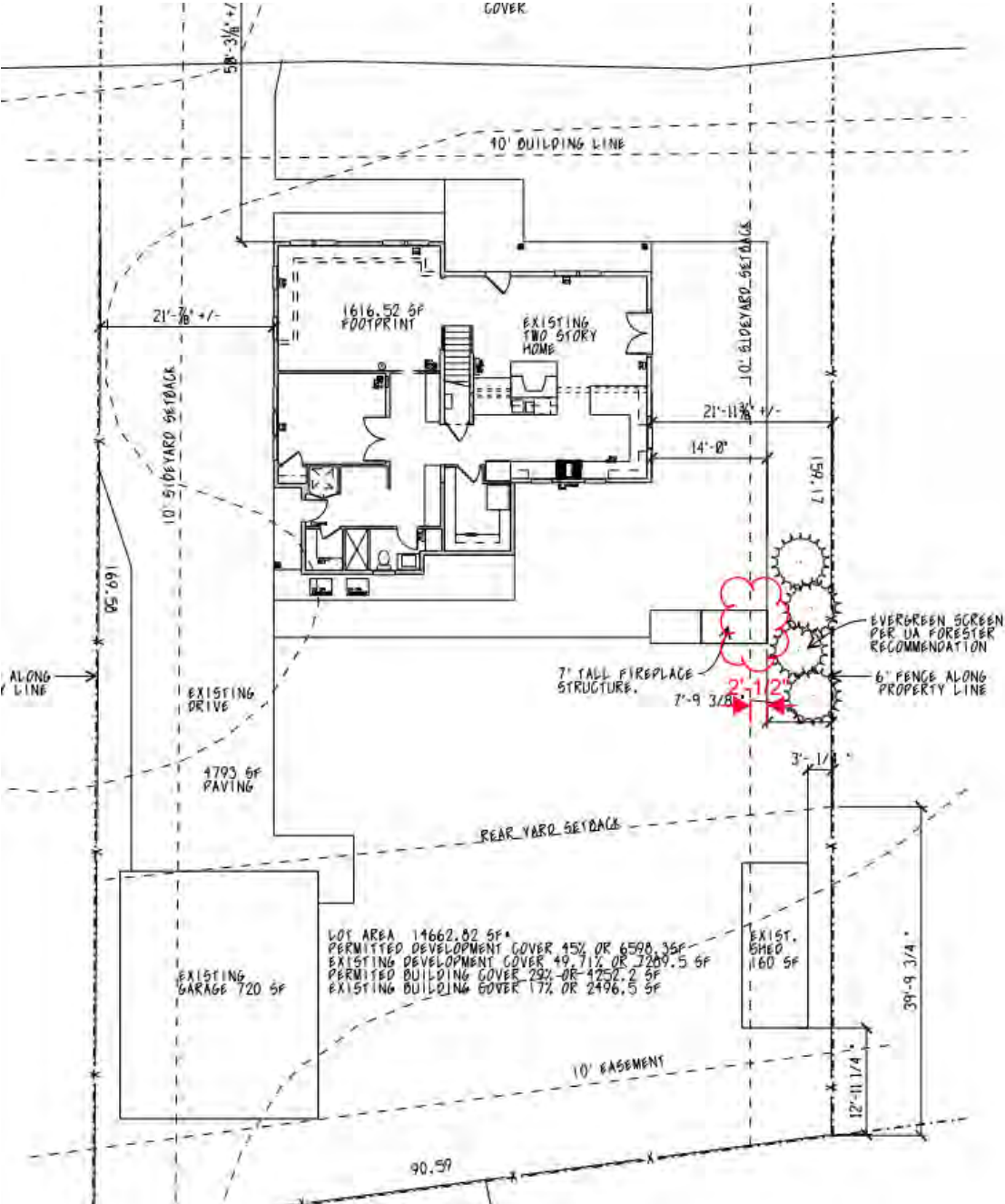
BZAP Staff Report Pictures | Variance Application



Google Maps ® Aerial – Looking North Spring 2024 vs Spring 2023



Proposed Site Plan



Existing Fireplace Elevations

